

Steven Raspe, Commissioner Reza Tavana, Commissioner Emily Thomas, Commissioner

TOWN OF LOS GATOS PLANNING COMMISSION AGENDA JANUARY 12, 2022 110 EAST MAIN STREET LOS GATOS, CA

PARTICIPATION IN THE PUBLIC PROCESS

<u>How to participate</u>: The Town of Los Gatos strongly encourages your active participation in the public process, which is the cornerstone of democracy. If you wish to speak to an item on the agenda, please follow the participation instructions on page 2 of this agenda. If you wish to speak to an item NOT on the agenda, you may do so during the "Verbal Communications" period, by following the participation instructions on page 2 of this agenda. The time allocated to speakers may change to better facilitate the Planning Commission meeting.

<u>Effective Proceedings</u>: The purpose of the Planning Commission meeting is to conduct the business of the community in an effective and efficient manner. For the benefit of the community, the Town of Los Gatos asks that you follow the Town's meeting guidelines while attending Planning Commission meetings and treat everyone with respect and dignity. This is done by following meeting guidelines set forth in State law and in the Town Code. Disruptive conduct is not tolerated, including but not limited to: addressing the Commissioners without first being recognized; interrupting speakers, Commissioners or Town staff; continuing to speak after the allotted time has expired; failing to relinquish the podium when directed to do so; and repetitiously addressing the same subject.

Deadlines for Public Comment and Presentations are as follows:

- Persons wishing to make an audio/visual presentation on any agenda item must submit the
 presentation electronically, either in person or via email, to the Planning Department by 1
 p.m. or the Clerk's Office no later than 3:00 p.m. on the day of the Planning Commission
 meeting.
- Persons wishing to submit written comments to be included in the materials provided to the Planning Commission must provide the comments to the Planning Department as follows:
 - For inclusion in the regular packet: by 11:00 a.m. the Friday before the meeting
 - o For inclusion in any Addendum: by 11:00 a.m. the day before the meeting
 - o For inclusion in any Desk Item: by 11:00 a.m. on the day of the meeting

Planning Commission meetings are broadcast Live on KCAT, Channel 15 (on Comcast) on the 2nd and 4th Wednesdays at 7:00 p.m.

Live and Archived Planning Commission meetings can be viewed by going to:

https://www.kcat.org/government-meetings

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING,
PLEASE CONTACT THE CLERK DEPARTMENT AT (408) 354-6834. NOTIFICATION 48 HOURS BEFORE THE MEETING WILL ENABLE THE TOWN
TO MAKE REASONABLE ARRANGEMENTS TO ENSURE ACCESSIBILITY TO THIS MEETING [28 CFR §35.102-35.104]

IMPORTANT NOTICE REGARDING PLANNING COMMISSION MEETING

This meeting is being conducted utilizing teleconferencing and electronic means consistent with Government Code Section 54953, as Amended by Assembly Bill 361, in response to the state of emergency relating to COVID-19 and enabling teleconferencing accommodations by suspending or waiving specified provisions in the Ralph M. Brown Act (Government Code § 54950 et seq.). Consistent with AB 361 and Town of Los Gatos Resolution 2021-044 this meeting will not be physically open to the public and the Council and/or Commissioners will be teleconferencing from remote locations. Members of the public can only participate in the meeting by joining the Zoom webinar (log in information provided below). The live stream of the meeting may be viewed on television and/or online at:

https://meetings.municode.com/PublishPage/index?cid=LOSGATOS&ppid=4bc370fb-3064-458e-a11a-78e0c0e5d161&p=0. In accordance with Executive Order N-29-20, the public may only view the meeting on television and/or online and not in the Council Chambers.

PARTICIPATION

If you are not interested in providing oral comments real-time during the meeting, you can view the live stream of the meeting on television (Comcast Channel 15) and/or online at https://www.youtube.com/channel/UCFh35XRBWer1DPx-F7vvhcg.

If you are interested in providing oral comments in real-time during the meeting, you must join the Zoom webinar at:

https://losgatosca-gov.zoom.us/j/89353160928?pwd=WIFkT3o4SnNXTUcyV1c1cHptYTFrUT09. Passcode: 470614.

Please be sure you have the most up-to-date version of the Zoom application should you choose to provide public comment during the meeting. Note that participants cannot turn their cameras on during the entire duration of the meeting.

During the meeting:

- When the Chair announces the item for which you wish to speak, click the "raise hand" feature in Zoom. If you are participating by phone on the Zoom app, press *9 on your telephone keypad to raise your hand. If you are participating by calling in, press #2 on your telephone keypad to raise your hand.
- When called to speak, please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Council meeting.

If you are unable to participate in real-time, you may send an email to PlanningComment@losgatosca.gov with the subject line "Public Comment Item #" (insert the item number relevant to your comment) or "Verbal Communications — Non Agenda Item." Comments will be reviewed and distributed before the meeting if received by 11:00 a.m. on the day of the meeting. All comments received will become part of the record. The Chair has the option to modify this action on items based on comments received.

REMOTE LOCATION PARTICIPANTS

The following Planning Commissioners are listed to permit them to appear electronically or telephonically at the Planning Commission meeting: CHAIR KATHRYN JANOFF, COMMISSIONER BARNETT, COMMISSIONER CLARK, COMMISSIONER HANSSEN, COMMISSIONER RASPE, COMMISSIONER TAVANA, AND COMMISSIONER THOMAS. All votes during the teleconferencing session will be conducted by roll call vote.

TOWN OF LOS GATOS PLANNING COMMISSION AGENDA JANUARY 12, 2022 7:00 PM

RULES OF DECORUM AND CIVILITY

To conduct the business of the community in an effective and efficient manner, please follow the meeting guidelines set forth in the Town Code and State law.

The Town does not tolerate disruptive conduct, which includes but is not limited to: Addressing the Planning Commission without first being recognized; Interrupting speakers, Planning Commissioners, or Town staff; Continuing to speak after the allotted time has expired; Failing to Relinquish the microphone when directed to do so; Repetitiously addressing the same subject.

Town Policy does not allow speakers to cede their commenting time to another speaker. Disruption of the meeting may result in a violation of Penal Code Section 403.

PARTICIPATION

To provide oral comments in real-time during the meeting:

Zoom webinar: Join from a PC, Mac, iPad, iPhone or Android device: click this link https://losgatosca-

gov.zoom.us/j/89353160928?pwd=WIFkT3o4SnNXTUcyV1c1cHptYTFrUT09. Password: 470614. You can also type in 893 5316 0928 in the "Join a Meeting" page on the Zoom website at https://zoom.us/join.

When the Chair announces the item for which you wish to speak, click the "raise hand" feature in Zoom. If you are participating by phone on the Zoom app, press *9 on your telephone keypad to raise your hand. If you are participating by calling in, press #2 on your telephone keypad to raise your hand.

Join by telephone: Dial: 877-402-9753. Conference code: 602463.

MEETING CALLED TO ORDER

ROLL CALL

VERBAL COMMUNICATIONS (Members of the public may address the Commission on any matter that is not listed on the agenda. Unless additional time is authorized by the Commission, remarks shall be limited to three minutes.)

CONSENT ITEMS (Items appearing on the Consent Items are considered routine Town business and may be approved by one motion. Any member of the Commission may request to have an item removed from the Consent Items for comment and action. Members of the public may provide input on any or multiple Consent Item(s) when the Chair asks for public comments on the Consent Items. If you wish to comment, please follow the Participation Instructions contained on Page 2 of this agenda. If an item is removed, the Chair has the sole discretion to determine when the item will be heard.)

1. Draft Minutes of the December 8, 2021 Planning Commission Meeting

PUBLIC HEARINGS (Applicants/Appellants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants/Appellants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Commission's consent at the meeting.)

- 2. Requesting Approval for Demolition of an Existing Single-Family Residence and Construction of a New Single-Family Residence to Exceed Floor Area Ratio (FAR) Standards with Reduced Front and Side Yard Setbacks on Nonconforming Property Zoned R-1D. Located at 118 Olive Street.
 APN 410-15-022. Architecture and Site Application S-21-013. PROPERTY OWNER: Thomas and Meredith Reichert. APPLICANT: Jay Plett, Architect.
- 3. Requesting Approval of a Planned Development for Construction of a Senior Living Community, Removal of Large Protected Trees, and Site Improvements Requiring a Grading Permit on Property Zoned R:PD. Located at 110 Wood Road. APN 510-47-038. Planned Development Application PD-20-001 and Environmental Impact Report EIR-21-002. APPLICANT: Rockwood Pacific. PROPERTY OWNER: Covia Communities. PROJECT PLANNER: Sean Mullin.

OTHER BUSINESS (Up to three minutes may be allotted to each speaker on any of the following items.)

4. Election of Chair and Vice Chair.

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

SUBCOMMITTEE REPORTS / COMMISSION MATTERS

ADJOURNMENT (Planning Commission policy is to adjourn no later than 11:30 p.m. unless a majority of the Planning Commission votes for an extension of time)

Writings related to an item on the Planning Commission meeting agenda distributed to members of the Commission within 72 hours of the meeting are available for public inspection at the reference desk of the Los Gatos Town Library, located at 100 Villa Avenue; the Community Development Department and Clerk Department, both located at 110 E. Main Street; and are also available for review on the official Town of Los Gatos website. Copies of desk items distributed to members of the Commission at the meeting are available for review in the Town Council Chambers.

Note: The Town of Los Gatos has adopted the provisions of Code of Civil Procedure §1094.6; litigation challenging a decision of the Town Council must be brought within 90 days after the decision is announced unless a shorter time is quired by State or Federal law.

MEETING DATE: 01/12/2022

ITEM NO: 1

DRAFT MINUTES OF THE PLANNING COMMISSION MEETING DECEMBER 8, 2021

The Planning Commission of the Town of Los Gatos conducted a Regular Meeting on Wednesday, December 8, 2021, at 7:00 p.m.

This meeting was conducted utilizing teleconferencing and electronic means consistent with Government Code Section 54953, as Amended by Assembly Bill 361, in response to the state of emergency relating to COVID-19 and enabling teleconferencing accommodations by suspending or waiving specified provisions in the Ralph M. Brown Act (Government Code § 54950 et seq.). Consistent with AB 361 and Town of Los Gatos Resolution 2021-044, all planning commissioners and staff participated from remote locations and all voting was conducted via roll call vote.

MEETING CALLED TO ORDER AT 7:00 P.M.

ROLL CALL

Present: Chair Kathryn Janoff, Vice Chair Kendra Burch, Commissioner Jeffrey Barnett, Commissioner Melanie Hanssen, Commissioner Jeffrey Suzuki, Commissioner Reza Tavana, and Commissioner Emily Thomas.

Absent: None.

VERBAL COMMUNICATIONS

None.

The Consent Calendar was moved to the end of the hearing due to technical difficulties.

PUBLIC HEARINGS

2. 16010 Winterbrook Road

Architecture and Site Application S-20-16 APN 523-26-017

Applicant: Gary Kohlsaat

Property Owner: Drew and Kari Brown

Project Planner: Ryan Safty

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MINUTES OF PLANNING COMMISSION MEETING OF DECEMBER 8, 2021

Requesting approval for demolition of an existing single-family residence, construction of a new single-family residence, and site work requiring a Grading Permit on property pre-zoned R-1:8.

Ryan Safty, Associate Planner, presented the staff report.

Opened Public Comment.

Drew Brown, Owner

- Our lot is almost an acre and set back from the street with lots of privacy. We hope to build our forever home here and Mr. Kohlsaat's design will give us that.

Gary Kohlsaat, Architect

- The home's concept is a country farmhouse style with a wraparound porch, two stories, and set back from the street. Two properties behind the site are accessed from Stephenie Lane and are the size of this site, while the remaining neighboring properties are all substantially smaller. The house cannot be seen from Winterbrook Road. The new driveway, garage, and house are roughly in the same locations as the old driveway, garage, and house. There is a proposed fire truck turnaround as well as onsite parking. We have left room for a swimming pool and future ADU, with the old ADU being torn down. We have lowered the existing building pad by two feet; the proposed home is shorter than the old home with a net reduction of over three feet in height. We removed many eucalyptus trees that fully screened the property but were a fire hazard, which opened up the views for the neighbors, but we hope to regrow new trees in the future to replace the eucalyptus. The house fits into Los Gatos and into this unique property. We ask the Planning Commission to consider this as a special property in light of the home size requested.

Fred Chung

- We have sent staff a photograph that indicates a large obstruction to our existing views. We have spoken with the applicant and suggested moving the outline of the proposal slightly to the east or west to mitigate the obstruction. Before the removal of the eucalyptus trees, we had a partial view of the mountains and that is why we have raised the view concern. Privacy was not our concern.

Gary Kohlsaat, Architect

- We did look at moving the home to the north, which would help increase the neighbor's view. The existing garage is very tight to the back property line and we needed a little more room to make backup dimensions work. There is a retaining wall parallel to the face of the garage, which prohibits us from moving it much farther to the north. The master bedroom is on the southern part of the second story, which is the primary view blockage. It would be very difficult to move that entire suite somewhere else. We are stacking over the garage and almost the entire first floor. It is very difficult to change the massing of the home. We

MINUTES OF PLANNING COMMISSION MEETING OF DECEMBER 8, 2021

feel bad that the neighbors would lose some of their view and did the best we could, but faced geometry and math difficulties. This project fits the area very well.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: Motion by Vice Chair Burch to approve an Architecture and Site

Application for 16010 Winterbrook Road. Seconded by Commissioner

Hanssen.

VOTE: Motion passed unanimously.

3. 16529 Marchmont Drive

Architecture and Site Application S-21-028 APN 532-09-033

Property Owner/Applicant: Brendon and Mary Cassidy

Project Planner: Erin Walters

Requesting approval for construction of a second story addition to an existing single-family residence on property zoned R-1:8.

Jennifer Armer, Planning Manager, presented the staff report.

Opened Public Comment.

Steve Benzing, Applicant/Architect

- The house's modern farmhouse style fits into its surroundings and would be the only two-story home in the immediate neighborhood. The Town architect has stated that while different, this home would be a comfortable addition to the neighborhood and our plan has been revised in accordance with the Town architect's recommendations. The requested addition is 1,300 square feet, but we are subtracting 500 square feet to fit the 500-square foot garage on the lower floor, so the overall addition is 874 square feet and is only 5.5 feet taller than what was previously there. There are many larger homes on Marchmont, some as big as 5,500 square feet, so this home is not much out of character for the neighborhood once expanded a little beyond the Town's definition of "immediate neighborhood." The applicants have conducted neighbor outreach and have received multiple emails expressing support for the project. This neighborhood will transition to a two-story neighborhood in the coming years and this home is well within the maximum allowed by the zoning ordinance.

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MINUTES OF PLANNING COMMISSION MEETING OF DECEMBER 8, 2021

Brendon Cassidy, Owner

- We wish to live in Los Gatos and retire in this home. We understand we would be the first two-story home on this side of Marchmont, but there are eight two-story homes on the other side and our goal is to be subtle about it.

Susie

- I live in a single-family home surrounded by homes in the 4,000-5,000 square foot range. I have seen the neighborhood evolve, particularly in the past ten years, to a neighborhood of single and two-story homes. I support the applicant's beautiful remodel and find it conservative to the neighborhood.

Skylar Sellers

- I live two homes down from the subject site. I support the project and would like to see more two-story homes in the neighborhood. I plan to build a two-story home in the future myself. The plans look beautiful and makes sense and fit into the neighborhood.

David Mortaz

- I am concerned about the project's impact on our privacy and shadowing. The Cobalt Power team's early assessment says the addition would create so much shadowing that our nearby roof adjacent to the project would be completely useless for installing solar panels. Moving the addition to the center and perhaps forward would probably reduce the impact of the shadow on our roof. The plans show more than four windows looking at our home. I ask that voting on the project be held off until we have heard results of the investigation by Cobalt Power.

Dan Kelly

- We live on the west side of the subject site. The applicants have given us a written commitment that they will compensate us for any loss of the solar power generation that would be caused by their second story addition. I have installers scheduled to come out on Monday to give an estimate for that. I will provide that info to the applicant and move forward with the installation of the additional panels.

Mary

- I am the neighbor behind the subject site. I haven't seen the plans or spoken to the applicants. I want to make sure the second story isn't too high or too close to my back fence.

Mary Cassidy, Owner

 Before we started on this process we made an extensive amount of effort to contact our neighbors in person. Our architect made a tentative draft plan of the outside of the house and went to our immediate neighbors on three occasions and got verbal consent from most of them. We left an envelope with a notification form for the neighbors were not able to reach. The homes on Topping Way, such as Mary's, cannot be seen from our property,

MINUTES OF PLANNING COMMISSION MEETING OF DECEMBER 8, 2021

even with our requested addition, because of the extensive amount of massive trees. We also contacted David Mortaz, Dan Kelly, and the other neighbors verbally several times. David was always supportive and never mentioned he was getting solar panels until yesterday. We took all of our neighbors into consideration and kept the addition under the allotted square footage.

Steve Benzing, Applicant/Architect

- There is an enormous tree in the front of David Mortaz's property on the south side that would block any and all solar that he would have. The applicants proposed addition would shade his home only late in the afternoon and in the winter on some of his western facing roofs, which is one of the least usable roofs on which to have solar.

Closed Public Comment.

Commissioner Barnett indicated that he would recuse himself from participating in the public hearing for 16529 Marchmont Drive due to the proximity of his residence to the subject site.

Commissioners discussed the matter.

MOTION: Motion by Commissioner Hanssen to approve an Architecture and Site

application for 16529 Marchmont Drive. Seconded by Chair Janoff.

VOTE: Motion passed 6-0-1 with Commissioner Barnett recused.

4. 140 Prospect Avenue

APN 529-44-021

Applicant: David Kuoppamaki Property Owner: Daniel Barragan Project Planner: Jocelyn Shoopman

Requesting approval for demolition of an existing detached garage, construction of a new detached garage to exceed the floor area ratio, a Grading Permit for site improvements, sport court fencing in excess of six feet, and removal of large protected trees on property zoned R-1:20.

Jocelyn Shoopman, Associate Planner, presented the staff report.

Opened Public Comment.

MINUTES OF PLANNING COMMISSION MEETING OF DECEMBER 8, 2021

David Kuoppamaki, Architect

- The existing site is a little over 30,000 square feet with 4,600 square feet for residence and about 600 square feet for garage. The property and the street have very little parking. The lot is the second largest in the neighborhood with the fourth smallest garage. The plan is to build a new 866 square foot garage to replace the 608 square foot garage, as well as extend the side yard patio of the main residence forward with new stairs to a landscaped area and sports court and two guest parking spots in the front of the lot. They hope to add a gazebo and pool in the rear of the lot that would have little impact to adjacent properties with minimal grading. They are willing to eliminate the basement to save the Blue Oak tree.

Jason

I live next door to the subject site and share a driveway with it. The trees the applicants hope to add would help with the future Accessory Dwelling Unit that is being proposed adjacent to our property. The two added parking spots would be a nice addition considering that there is no street parking. The applicants have been good neighbors that have worked with us to find accommodations. We do not have any issues with the project.

David Kuoppamaki, Architect

- We are proposing an eight-foot redwood fence on the north side and a 12-foot mesh fence around the rest of the sports court. We have spoken to the neighbors and changed our plans slightly to accommodate the neighbor at 120 Prospect Avenue.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: Motion by Commissioner Hanssen to approve an Architecture and Site

application for 140 Prospect Avenue, with the additional conditions of protecting the trees as noted in the packet and removing the proposed

below grade space under the detached garage.

Vice Chair Burch requested the motion be amended to note the recommendations in the arborist report, specifically Items 2 and 3 specifying which trees.

The maker of the motion accepted the amendment to the motion.

Seconded by Commissioner Tavana.

VOTE: Motion passed 5-0-2 with Commissioners Thomas and Suzuki

abstaining.

5. Revised Draft Environmental Impact Report for the Draft 2040 General Plan

Project Planner: Jennifer Armer

Provide the public with an opportunity to give verbal comments on the Revised Draft Environmental Impact Report for Draft 2040 General Plan. **No action will be taken at this meeting.**

Jennifer Armer, Planning Manager, presented the staff report.

Opened Public Comment.

None.

Closed Public Comment.

6. Rescind Los Gatos Boulevard Plan

Consider forwarding a recommendation to the Town Council to rescind the Los Gatos Boulevard Plan.

Jennifer Armer, Planning Manager, presented the staff report.

Opened Public Comment.

Claire

I am concerned about where I can get information on all of this. I've been forwarded
messages and seen things on websites but I'm a little bit lost. I'd just like a little bit of
guidance.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: Motion by Vice Chair Burch to forward a recommendation to Town

Council to rescind the Los Gatos Boulevard Plan. Seconded by

Commissioner Hanssen.

VOTE: Motion passed unanimously.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. Approval of Minutes – November 10, 2021

MOTION: Motion by Commissioner Barnett to modify the minutes to include

findings that Exception E in the Fence Ordinance 29.40.032 is applicable as to the six foot fence, based on special circumstances of the lot size and location which strict enforcement would result in undue hardship, and to approve adoption of the Consent Calendar. **Seconded** by **Commissioner**

Hanssen.

VOTE: Motion passed unanimously.

OTHER BUSINESS

7. <u>Drafted Planning Commission 2022 Meeting Calendar</u>

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

Joel Paulson, Director of Community Development

- A study session with Town Council was held December 7th regarding the General Plan.
- The Town Council completed its discussion on the Los Robles appeal and upheld the Planning Commission's decision.
- The Town's Accela system to intake building and planning applications will be down from December 9th at 5:00 p.m. to December 13th at 8:00 a.m., meaning no one can submit applications or check status.
- The Housing Element Advisory Board will meet December 16th to review draft background information and appendices that will be part of the Housing Element.
- An Urgency Ordinance will be taken to the Town Council on December 21st regarding Senate Bill 9.
- Town Hall will be closed from December 23rd to January 3rd for the holidays.
- Thanks to Vice Chair Burch and Commissioner Suzuki for their service on the Planning Commission as their terms will be ending.

SUBCOMMITTEE REPORTS/COMMISSION MATTERS

None.

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ADJOURNMENT

The meeting adjourned at 9:56 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the December 8, 2021 meeting as approved by the Planning Commission.

/s/ Vicki Blandin

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MEETING DATE: 01/12/2022

ITEM NO: 2

DATE: January 7, 2022

TO: Planning Commission

FROM: Joel Paulson, Community Development Director

SUBJECT: Requesting Approval for Demolition of an Existing Single-Family Residence

and Construction of a New Single-Family Residence to Exceed Floor Area Ratio (FAR) Standards with Reduced Front and Side Yard Setbacks on Nonconforming Property Zoned R-1D. **Located at 118 Olive Street**.

APN 410-15-022. Architecture and Site Application S-21-013. PROPERTY OWNER: Thomas and Meredith Reichert. APPLICANT: Jay Plett, Architect.

RECOMMENDATION:

Consider approval for demolition of an existing single-family residence and construction of a new single-family residence to exceed Floor Area Ratio (FAR) standards with reduced front and side yard setbacks on nonconforming property zoned R-1D located at 118 Olive Street.

PROJECT DATA:

General Plan Designation: Medium Density Residential

Zoning Designation: R-1D (Single-family residential downtown – 5,000 square-foot

minimum for single-family)

Applicable Plans & Standards: General Plan
Parcel Size: 3,680 square feet

Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Medium Density Residential	R-1D
South	Residential	Medium Density Residential	R-1D
East	Residential	Medium Density Residential	R-1D
West	Residential	Medium Density Residential	R-1D

PREPARED BY: SEAN MULLIN, AICP

Senior Planner

Reviewed by: Planning Manager and Community Development Director

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SUBJECT: 118 Olive Street/S-21-013

DATE: January 7, 2022

CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction.

FINDINGS:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction.
- As required by Section 29.10.09030(e) of the Town Code for the demolition of existing structures.
- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations) with the exception of the requests to exceed FAR standards, for reduced front and side yard setbacks, and for an exemption from the parking requirements.
- As required by Section 29.40.075(c) of the Town Code for granting approval of an exception to the FAR standards.
- As required by Section 29.10.265(3) of the Town Code for modification of zoning rules on nonconforming lots, including setback requirements.
- As required by Section 29.10.150(h)(2) of the Town Code for reduced parking where it can be shown that the lot does not have adequate area to provide parking as required.
- As required by the Residential Design Guidelines that the project complies with the Residential Design Guidelines.

CONSIDERATIONS:

 As required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is located on the north side of Olive Street, approximately 138 feet from the intersection with San Benito Avenue (Exhibit 1). The subject property is approximately 3,680 square feet and is nonconforming as to size, where 5,000 square feet is required for a parcel in the R-1D zone.

This Architecture and Site application is being referred to the Planning Commission because the applicant is proposing to exceed the maximum allowable FAR and reduced

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SUBJECT: 118 Olive Street/S-21-013

DATE: January 7, 2022

BACKGROUND (continued):

front and side setbacks. The residence would have the third largest floor area in terms of FAR and square footage in the immediate neighborhood based on Town and County records.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is approximately 3,680 square feet, located on the north side of Olive Street (Exhibit 1). The subject site and surrounding properties are comprised of single-family homes.

B. Project Summary

The applicant proposes demolition of the existing 814-square foot single-story residence and 253-square foot attached garage (Exhibit 9) and construction of a new 1,677-square foot two-story residence with a 299-square foot attached garage (Exhibit 11). The proposed residence would exceed the allowable FAR. In addition, the proposed residence includes a front setback of 10 feet, where 15 feet is required, and a left-side setback of three feet, where five feet is required. The project includes one off-street parking space, where two spaces are required by the Town Code. Lastly, the project also includes 1,195 square feet of below-grade square footage that would not count towards the allowable floor area.

C. Zoning Compliance

The subject property is approximately 3,680 square feet and is nonconforming as to size, where 5,000 square feet is required for a parcel in the R-1D zone. A single-family residence is permitted in the R-1D zone. The proposed residence complies with the zoning regulations for height and right-side and rear setbacks. The applicant requests approval to exceed the allowable FAR, reduce the front and left-side setbacks, as well as an exemption to the requirement to provide two off-street parking spaces. The applicant provided a Letter of Justification discussing these requests (Exhibit 4).

DISCUSSION:

A. Architecture and Site Analysis

The applicant proposes demolition of the existing single-story residence and construction of a 1,677-square foot two-story residence with a 299-square foot attached garage and 1,195 square feet of below-grade square footage that would not count towards the allowable floor area (Exhibit 11). The proposed residence would have a front setback of 10 feet,

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SUBJECT: 118 Olive Street/S-21-013

DATE: January 7, 2022

DISCUSSION (continued):

where 15 feet is required, and a left-side setback of three feet, where five feet is required, as discussed in Section D below. The project also includes one off-street parking space, where two spaces are required by the Town Code, as discussed in Section E below. The applicant provided a Letter of Justification discussing the project and the requested exceptions (Exhibit 4).

A summary of the floor area for the existing and proposed homes is included in the table below.

Floor Area Summary

	Allowed SF	Existing SF	Proposed SF
Main Residence	1,369	814	1,677
Below-Grade Area*	1	0	1,195
Garage	400	253	299

^{*} Pursuant to Sec. 29.10.020, floor area means the entire enclosed area of all floors that are more than four feet above the proposed grade, measured from the outer face of exterior walls or in the case of party walls from the centerline.

The neighborhood compatibility of the proposed floor area is discussed in Section B below.

B. Neighborhood Compatibility

Pursuant to Section 29.40.075 of the Town Code, the maximum FAR for the subject property is 0.37 (1,369 square feet). The proposed residence would have an FAR of 0.46 (1,677 square feet), exceeding the allowable FAR by 0.09 (308 square feet). The table on the following page reflects the current conditions of the homes in the immediate neighborhood and the proposed project.

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SUBJECT: 118 Olive Street/S-21-013

DATE: January 7, 2022

DISCUSSION (continued):

Immediate Neighborhood Comparison

Address	Zoning	House	Garage	Total	Site	Building	Garage	Exceed
Audress		SF	SF	SF	SF	FAR	FAR	FAR?
114 Olive St	R-1D	1,311	220	1,531	3,680	0.36	0.060	No
116 Olive St	R-1D	969	220	1,189	3,680	0.26	0.060	No
120 Olive St	R-1D	1,429	300	1,729	3,680	0.39	0.082	Yes +0.02 (+60 sf)
122 Olive St	R-1D	1,267	360	1,627	3,680	0.34	0.098	No
127 Olive St	R-1D	1,518	300	1,818	3,626	0.42	0.083	Yes +0.05 (+166 sf)
129 Olive St	R-1D	916	162	1,078	3,625	0.25	0.045	No
131 Olive St	R-1D	1,125	215	1,340	3,624	0.31	0.059	No
133 Olive St	R-1D	975	190	1,165	3,542	0.28	0.054	No
135 Olive St	R-1D	1,699	0	1,699	3,542	0.48	0.000	Yes +0.11 (+373 sf)
546 San Benito Av	R-1D	1,767	0	1,767	3,680	0.48	0.000	Yes +0.11 (+398 sf)
118 Olive St (e)	R-1D	814	253	1,067	3,680	0.22	0.069	No
118 Olive St (p)	R-1D	1,677	299	1,976	3,680	0.46	0.081	Yes +0.09 (+308 sf)

Based on Town and County records, the homes in the immediate neighborhood range in size from 916 square feet to 1,767 square feet and building FARs range from 0.22 to 0.48. The applicant is proposing a 1,677-square foot residence (not including the proposed below grade square footage) and a 299-square foot attached garage on a 3,680-square foot parcel. The proposed residence would be the third largest in terms of FAR and square footage in the immediate neighborhood. As shown in the table below, there are four homes in the immediate neighborhood which currently exceed their maximum allowable FAR. The proposed residence would rank in the middle of the homes in the immediate neighborhood that exceed FAR standards.

Residences in Immediate Neighborhood Exceeding FAR - Ranked by FAR Exceedance

Address	Zoning	House SF	Site SF	Allowed FAR	Building FAR	Exceed FAR?
546 San Benito Av	R-1D	1,767	3,680	0.37	0.48	Yes
340 Sali Bellito Av						+0.11 (+398 sf)
135 Olive St	R-1D	1,699	3,542	0.37	0.48	Yes
155 Olive St		1,099				+0.11 (+373 sf)
118 Olive St (p)	R-1D 1,6	1,677	1,677 3,680	0.37	0.46	Yes
118 Olive 3t (p)	K-1D	1,077	3,000	0.57	0.46	+0.09 (+308 sf)
127 Olive St	R-1D 1,5	1,518 3,626	3,626	0.37	0.42	Yes
127 Olive St		1,310	3,020			+0.05 (+166 sf)
120 Olive St	R-1D 1,429	3,680	0.37	0.39	Yes	
120 Olive St		1,423	3,000	0.57	0.39	+0.02 (+60 sf)

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SUBJECT: 118 Olive Street/S-21-013

DATE: January 7, 2022

DISCUSSION (continued):

Section 29.40.075(c) of the Town Code states that the deciding body may allow a FAR in excess of the maximum allowed FAR if the following findings can be made:

- 1. The design theme, sense of scale, exterior materials, and details of the proposed project are consistent with the provisions of the adopted residential development standards; and
- 2. The lot coverage, setbacks, and FAR of the proposed project is compatible with the development on surrounding lots.

Exhibit 4 contains the applicant's Letter of Justification addressing the findings required to grant an exception to the maximum allowable FAR. In addition, the applicant states that the proposed residence has been designed with thorough consideration of the Residential Design Guidelines and to be compatible with the neighborhood in terms of mass, area, and scale.

C. Building Design

The applicant proposes a contemporary two-story residence with traditional forms, natural materials, and neutral colors. Proposed exterior materials include a dark gray standing seam metal roof, off-white plaster siding, natural stained cedar siding, gray and white stone veneer, and recessed dark aluminum windows (Exhibit 5).

The Town's Consulting Architect reviewed the proposed residence on August 4, 2021 (Exhibit 6). At the time of this review, the project did not include full demolition of the existing residence and was considered a significant remodel and second-story addition. While processing the application, the applicant decided that full demolition of the existing residence was needed to accomplish the project. The design of the proposed residence did not change once full demolition of the existing residence was proposed. After reviewing the project, the Consulting Architect noted that the proposed residence has the potential to blend well with the immediate neighborhood (Exhibit 6). The Consulting Architect identified several issues and provided six recommendations for changes to the original design to increase compatibility with the immediate neighborhood and the Residential Design Guidelines. In response to these recommendations, the applicant made several modifications to the design of the residence and provided written responses to the recommendations (Exhibit 7). The Consulting Architect's recommendations are provided on the following page, followed by the applicant's response in *italics*.

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SUBJECT: 118 Olive Street/S-21-013

DATE: January 7, 2022

DISCUSSION (continued):

1. Use similar flat roof forms on both the garage and Family room/Kitchen pop out. Optional usable roof deck over garage for Bedroom 2 and/or Master Bedroom.

We have created a deck over the garage per our attached revised plan. Our design steps the deck back to the garage face providing a stepped back more attractive street presence.

2. Integrate the entry column into the garage wall and add a canopy over the entry and the garage.

The element in question is not a column. It is the end of a wall that extends from the entry to the face of the building. Comment is not applicable.

3. Recess the garage door - similar to new home nearby to the right (114 Olive Street).

The garage door has been recessed by 1'-0."

4. Match the gable roof slopes.

The roofs in question oppose each other and no contrast between their slope differences will be visually apparent. The roof slopes were chosen to blend the house appropriately and to keep the mass of the house appealing. If the side gable slope were to match the front of the house, mass would be increased. I believe the intent of the code is to prevent unequal slopes on the gable as illustrated in the drawing above, left. Larry Canon just approved a house w/dissimilar roof slopes at 515 Bachman Ave. The photo that Larry Canon is using is 114 Olive is my design. Those roof slopes do not match, but since the roof directions oppose each other, the appearance is wholly acceptable and not apparent resulting in reduced mass and bulk.

5. Add trim to all windows consistent with Residential Design Guideline 3.7.4 and recess large windows- similar to new home nearby to the right (114 Olive Street).

This design calls for trimless, recessed windows per the exception noted at 3.7.4, Page 4 of Canon's report. The exterior walls will be 6" thick and the windows will be recessed as far as practical. For this style of architecture, window trim would not be appropriate.

The applicant provided additional details to staff that the proposed windows would be recessed into the wall by approximately two inches. The windows would also have dark frames in contrast with the wall color to further accentuate the recess.

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SUBJECT: 118 Olive Street/S-21-013

DATE: January 7, 2022

DISCUSSION (continued):

Eliminate the stone on the front facade.

The stone wraps around the architectural element at the front of the house and is distinct. No such elements exist at sides and rear to create a similar condition. The proposed color of the stone compliments and blends with the color of the roof.

As seen above, the applicant has responded to the recommendations made by the Consulting Architect with both design changes and written justification. Staff notes that the responses to recommendations 2 and 4 were minimal. The applicant's response to item 2 clarifies that the entry column referenced in the recommendation is a wall that projects from the front elevation and supports the second story above (Exhibit 11, Sheet A-2, Ground Floor Plan). The applicant chose not to incorporate a canopy above the entry and garage, as recommended, but did change the sloped roof above the garage to a terrace, creating a flat roof profile above the garage (as recommended in item 1). In response to recommendation 4, the applicant clarifies that the roof sections with differing slopes oppose each other and that the different roof pitches would not be visually apparent in this configuration. Further, the applicant provides examples of homes in the neighborhood and beyond with similar roof configurations to show compatibility with the neighborhood.

If the Planning Commission finds that additional changes are necessary, they can be incorporated into the Conditions of Approval for the project.

D. <u>Setbacks</u>

Pursuant to Town Code, the R-1D zone requires a front setback of 15 feet, rear setback of 20 feet, and side setbacks of five feet. Section 29.10.265(3) of the Town Code allows any rule of the zone, including setbacks, to be modified on a nonconforming lot when the deciding body finds that the building and its use will be compatible with the neighborhood. As noted, the subject property is nonconforming as to size. The proposed residence includes a front setback of 10 feet, where 15 feet is required, and a left-side setback of three feet, where five feet is required (Exhibit 11). In their Letter of Justification, the applicant provides six examples of residences along Olive Street having front setbacks between four feet and eight feet, nine inches (Exhibit 4). Additionally, the applicant provides seven examples of residences along Olive Street with side setbacks between zero feet and three feet. The examples provided by the applicant are also shown on Sheet A-1.1 of the Development Plans (Exhibit 11).

E. Parking

Town Code Section 29.10.150 requires two off-street parking spaces for a single-family residence. Section 29.10.150(h)(2) allows an exemption from the parking requirement

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SUBJECT: 118 Olive Street/S-21-013

DATE: January 7, 2022

DISCUSSION (continued):

when the deciding body finds that the subject property does not have adequate area to provide parking as required. Further, if the deciding body makes the finding, parking shall be provided to the maximum extent possible.

The proposed project includes only one off-street parking space. The applicant requests an exemption to the Town Code parking requirement and provided a Letter of Justification detailing their request (Exhibit 4). The applicant indicates that the subject property is nonconforming as to size with inadequate area to provide additional parking. The existing residence includes a one-car garage that does not meet the required dimensions for a one-car garage. The proposed residence includes a one-car garage that would meet the required dimensions and would be consistent with the neighborhood pattern of one-car garages.

F. Neighbor Outreach

The property owner has indicated that they have shared the plans with surrounding neighbors as outlined in Exhibit 8.

G. CEQA Determination

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction.

PUBLIC COMMENTS:

Story poles and project signage were installed on the site by December 22, 2021, in anticipation of the January 12, 2022 Planning Commission hearing. Public comments received by 11:00 a.m., Friday, January 7, 2022, are included as Exhibit 10.

CONCLUSION:

A. <u>Summary</u>

The applicant is requesting approval of an Architecture and Site application for demolition of an existing residence and construction of a new two-story residence to exceed FAR standards with reduced front and side yard setbacks on nonconforming property. The applicant has responded to all recommendations of the Town's Consulting Architect and provided justification for the proposed FAR and reduced setbacks, demonstrating their consistency with the immediate neighborhood. The applicant also requests an exemption from the parking requirements due to the substandard size of their property and provided

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SUBJECT: 118 Olive Street/S-21-013

DATE: January 7, 2022

CONCLUSION (continued):

justification showing that the one-car garage would be an improvement to existing conditions and would be consistent with the immediate neighborhood.

B. <u>Recommendation</u>

Based on the analysis above, staff recommends approval of the Architecture and Site application subject to the recommended conditions of approval (Exhibit 3). If the Planning Commission finds merit with the proposed project, it should:

- 1. Make the finding that the proposed project is Categorically Exempt, pursuant to the adopted Guidelines for the implementation of the California Environmental Quality Act, Section 15303: New Construction (Exhibit 2);
- 2. Make the findings as required by Section 29.10.09030(e) of the Town Code for the demolition of existing structures (Exhibit 2);
- 3. Make the finding that the project complies with the objective standards of Chapter 29 of the Town Code (Zoning Regulations) with the exception of the requests to exceed FAR standards, for reduced front and side yard setbacks, and for an exemption from the parking requirements (Exhibit 2);
- Make the findings as required by Section 29.40.075(c) of the Town Code for granting approval of an exception to the FAR standards (Exhibit 2);
- Make the findings as required by Section 29.10.265(3) of the Town Code for modification of zoning rules on nonconforming lots, including setback requirements (Exhibit 2);
- 6. Make the findings as required by 29.10.150(h)(2) of the Town Code for reduced parking where it can be shown that the lot does not have adequate area to provide parking as required (Exhibit 2);
- 7. Make the finding required by the Town's Residential Design Guidelines that the project complies with the Residential Design Guidelines (Exhibit 2);
- 8. Make the considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2); and
- 9. Approve Architecture and Site Application S-21-003 with the conditions contained in Exhibit 3 and the Development Plans in Exhibit 11.

C. Alternatives

Alternatively, the Planning Commission can:

- 1. Continue the matter to a date certain with specific direction; or
- 2. Approve the application with additional and/or modified conditions; or
- 3. Deny the application.

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SUBJECT: 118 Olive Street/S-21-013

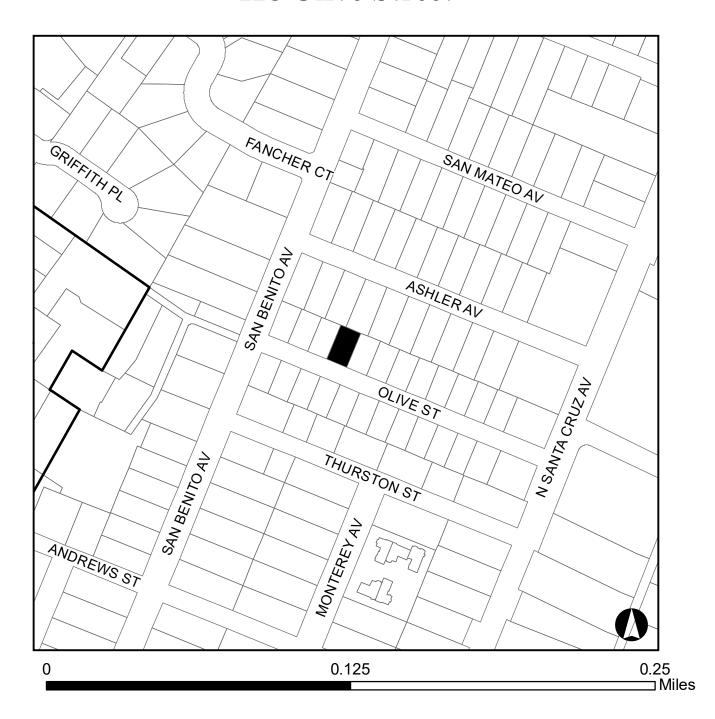
DATE: January 7, 2022

EXHIBITS:

- 1. Location Map
- 2. Required Findings and Considerations
- 3. Recommended Conditions of Approval
- 4. Project Description and Letter of Justification, dated August 2, 2021
- 5. Color and Materials Board
- 6. Consulting Architect's Report, dated August 4, 2021
- 7. Applicant's response to Consulting Architect's Report
- 8. Owner's summary of neighbor outreach
- 9. Photos of existing residence
- 10. Public comments received by 11:00 a.m., Friday, January 7, 2022
- 11. Development Plans

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118 Olive Street



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PLANNING COMMISSION – *January 12, 2022* **REQUIRED FINDINGS AND CONSIDERATIONS FOR:**

118 Olive Street

Architecture and Site Application S-21-013

Requesting Approval for Demolition of an Existing Single-Family Residence and Construction of a New Single-Family Residence to Exceed Floor Area Ratio (FAR) Standards with Reduced Front and Side Yard Setbacks on Nonconforming Property Zoned R-1D. APN 410-15-022.

PROPERTY OWNER: Thomas and Meredith Reichert

APPLICANT: Jay Plett, Architect PROJECT PLANNER: Sean Mullin

FINDINGS

Required finding for CEQA:

■ The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction.

Required finding for the technical demolition of existing structures:

- As required by Section 29.10.09030(e) of the Town Code for the demolition of existing structures:
 - 1. The Town's housing stock will be maintained as the single-family residence will be replaced.
 - 2. The existing structure has no architectural or historical significance.
 - 3. The property owner does not desire to maintain the structure as it exists; and
 - 4. The economic utility of the structures was considered.

Required compliance with the Zoning Regulations:

■ The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations) with the exception of the requests to exceed Floor Area Ratio (FAR) standards, for reduced front and side yard setbacks, and for an exemption from the parking requirements.

Required finding to exceed floor area ratio (FAR) standards:

- As required by Section 29.40.075(c) of the Town Code for allowing a FAR in excess of the FAR standards in the Town Code:
 - The design theme, sense of scale, exterior materials, and details of the proposed project are consistent with the provisions of the adopted residential development standards; and
 - 2. The lot coverage, setbacks, and FAR of the proposed project are compatible with the development on surrounding lots.

Required finding for reduced side setbacks on a nonconforming lot:

- As required by Section 29.10.265(3) of the Town Code for modification of zoning rules on nonconforming lots, including setback requirements:
 - 1. The subject property is nonconforming with regard to lot size.
 - 2. The front and left-side setbacks of the new residence are compatible with the neighborhood.

Required finding for an exemption to single-family parking requirements:

- As required by Section 29.10.150(h)(2) of the Town Code for reduced parking where it can be shown that the lot does not have adequate area to provide parking as required:
 - The subject property is nonconforming with regard to lot size with inadequate area
 to meet the single-family parking requirement. The existing residence includes a
 one-car garage that does not meet the required dimensions for a parking space.
 The proposed residence includes a one-car garage that would meet the required
 dimensions and would be consistent with the neighborhood pattern of one-car
 garages.

Required compliance with the Residential Design Guidelines:

■ The project is in compliance with the Residential Design Guidelines for single-family residences not in hillside areas. The project was reviewed by the Town's Consulting Architect and recommendations were provided to address the consistency of the project with the Residential Design Guidelines. The applicant responded to all recommendations.

CONSIDERATIONS

Required considerations in review of Architecture and Site applications:

■ As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

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PLANNING COMMISSION – January 12, 2022 CONDITIONS OF APPROVAL

118 Olive Street

Architecture and Site Application S-21-013

Requesting Approval for Demolition of an Existing Single-Family Residence and Construction of a New Single-Family Residence to Exceed Floor Area Ratio (FAR) Standards with Reduced Front and Side Yard Setbacks on Nonconforming Property Zoned R-1D. APN 410-15-022.

PROPERTY OWNER: Thomas and Meredith Reichert

APPLICANT: Jay Plett, Architect PROJECT PLANNER: Sean Mullin

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

- APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC or the Planning Commission depending on the scope of the changes.
- 2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
- 3. STORY POLES: The story poles on the project site shall be removed within 30 days of approval of the Architecture & Site application.
- 4. OUTDOOR LIGHTING: Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
- 5. TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
- 6. EXISTING TREES: All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
- 7. ARBORIST REQUIREMENTS: The developer shall implement, at their cost, all recommendations identified in the Arborist's report for the project, on file in the Community Development Department. These recommendations must be incorporated in the building permit plans and completed prior to issuance of a building permit where applicable.
- 8. TREE FENCING: Protective tree fencing and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.

EXHIBIT 3

- 9. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
- 10. FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.
- 11. WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.
- 12. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval, and may be secured to the satisfaction of the Town Attorney.
- 13. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

Building Division

- 14. PERMITS REQUIRED: A Demolition Permit is required for the demolition of the existing single-family residence. A separate Building Permit is required for the construction of the new single-family residence and attached garage. An additional Building Permit will be required for the PV System if the system is required by the California Energy Code.
- 15. APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2020, are the 2019 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12, including locally adopted Energy Reach Codes.
- 16. CONDITIONS OF APPROVAL: The Conditions of Approval must be blue lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
- 17. BUILDING & SUITE NUMBERS: Submit requests for new building addresses to the Building Division prior to submitting for the building permit application process.
- 18. SIZE OF PLANS: Minimum size 24" x 36", maximum size 30" x 42".
- 19. REQUIREMENTS FOR COMPLETE DEMOLITION OF STRUCTURE: Obtain a Building Department Demolition Application and a Bay Area Air Quality Management District Application from the Building Department Service Counter. Once the demolition form has been completed, all signatures obtained, and written verification from PG&E that all utilities have been disconnected, return the completed form to the Building Department Service Counter with the Air District's J# Certificate, PG&E verification, and three (3) sets of site plans showing all existing structures, existing utility service lines such as water, sewer, and PG&E. No demolition work shall be done without first obtaining a permit from the Town.
- 20. SOILS REPORT: A Soils Report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations, shall be submitted with

- the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
- 21. SHORING: Shoring plans and calculations will be required for all excavations which exceed five (5) feet in depth or which remove lateral support from any existing building, adjacent property, or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall confirm to the Cal/OSHA regulations.
- 22. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
 - a. Building pad elevation
 - b. Finish floor elevation
 - c. Foundation corner locations
 - d. Retaining wall(s) locations and elevations
- 23. TITLE 24 ENERGY COMPLIANCE: All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e. directly printed, onto a plan sheet.
- 24. TOWN RESIDENTIAL ACCESSIBILITY STANDARDS: New residential units shall be designed with adaptability features for single-family residences per Town Resolution 1994-61:
 - a. Wood backing (2" x 8" minimum) shall be provided in all bathroom walls, at water closets, showers, and bathtubs, located 34 inches from the floor to the center of the backing, suitable for the installation of grab bars if needed in the future.
 - b. All passage doors shall be at least 32-inch wide doors on the accessible floor level.
 - c. The primary entrance door shall be a 36-inch-wide door including a 5'x 5' level landing, no more than 1 inch out of plane with the immediate interior floor level and with an 18-inch clearance at interior strike edge.
 - d. A door buzzer, bell or chime shall be hard wired at primary entrance.
- 25. BACKWATER VALVE: The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.50.025. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
- 26. HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies.
- 27. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available from the Building Division Service Counter or online at www.losgatosca.gov/building.

- 28. BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available at the Building Division Service Counter for a fee of \$2 or at ARC Blueprint for a fee or online at www.losgatosca.gov/building.
- 29. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
 - a. Community Development Planning Division: (408) 354-6874
 - b. Engineering/Parks & Public Works Department: (408) 399-5771
 - c. Santa Clara County Fire Department: (408) 378-4010
 - d. West Valley Sanitation District: (408) 378-2407
 - e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

Engineering Division

- 30. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner's expense.
- 31. APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
- 32. CONSTRUCTION PLAN REQUIREMENTS: Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town's Engineering Design Standards, which are available for download from the Town's website.
- 33. RESTORATION OF PUBLIC IMPROVEMENTS: The Owner or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional

compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.

- 34. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
- 35. STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
- 36. INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of any building permits.
- 37. DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
- 38. PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval.
- 39. GRADING PERMIT DETERMINATION DURING CONSTRUCTION DRAWINGS: In the event that, during the production of construction drawings and/or during construction of the plans approved with this application by the Town of Los Gatos, it is determined that a grading permit would be required as described in Chapter 12, Article II (Grading Permit) of the Town Code of the Town of Los Gatos, an Architecture and Site Application would need to be submitted by the Owner for review and approval by the Development Review Committee prior to applying for a grading permit.
- 40. ILLEGAL GRADING: Per the Town's Comprehensive Fee Schedule, applications for work unlawfully completed shall be charged double the current fee. As a result, the required grading permit fees associated with an application for grading will be charged accordingly.
- 41. PRECONSTRUCTION MEETING: Prior to issuance of any building permits or the commencement of any site work, the general contractor shall:
 - Along with the Owner, attend a pre-construction meeting with the Town Engineer to discuss the project conditions of approval, working hours, site maintenance and other construction matters;
 - b. Acknowledge in writing that they have read and understand the project conditions of approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction.
- 42. DEMOLITION: Within 60-days of the Development Review Committee approval action being final (i.e. after the 10-day appeal period and no requested appeals being submitted

- to the Town), the Property Owner shall record a Deed Restriction on each of the parcels in question which prohibits the recording of a Certificate of Compliance until one of the two (2) prerequisite actions occurs prior to the proposed recordation: 1) removal of any structures which cross lot/property lines or 2) the Property Owner successfully obtaining an Architecture & Site approval from the Town of Los Gatos for the demolition of the existing house and construction of a replacement house.
- 43. WATER METER: The existing water meter, currently located within the Olive Street right-of-way, shall be relocated within the property in question, directly behind the public right-of-way line. The Owner shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate
- 44. SIDEWALK REPAIR: The Owner shall repair and replace to existing Town standards any sidewalk damaged now or during construction of this project. All new and existing adjacent infrastructure must meet current ADA standards. Sidewalk repair shall match existing color, texture and design, and shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of sidewalk repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
- 45. CURB AND GUTTER REPAIR: The Owner shall repair and replace to existing Town standards any curb and gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New curb and gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of curb and gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
- 46. CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-of-way will only be allowed if it does not cause access or safety problems as determined by the Town.
- 47. ADVANCE NOTIFICATION: Advance notification of all affected residents and emergency services shall be made regarding parking restriction, lane closure or road closure, with specification of dates and hours of operation.
- 48. HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a building permit, the Owner or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Owner to place

- construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
- 49. CONSTRUCTION HOURS: All site improvements construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.
- 50. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
- 51. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any building permits, the Owner's design consultant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Earth Movement Plan, Project Schedule, site security fencing, construction staging area, materials storage area(s), construction trailer(s), concrete washout(s) and proposed outhouse locations. Please refer to the Town's Construction Management Plan Guidelines document for additional information.
- 52. MAINTENANCE ACCESS: Prior to the issuance of any building permits, the Owner shall propose maintenance access improvements for the Town Engineer to review, comment on, and approve. The Engineering Division of the Parks and Public Works Department shall approve the surface materials over each public easement.
- 53. BEST MANAGEMENT PRACTICES (BMPs): The Owner is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.
- 54. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
 - a. Protect sensitive areas and minimize changes to the natural topography.
 - b. Minimize impervious surface areas.
 - c. Direct roof downspouts to vegetated areas.
 - d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
 - e. Use landscaping to treat stormwater.

- 55. UNLAWFUL DISCHARGES: It is unlawful to discharge any wastewater, or cause hazardous domestic waste materials to be deposited in such a manner or location as to constitute a threatened discharge, into storm drains, gutters, creeks or the San Francisco Bay. Unlawful discharges to storm drains include, but are not limited to: discharges from toilets, sinks, industrial processes, cooling systems, boilers, fabric cleaning, equipment cleaning or vehicle cleaning.
- 56. LANDSCAPING: In finalizing the landscape plan for the biotreatment area(s), it is recommended that the landscape architect ensure that the characteristics of the selected plants are similar to those of the plants listed for use in bioretention areas in Appendix D of the Santa Clara Valley Urban Runoff Pollution Prevention Program (SCVURPPP) C.3 Stormwater Handbook.
- 57. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.
- 58. AIR QUALITY: To limit the project's construction-related dust and criteria pollutant emissions, the following the Bay Area Air Quality Management District (BAAQMD)-recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:
 - a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day, or otherwise kept dust-free.
 - b. All haul trucks designated for removal of excavated soil and demolition debris from site shall be staged off-site until materials are ready for immediate loading and removal from site.
 - c. All haul trucks transporting soil, sand, debris, or other loose material off-site shall be covered.
 - d. As practicable, all haul trucks and other large construction equipment shall be staged in areas away from the adjacent residential homes.
 - e. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day, or as deemed appropriate by Town Engineer. The use of dry power sweeping is prohibited. An on-site track-out control

- device is also recommended to minimize mud and dirt-track-out onto adjacent public roads.
- f. All vehicle speeds on unpaved surfaces shall be limited to fifteen (15) miles per hour.
- g. All driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- h. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within forty-eight (48) hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. Please provide the BAAQMD's complaint number on the sign: 24-hour toll-free hotline at 1-800-334-ODOR (6367).
- i. All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed twenty (20) miles per hour.
- j. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.
- 59. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
- 60. SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. Any storm drain inlets (public or private) directly connected to public storm system shall be stenciled/signed with appropriate "NO DUMPING Flows to Bay" NPDES required language. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If stormwater treatment facilities are to be used they shall be placed a minimum of ten (10) feet from the adjacent property line and/or right-of-way. Alternatively, the facility(ies) may be located with an offset between 5 and 10 feet from the adjacent property and/or right-of-way line(s) if the responsible engineer in charge provides a stamped and signed letter that addresses infiltration and states how facilities, improvements and infrastructure within the Town's right-of-way (driveway approach, curb and gutter, etc.) and/or the adjacent property will not be adversely affected. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.
- 61. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
- 62. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public

- right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner's expense.
- 63. NEIGHBORHOOD CONSTRUCTION COMMUNICATION PLAN: Immediately upon approval of an encroachment permit, the Owner shall initiate a weekly neighborhood email notification program to provide project status updates. The email notices shall also be posted on a bulletin board placed in a prominent location along the project perimeter.
- 64. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

- 65. GENERAL: Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
- 66. FIRE SPRINKLERS REQUIRED: (As Noted on Sheet A-1) An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: 1) In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 SF whether by increasing the area of the primary residence or by creation of an attached Accessory Dwelling Unit. 2) In all new basements and in existing basements that are expanded by more than 50%. 3) In all attached ADUs, additions or alterations to an existing one- and two-family dwelling that have an existing fire sprinkler system. Exceptions: 1) One or more additions made to a building after January 1, 2011 that does not total more than 1,000 square feet of building area and meets all access and water supply requirements of Chapter 5 and Appendix B and C of the 2019 California Fire Code. This project is categorized as a new dwelling according to scope.
- 67. WATER SUPPLY REQUIREMENTS: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.
- 68. ADDRESS IDENTIFICATION: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency

- response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.
- 69. CONSTRUCTION SITE FIRE SAFETY: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.
- 70. GENERAL: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]



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REICHERT 118 OLIVE STREET

PROJECT SUMMARY

PROJECT DESCRIPTION and JUSTIFICATION

THE NEIGHBORHOOD IS IN A TRANSITION OF RENEWAL AND COMPRISED OF VARYING STYLES. THE PROJECT CONSISTS OF A NEW HOME OF TRADITIONAL AMERICAN FORMS AND SHOULD BE CONSIDERED APPROPRIATE FOR THE NEIGHBORHOOD. THE ADDITION IS DESIGNED TO BLEND AMICABLY INTO THIS ECLECTIC NEIGHBORHOOD, IN MANY WAYS ITS FORM RESEMBLING THE 2 STORY NEXT TO IT AT 120 OLIVE.

FLOOR AREA and F.A.R. COMPARISONS

THE PROJECT FLOOR AREA = 1,677 SF/FAR .456
THERE ARE 4 HOMES WITHIN ITS IMMEDIATE SPHERE THAT ARE OVER
THE ALLOWED FLOOR AREA

120 OLIVE = 1,429 SF / FAR = .390

135 OLIVE = 1,699 SF / FAR = .480

127 OLIVE = 1,518 SF / FAR = .423

546 SAN BENITO = 1.767 SF / FAR = .480

THE AVERAGE OF THESE 4 BEING 1,603 SF WITH AN AVERAGE FAR OF .44. THIS HOME FLOOR AREA FALLS IN THE MIDDLE - WITH 2 NEIGHBORS BEING LARGER AND 2 NEIGHBORS BEING SMALLER.

SETBACK COMPARISONS

<u>Fronts</u>

PROJECT 10'-0"

133 OLIVE 7'-0"

13 I OLIVE 8'-0"

127 OLIVE 7'-0"

125 OLIVE 5'-0"

1 12 OLIVE 8'-9"

110 OLIVE 4'-0"

THE PROPOSED PROJECT'S FRONT SETBACK IS WELL WITHIN THE NEIGHBORHOOD PATTERNS AS MANY HOMES POSSESS MUCH SMALLER FRONT SETBACKS.

SETBACK COMPARISONS (continued)

Sideyards

PROJECT 3'-0"

120 OLIVE 3'-0" +-

135 OLIVE 0'-0"

13 | OLIVE 2'-0" +-

129 OLIVE 2'-0" +-

127 OLIVE 1'-6" +-

110 OLIVE 0'-0"

1 12 OLIVE 3'-0"

THE PROPOSED PROJECTS SIDEYARD SETBACK IS WELL WITHIN THE NEIGHBORHOOD PATTERNS AS MANY HOMES POSSESS MUCH SMALLER SIDEYARD SETBACKS.

PARKING

THE SITE IS NONCONFORMING WITH INADEQUATE AREA AND DIMENSIONS TO PROVIDE ADDITIONAL PARKING. THE PATTERN OF THE NEIGHBORHOOD IS ONE-CAR GARAGES. THE PROJECT HOME'S GARAGE IS NON-CONFORMING WITH AN EXISTING 10'-0" INSIDE WIDTH. THE PROPOSED GARAGE WILL BE IMPROVED TO 12'-0" INSIDE CLEAR WIDTH, THUS PROVIDING A CONFORMING ONE-CAR GARAGE.

SUMMARY

THE PROJECT'S FLOOR AREA IS COMPARABLE WITH THE FOUR NEIGHBORS; ITS F.A.R. IS LESS THAN THE AVERAGE OF THOSE FOUR NEIGHBORS, WHICH EXCEED THE FAR. THE HOME/ADDITION HAS BEEN DESIGNED WITH THOROUGH CONSIDERATION OF THE TOWN'S DESIGN GUIDELINES, TO FIT AND BLEND AMICABLY WITHIN IT'S NEIGHBORHOOD BY MATCHING THE MASS, AREA AND SCALE OF ADJACENT NEIGHBORS.

MATERIAL BOARD



STONE VENEER (GRAY + WHITE TONES)



OFF WHITE PLASTER WALLS



STANDING SEAM METAL ROOF (GUN METAL GRAY)



TRIMLESS RECESSED ALUMINIUM FRAMED WINDOWS IN PLASTER, DARK COLOR



ALTERNATE CEDAR SIDING



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August 4, 2021

Mr. Sean Mullin Community Development Department Town of Los Gatos 110 E. Main Street Los Gatos, CA 95031

RE: 118 Olive Street

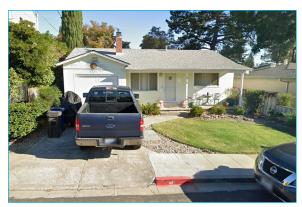
Dear Sean:

I reviewed the drawings and evaluated the site context. My comments and recommendations are as follows:

NEIGHBORHOOD CONTEXT

The site is located in an established neighborhood containing a mix of one and two-story homes. Photos of the site and surrounding neighborhood context are shown on the following page.





The Site and Existing House



House to the immediate left



Nearby house immediately across Olive Street



Nearby house across Olive Street



Houses immediately to the left



House to the immediate right



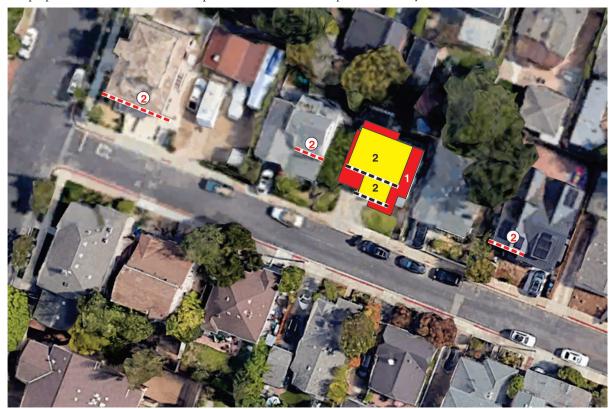
Nearby house to the right



Nearby house across Olive Street

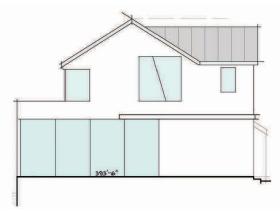
ISSUES AND CONCERNS

The proposed first and second floor footprints, shown in relationship to other nearby homes, and elevations are shown below.

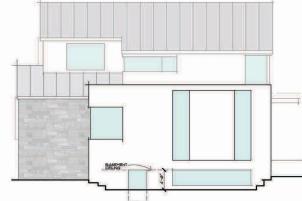




Proposed Front Elevation



Proposed Rear Elevation

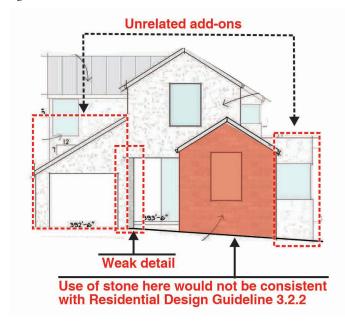


Proposed Right Side Elevation



Proposed Left Side Elevation

The additions seem appropriate, and have the potential to blend well with the existing house and immediate neighborhood. There are, however, a few issues, as follows:



1. The use of stone on the front elevation, while not carrying it around consdistently on the other three facades would not be consistent with Residential Design Guideline 3.2.2.

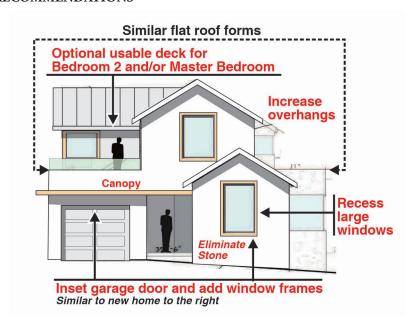
3.2.2 Design for architectural integrity

- Carry wall materials, window types and architectural details around all sides of the house. Avoid side and rear elevations that are markedly different from the front elevation.
- 2. The column detail shown at the entry is not well detailed, and does not look like it is an integral part of the facade,
- 3. The existing house is simple in its forms, and the addition should relate to that. However, the garage form and the popout form on the right side elevation at the Family Room/Kitchen are quite foreign to main forms of the house and to each other.
- 3. There appears to be no trim at the window, and windows do not appear to be substantially recessed from the face of the wall which would not be consistent with Residential Design Guideline 3.7.4.

3.7.4 Design the windows with attention to matching the traditional details of the architectural style

- Most architectural styles except Mission, Spanish Eclectic or Modern should have wood trim around the windows. The trim width should be matched to the style, but in general, should not be less than 3 1/2 inches wide. Head trim depth should be equal to or wider than the jamb casing, but not less than one-sixth of the opening width.
- Projecting window sills and heads are strongly encouraged unless the architectural style would not normally have those features.
- Wood trim is also encouraged on stucco houses unless the window frames are recessed at least 6 inches from the outside face of the wall. The use of stucco covered foam trim is strongly discouraged.
- 4. Gable roof slopes do not match which would not be consistent with Residential Design Guideline 3.5.1.

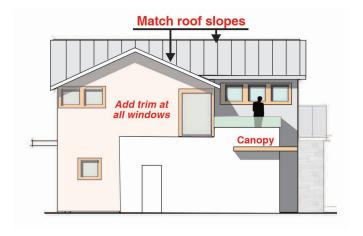
RECOMMENDATIONS

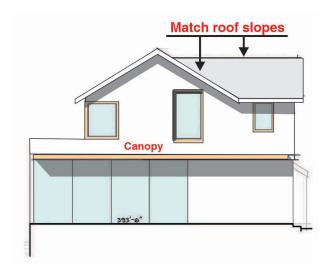


- 1. Use similar flat roof forms on both the garage and Family room/Kitchen popout. Optional usable roof deck over garage for Bedroom 2 and/or Master Bedroom.
- 2. Integrate the entry column into the garage wall, and add a conopy over the entry and the garage.



- 3. Recess the garage door similar to new home nearby to the right (photo below).
- 4. Match the gable roof slopes.
- 5. Add trim to all windows consistent with Residential Design Guideline 3.7.4 and recess large windows- similar to new home nearby to the right (photo above).
- 6. Eliminate the stone on te front facade.





Sean, please let me know if you have any questions, or if there are other issues that I did not address.

Sincerely,

CANNON DESIGN GROUP

Larry L. Cannon



August 4, 2021

Mr. Sean Mullin Community Development Department Town of Los Gatos 110 E. Main Street Los Gatos, CA 95031

RE: 118 Olive Street

Dear Sean:

I reviewed the drawings and evaluated the site context. My comments and recommendations are as follows:

NEIGHBORHOOD CONTEXT

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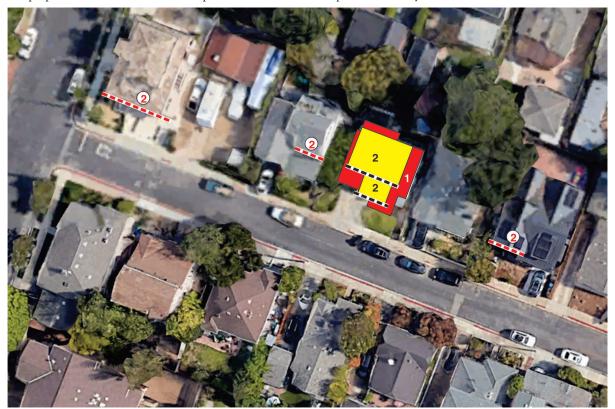
Nearby house to the right



Nearby house across Olive Street

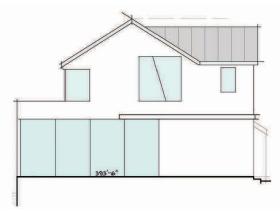
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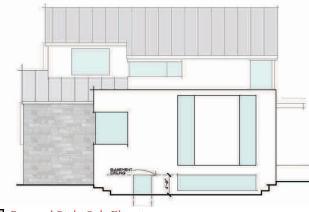




Proposed Front Elevation



Proposed Rear Elevation

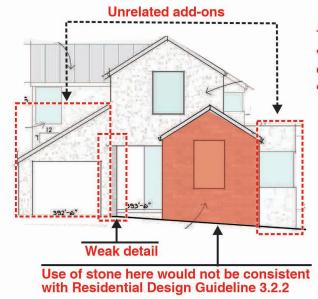


Proposed Right Side Elevation



Proposed Left Side Elevation

The additions seem appropriate, and have the potential to blend well with the existing house and immediate neighborhood. There are, however, a few issues, as follows:



The exterior walls will be 6" thick and the windows will be recessed as far as practical. For this style of architecture, window trim would not be appropirate

The element in question is not a column. It is the end of a wall that extends from the entry to the face of the building. Comment is N/A

The stone wraps around the architectural element @ The front of the house and is distinct. No such elements exist @ sides & rear to create a similar condition. The proposed color of the stone compliments & blends with the color of the roof

1. The use of stone on the front elevation, while not carrying it around consdistently on the other three facades would not be consistent with Residential Design Guideline 3.2.2.

3.2.2 Design for architectural integrity

- Carry wall materials, window types and architectural details around all sides of the house. Avoid side and rear elevations that are markedly different from the front elevation.
- 2. The column detail shown at the entry is not well detailed, and does not look like it is an integral part of the facade,
- 3. The existing house is simple in its forms, and the addition should relate to that. However, the garage form and the popout form on the right side elevation at the Family Room/Kitchen are quite foreign to main forms of the house and to each other. We have created a deck over the garage per Canon suggestion
- 3. There appears to be no trim at the window, and windows do not appear to be substantially recessed from the face of the wall which would not be consistent with Residential Design Guideline 3.7.4.

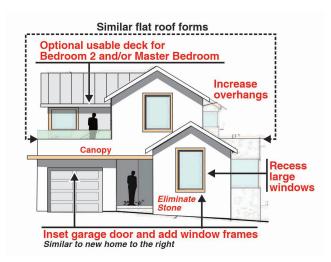
3.7.4 Design the windows with attention to matching the traditional details of the architectural style

- Most architectural styles except Mission, Spanish Eclectic or Modern should have wood trim around the windows. The trim width should be matched to the style, but in general, should not be less than 3 1/2 inches wide. Head trim depth should be equal to or wider than the jamb casing, but not less than one-sixth of the opening width.
- Projecting window sills and heads are strongly encouraged unless the architectural style would not normally have those features.
- Wood trim is also encouraged on stucco houses unless the window frames are recessed at least 6 inches from the outside face of the wall. The use of stucco covered foam trim is strongly discouraged.
- 4. Gable roof slopes do not match which would not be consistent with Residential Design Guideline 3.5.1.

The roofs in question oppose each other and no contrast between their slope differences will be visually apparent. The roof slopes were chosen to blend the house appropriately and to keep the mass of the house appealing. If the side gable slope were to match the front of the house, mass would be increased. I believe the intent of the code is to prevent unequal slopes on the gable as illustrated in the dr Page 58 vove, left. Larry Canon just approved a house w/dissimilar roof slopes @ 515 Bachman Ave

unequal slopes

RECOMMENDATIONS



We have created a deck over the Garage per our attached revised plan. Our design steps the deck back to the garage face providing a stepped back more attractive street presence

- 1. Use similar flat roof forms on both the garage and Family room/Kitchen popout. Optional usable roof deck over garage for Bedroom 2 and/or Master Bedroom.
- 2. Integrate the entry column into the garage wall, and add a conopy over the entry and the garage.

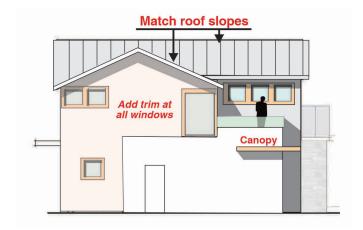


As mentioned earlier on the previous page point number 2., there is no entry column

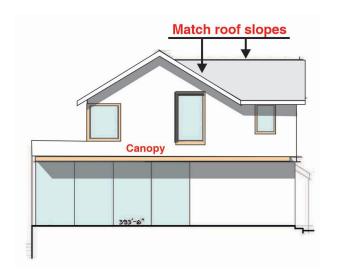
- 3. Recess the garage door similar to new home nearby to the right (photo below). The garage door has been recessed by I'-O"
- 4. Match the gable roof slopes.
- 5. Add trim to all windows consistent with Residential Design Guideline 3.7.4 and recess large windows-similar to new home nearby to the right (photo above). This design calls for trimless, recessed windows per the exception noted @3.7.4, Page 4 of Canon's report
- 6. Eliminate the stone on te front facade.

 Answered on the previous page, point number 1.

Answered on the previous page point number 4., The photo that Larry Canon is using of 114 Olive is my design. Those roof slopes do not match, but since the roof directions oppose each other, the appearance is wholly acceptable and not apparent resulting in reduced mass and bulk



As discussed earlier, the dissimilar roof slopes are acceptable as we have applied them



The canopy as extended per Larry Canon is not desirable. This is a north elevation and we prefer as much solar access as possible here. The canopy as designed, it is purely functional- It sheds the main person door and the future kitchen area from the weather.

Sean, please let me know if you have any questions, or if there are other issues that I did not address.

Sincerely,

CANNON DESIGN GROUP

Larry L. Cannon

----- Forwarded Message ------

Subject:118 Olive St project

Date:Thu, 10 Jun 2021 13:04:51 -0700

From:thomas reichert <thomasmichaelreichert@gmail.com>

To:Jay Plett < jay@plett-arc.com>

Hi Jay,

As part of the planning process with the Town, they requested we submit feedback about our communication regarding the project with our neighbors. Feel free to pass this on as part of their request, see below for some feedback from our experience since moving in:

My wife, Meredith, and I moved from San Francisco to Los Gatos to be closer to our family who live in the nearby neighborhood. My wife grew up here and we hope to raise our daughters in our new home on Olive Street. We just settled into the home in early 2021 during the pandemic, but have been able to meet many of our new neighbors already despite the health and safety precautions we are undertaking- seems like such a wonderful community and specifically on our block. With the state of the world it has been particularly difficult to engage in activities that would typically support socializing and sharing, but we have been able to at least open up and introduce ourselves as part of the social fabric as we look to root in town.

- We met Marcus, Celeste and their family just before we bought the home, they live at 114 Olive. They have helped us so much since arriving, daycare/school recommendations, setting up dinner party events, helping us find architects to plan the renovation, introducing us to the other neighbors etc; I would say having these types of neighbors (but them specifically) makes living here amazing. They are in full support of the project and have helped introduce us to many of the processes we will need to navigate since having just completed a project of their own.
- We met Mark, Christie and their family at 114 Olive. More great neighbors and are fully supportive of the project. We trade stories about their ongoing project and our planning process. We have kids around the same age and are excited to watch as the neighborhood kids all grow up together.
- We met Pam at 133 Olive. She is our favorite neighbor. While Jazz on the Plaza is currently
 not happening, she invites us to the backyard to have a substitute event until the eventual
 return of the Towns official Jazz parties begin. She is supportive of the project and we are

7/19/2021, 9:45 AM

1 of 2

happy to have her as our friend.

- We were friends with 131 Olive residents when we moved here, but they have moved and its been vacant for quite some time. I assume if someone moves in we will meet them as well and welcome them to the street.
- We met Mark and his son at 129 Olive, recently moved in. Excited to get some bbq parties going and have them join the fun. Not only are they supportive of the project, they might help build it.
- We just recently met Andrea who lives in 120 Olive with her family and hope to get to know them better.
- We have met Maria, Haley and their family who live at 116 Olive. They have been very nice
 and seem glad to have another young family move into town. When we had passing
 conversations about the proposed project they liked the revitalization of the older style
 homes as many are being updated and leaving others behind as somewhat dated (like ours is
 currently),

There are a few other neighbors we are excited to meet, but haven't had a chance to yet with the state of the world. Hoping this information speaks to the nature of our earnest attempts to be part of the neighborhood, picking an architect that advises/responds to the character of the design to fit contextually and align with respecting our neighbors in the build of our home. Thank you

Thomas M. Reichert 858-449-4536







From: AnnMarie Zimmermann <

Sent: Sunday, October 31, 2021 6:58 AM

To: Sean Mullin <SMullin@losgatosca.gov>

Cc: Ralph Cell Zimmermann <

Subject: Opposing 118 Olive Plans

EXTERNAL SENDER

Hello Sean,

I hope you are doing well.

We oppose the plans at 118 Olive (https://www.losgatosca.gov/2388/O) for the same reasons we opposed 114 Olive:

- Parking implications on Ashler, Olive and San Benito by waving the side-by-side parking requirement. Parking and traffic conditions have only gotten worse since we last corresponded.
- Privacy. We've attached a picture of 114 Olive overlooking our backyard and kitchen even after revised plans. It's still very obtrusive and uncomfortable.
- Potential damage to the Oak tree between 114 and 118 Olive. The family at 114 Olive periodically cut the Oak over their house.
- Precedence setting by continuing to look for exceptions for non-conforming lots rather than preserving the cottage like style and history of the neighborhood.

Ralph and AnnMarie Zimmermann

Los Gatos, CA

From: Celeste Lam <

Sent: Friday, December 17, 2021 1:44 PM
To: Sean Mullin <SMullin@losgatosca.gov>
Cc: Marcus Lam

Subject: 118 Olive St plans

EXTERNAL SENDER

Hi Sean,

It's been a little while. I hope this finds you well! Marcus and I are writing in support of the plans for 118 Olive St. Similar to us, the Reichert family have two young children and we understand the need to upgrade the once weekend bungalow homes on our street to meet the needs of modern families. Especially when the Bay Area is experiencing an unprecedented housing crunch.

Let us know if we can be of assistance. We would have loved positive support during our building process, so however we can help we'd like to.

Thanks & Happy Holidays! Celeste & Marcus Lam From: Christie Boskovich <

Sent: Monday, December 20, 2021 7:24 AM **To:** Sean Mullin <SMullin@losgatosca.gov>

Cc: Mark Boskovich < > Subject: Letter of Support for 118 Olive St Project

EXTERNAL SENDER

Hi Sean,

Hope you are well. Unrelated to our project, Mark and I just wanted to let you know we are fully supportive of Meredith and Thomas Reichert's remodel plan. They have reached out to us personally to let us know their plan and we think it will be an excellent upgrade for our neighborhood. It makes a very efficient use of space. We believe they are balancing their family's needs with the needs of the neighborhood very well and we hope their plans get approved. If you have any questions for us, please let us know.

Thank you!

Christie and Mark Boskovich

From: Mark De Mattei < Sent: Monday, December 20, 2021 1:27 PM To: Sean Mullin <smullin@losgatosca.gov> Cc: Jay Plett < >; Thomas Reichert < >; Zachary De Mattei < Subject: Reichert residence olive street</smullin@losgatosca.gov>
EXTERNAL SENDER
Hi Sean , We own the home at 129 olive which is directly across the street from the Reichert proposed project. I am e mailing you regarding my support of the Reichert residence project . I have reviewed the design and story poles . I feel this is a positive addition to the Neighborhood . Kind Regards Mark
Mark De Mattei President

Town of Los Gatos Planning Department

December 17, 2021

Attention Sean Mullin.

Re: 118 Olive St. Los Gatos, CA 95030

Dear Mr. Mullin

As neighbors of the property at 118 Olive Street, we are very concerned about the following cumulative issues with the proposed project:

Olive Street may be the narrowest street in the town. As such, parking, emergency access and daily traffic is an ongoing challenge. This project does nothing to help the issue as it appears to have a substandard length driveway, a one car garage with the impractical solution for secondary parking via a below grade car lift. Since this is a blank slate there is no arguable reason why an improvement such as a two car garage (detached or attached) is not attainable.

Another distinct character of Olive Street is that it has the smallest lots of any street in Town. The proposed home is 308sf over the allowed floor area ratio of approximately 1,369sf which does not include the garage or below ground living and storage of 1,195sf for a total of 2,872sf. This is a large home by any standard and it is excessively out of proportion to this small lot of only 3,680sf. Additionally, there are requests for reduced setbacks from 15 to 10 feet in the front and from 5 to 3 feet on the west. We see no mitigating circumstances that necessitate such impositions on the neighbors when this will be a newly constructed house without inherent limitations.

The height of this house and the request for reduced setbacks further magnifies the intrusion on a very narrow street and small lots. It will effectively create a wall that is 28 feet tall, only 3 feet from the adjacent neighbor completely blocking out all view and significantly diminishing the natural light from the entry, living room, kitchen, dining, master and backyard (see shadow study) of 120 Olive Street. It will also tower over the home at 116 Olive St. and the balance of the neighbors across the street. Additionally, this may be more noticeable as there is no orange netting depicting the East elevation of the exterior walls for the mid-level.

The street elevations outlining height use 546 San Benito Avenue and 120 Olive Street as comparative examples is deceptive. The home at 546 San Benito Avenue shows a side elevation and was built on a lot that has approximately 9 feet of slope from corner to corner. The door and garage doors are depicted at street level when in fact they are below grade by several feet. The garage door for 120 Olive Street is inaccurately depicted and is also significantly below grade. The height of the proposed house should be proportionate to the neighborhood and consistent with the slope of the street.

Furthermore, the home at 546 San Benito Avenue was built within all (and more stringent corner lot) building setbacks - evidence that there is no need for the requested side and front set-back reductions of the proposed residence.

As with any neighborhood, privacy is a big concern. The proposed terrace off of the third level primary bedroom is an infringement on several neighbor's privacy. This is especially noticeable to the neighbors at 120 Olive Street due to the fact that they are requesting a reduction in setbacks from 5 to 3 feet and

APD4047100 5-21-013

it is located with a bird's eye view of the living areas. The three windows and door serving the terrace further encourage use and thereby affect privacy. Also, several homes across Olive St. will lose privacy as this looks directly into the front of their houses. Another privacy concern is the covered rear deck appears to be a few feet above grade which will allow a view over the good neighbor fences on all three sides.

Special circumstances surround this neighborhood that make construction excessively noisy, congested, inconvenient and potentially dangerous. The narrow street and small lot will make it extremely challenging to build a residence that requires a massive amount of excavation to incorporate a below grade living area of 1195 square feet. Concerns are many and include ground stabilization to the adjoining properties, vibration of heavy equipment use and digging causing damage. The use, delivery and staging of such large machinery preventing access to our residences, emergency vehicles, caretakers, gardeners, housekeepers or even deliveries for extended periods of time is not something any of us should contend with for months at a time.

Several instances of flat tires from construction debris, broken pavers from trucks turning around in driveways, damaged landscaping, daily littering, and constant parking on the sidewalk, in permit only spots or in red zones have occurred during the last two projects on Olive Street. To hopefully deter this from repeating itself during the proposed project, we would suggest that the town implement some sort of parking, staging, and delivery guidelines.

The majority of the homes on Olive Street are comprised of very distinctive, thoughtful styles. None of which are very vertical, modern, stucco homes with metal roofs. The sole home that the architect claims this home resembles has wood siding, a composition roof, and was originally a cottage style home with an open front porch. The style, mass, area and scale certainly do not match the adjacent neighbors as the architect's summary states. A more conforming home would suit the neighborhood. Thereby keeping it a neighborhood rather than a bunch of houses on the same street.

While it is understood that neighborhood input is not a requisite for applying to build a home in the Town of Los Gatos, it is encouraged by the Town Planning Department and is usually very productive. Unfortunately, this step was not implemented by the property owners and as such, the story poles were quite a surprise. Had an invitation to discuss the project been initiated, this letter would certainly be a lot briefer or maybe even unnecessary.

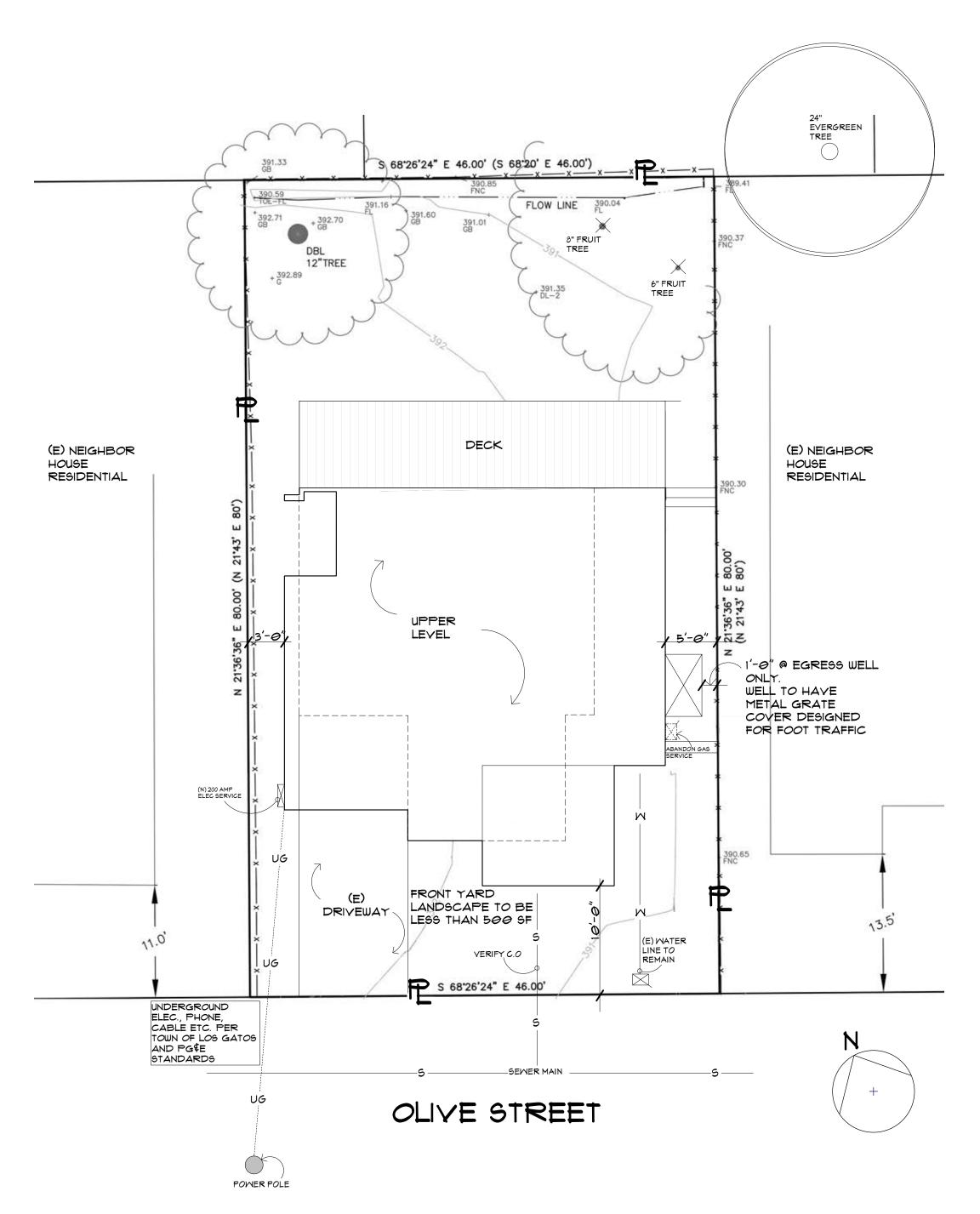
Sincerely,

The following neighbors:

1.	Shelli Baker Signature	12/17/2/ Date
2.	Address Signature	12/13/21 Date
3(Address Signature	12/19/z/ Date
4.	Address Signature	12/22/21 Date
5.	Address Dakie (Huwi K Signature	12/23/21 Date
	Address	

APPLICATION 5-21-01.

6.	Lym	Wordford	12/27/21	
7.	D. ROR	Address W3 Signature	12 29 2021 Date	
8.	annety.	Address Mcfhail Signature	1/1/2.2 Date	
9.		Address		
		Signature Address	Date	
10.		Signature	Date	
		Address	7	



1/8" = 1"=0"

ABREVIATION \$ SYMBOL LEGEND

(E) EXISTING
(P) PROPOSED

YSB FRONT YARD SET BACK RYSB REAR YARD SET BACK

SYSB SIDE YARD SET BACK

—G — GAS LINE

-OH - OVERHEAD ELEC LINE

_S __ SEWER LINE _W __ WATER LINE THE HOUSE IS TO BE EQUIPPED WITH FIRE SPRINKLERS

SITE NOTES: - NO GRADING PROPOSED

- NO GRADING PROPOSED - (E) SITE DRAINAGE PATTERNS TO REMAIN UNCHANGED - (N) DOWNSPOUTS W/ SPLASH BLOCKS TO DIVERT

RUNOFF ONTO VEGETATED AREAS

TREE PROTECTION MEASURES WILL BE INSTALLED AROUND ALL PROTECTED TREES AS REQ'D BY SECTION 29.10.1005

NOTE: NO UTILITIES VISIBLE FROM STREET INCLUDING HB'S

A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE ENERGY CALCULATIONS COMPLIANCE MODELING. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

THIS RESIDENCE WILL COMPLY WITH THE TOWNS ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE SECTION 6.70.020 AND 6.120.020.

PROJECT DESCRIPTION

THE NEIGHBORHOOD IS IN A TRANSITION OF RENEWAL AND COMPRISED OF VARYING ARCHITECTURAL STYLES. THE PROJECT WILL BE A NEW DWELLING COMPOSED OF TRADITIONAL AMERICAN FORMS BLENDING AMICABLY INTO IT'S ECLECTIC NEIGHBORHOOD. THIS HOME DESIGN IS APPROPRIATE FOR THE NEIGHBORHOOD- IN MANY WAYS ITS FORM RESEMBLING THE 2 STOREY RIGHT NEXT TO IT AT 120 OLIVE.

SITE PARTICULARS

SITE IS NON-CONFORMING IN BOTH AREA AND DIMENSION APN: 410 15 022
ZONING:RI-D
AVG SLOPE: 4%
SITE AREA: 3680 SF
FAR HOUSE: 0.372
ALLOWED FLOOR AREA: 1369 SF
REQUIRED SETBACKS: FRONT= 15', REAR= 20', SIDE'S= 5'

OWNERS

THOMAS \$ MEREDITH REICHERT

118 OLIVE STREET, LOS GATOS, CA 95030

PH: 858 449 4536

EMAIL: THOMASMICHAELREICHERT@GMAIL.COM

AREA SUMMARY

MAIN LEVEL 896 SF
UPSTAIRS LEVEL 181 SF

TOTAL FLOOR AREA 1611 SF

BELOW GROUND LIVING 896 SF
BELOW GROUND STORAGE 299 SF

GARAGE 299 SF

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A-3 SECTION / ALT. BASEMENT PLAN

A-4 ELEVATIONS

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C1.0 thru C4.0- CIVIL

Print date 09.23.21 09.01.21 06.15.21 04.26.21 408.354.4551 jay@plett-arc.com www.plett-arc.com 213 Bean Avenue Los Gatos, CA 95030 copyright (a) JAY PLET This document constitutes original copyrighted material as an instrument of service by the orchitect JAY PLETT These documents shall no be utilized and/or duplicated without the permission of the designe in writing. The design remains the sale property of JAY PLETT Revisions: PRELIM PLAN CK PRICING SET CONST. SET Scale : Date:

Sheet

EXHIBIT 11

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PARKS AND PUBLIC WORKS COMMENTS STAFF TECHNICAL REVIEW

TOWN OF LOS GATOS

September 14, 2021

ITEM 2: 118 Olive Street; APN: 410-15-022 hitecture and Site Application S-21-013 Requesting approval for construction of a second story addition to an existing SFR to exceed FAR with reduced setbacks on property zoned R-1D

PROJECT PLANNER: Sean Mullin LAST REVIEWED: August 17, 2021

DEFICIENCIES: (GENERAL)

1) Relocate the existing water meter outside of the Olive Street right-of-way per Condition

<u>DRAFT CONDITIONS</u>:
TO THE SATISFACTION OF THE DIRECTOR OF PARKS AND PUBLIC WORKS:

- 1) GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an Department. The Owner's representative in charge shall be at the job site during all working ours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing
- 2) APPROVAL: This application shall be completed in accordance with all the conditions of development plans. Any changes or modifications to the approved plans or conditions of
- approvals shall be approved by the Town Engineer.

 3) CONSTRUCTION PLAN REQUIREMENTS: Construction drawings shall comply with Section 1 Construction Plan Requirements) of the Town's Engineering Design Standards, which are available for download from the Town's website.

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PARKS AND PUBLIC WORKS COMMENTS RESTORATION OF PUBLIC IMPROVEMENTS: The Owner or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing

TOWN OF LOS GATOS

5) SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction. 6) STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on work hours, protective enclosures, or other means to facilitate public access in a safe manner

7) INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of 8) DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into

9) PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval. 10) GRADING PERMIT DETERMINATION DURING CONSTRUCTION DRAWINGS: In the event that, during the production of construction drawings and/or during construction of the plans approved with this application by the Town of Los Gatos, it is determined that a grading

Code of the Town of Los Gatos, an Architecture and Site Application would need to be submitted by the Owner for review and approval by the Development Review Committee prior to applying for a grading permit. 11) ILLEGAL GRADING: Per the Town's Comprehensive Fee Schedule, applications for work unlawfully completed shall be charged double the current fee. As a result, the required

grading permit fees associated with an application for grading will be charged accordingly Parks and Public Works Department • Engineering Division • 41 Miles Ave, Los Gatos, CA 95030 408.399.5771 • www.facebook.com/losgatosca

permit would be required as described in Chapter 12, Article II (Grading Permit) of the Town

TOWN OF LOS GATOS PARKS AND PUBLIC WORKS COMMENTS

12) PRECONSTRUCTION MEETING: Prior to issuance of any building permits or the commencement of any site work, the general contractor shall: a) Along with the Owner, attend a pre-construction meeting with the Town Engineer to discuss the project conditions of approval, working hours, site maintenance and other b) Acknowledge in writing that they have read and understand the project conditions of

approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction. final (i.e. after the 10-day appeal period and no requested appeals being submitted to the Town), the Property Owner shall record a Deed Restriction on each of the parcels in question which prohibits the recording of a Certificate of Compliance until one of the two (2) prerequisite actions occurs prior to the proposed recordation: 1) removal of any structures which cross lot/property lines or 2) the Property Owner successfully obtaining an Architecture & Site approval from the Town of Los Gatos for the demolition of the

xisting house and construction of a replacement house. 14) WATER METER: The existing water meter, currently located within the Olive Street right-ofway, shall be relocated within the property in question, directly behind the public right-ofway line. The Owner shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to 15) SIDEWALK REPAIR: The Owner shall repair and replace to existing Town standards any

sidewalk damaged now or during construction of this project. All new and existing adjacent infrastructure must meet current ADA standards. Sidewalk repair shall match existing color texture and design, and shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of sidewalk repair will be determined by the Engineering Construction Inspector during the construction phase of th project. The improvements must be completed and accepted by the Town before a tificate of Occupancy for any new building can be issued.

16) CURB AND GUTTER REPAIR: The Owner shall repair and replace to existing Town standards any curb and gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New curb and gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of curb and gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The

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PARKS AND PUBLIC WORKS COMMENTS

TOWN OF LOS GATOS

PARKS AND PUBLIC WORKS COMMENTS

improvements must be completed and accepted by the Town before a Certificate of

way will only be allowed if it does not cause access or safety problems as determined by

services shall be made regarding parking restriction, lane closure or road closure, with

p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to

the issuance of a building permit, the Owner or their representative shall work with the

Town Building Department and Engineering Division Inspectors to devise a traffic control

plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the

construction notification signs noting the dates and time of construction and hauling

projects in the area may also be required. Cover all trucks hauling soil, sand and other loose

project site. This may include, but is not limited to provisions for the Owner to place

activities, or providing additional traffic control. Coordination with other significant

20) CONSTRUCTION HOURS: All site improvements construction activities, including the

hours. Approval of this request is at discretion of the Town.

exceed eighty-five (85) dBA.

delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited

to the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays. The

Town may authorize, on a case-by-case basis, alternate construction hours. The Owner

21) CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00

a.m. to 4:00 p.m. Saturdays, construction, alteration or repair activities shall be allowed.

at twenty-five (25) feet from the source. If the device is located within a structure on the

property, the measurement shall be made at distances as close to twenty-five (25) feet from

the device as possible. The noise level at any point outside of the property plane shall not

the Owner's design consultant shall submit a construction management plan sheet (full-

size) within the plan set that shall incorporate at a minimum the Earth Movement Plan

Project Schedule, site security fencing, construction staging area, materials storage area(s)

onstruction trailer(s), concrete washout(s) and proposed outhouse locations. Please refe

propose maintenance access improvements for the Town Engineer to review, comment on,

to the Town's Construction Management Plan Guidelines document for additional

23) MAINTENANCE ACCESS: Prior to the issuance of any building permits, the Owner shall

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22) CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any building permits

No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA

shall provide written notice twenty-four (24) hours in advance of modified construction

17) CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-of-

18) ADVANCE NOTIFICATION: Advance notification of all affected residents and emergency

19) HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or

ccupancy for any new building can be issued.

24) BEST MANAGEMENT PRACTICES (BMPs): The Owner is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop

and approve. The Engineering Division of the Parks and Public Works Department shall

TOWN OF LOS GATOS

25) SITE DESIGN MEASURES: All projects shall incorporate at least one of the following a) Protect sensitive areas and minimize changes to the natural topography. b) Minimize impervious surface areas. c) Direct roof downspouts to vegetated areas.

d) Use porous or pervious pavement surfaces on the driveway, at a minimum. e) Use landscaping to treat stormwater. 26) UNLAWFUL DISCHARGES: It is unlawful to discharge any wastewater, or cause hazardous domestic waste materials to be deposited in such a manner or location as to constitute a threatened discharge, into storm drains, gutters, creeks or the San Francisco Bay. Unlawful discharges to storm drains include, but are not limited to: discharges from toilets, sinks ndustrial processes, cooling systems, boilers, fabric cleaning, equipment cleaning or vehicle

27) LANDSCAPING: In finalizing the landscape plan for the biotreatment area(s), it is recommended that the landscape architect ensure that the characteristics of the selected plants are similar to those of the plants listed for use in bioretention areas in Appendix D o the Santa Clara Valley Urban Runoff Pollution Prevention Program (SCVURPPP) C.3

28) DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be presenand in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to

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the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind

d) As practicable, all haul trucks and other large construction equipment shall be staged in

e) All visible mud or dirt track-out onto adjacent public roads shall be removed using wet

power vacuum street sweepers at least once per day, or as deemed appropriate by

Town Engineer. The use of dry power sweeping is prohibited. An on-site track-ou

control device is also recommended to minimize mud and dirt-track-out onto adjacent

Building pads shall be laid as soon as possible after grading unless seeding or soil binders

f) All vehicle speeds on unpaved surfaces shall be limited to fifteen (15) miles per hour.

g) All driveways and sidewalks to be paved shall be completed as soon as possible

h) Post a publicly visible sign with the telephone number and person to contact at the lead

agency regarding dust complaints. This person shall respond and take corrective action

ensure compliance with applicable regulations. Please provide the BAAQMD's

complaint number on the sign: 24-hour toll-free hotline at 1-800-334-ODOR (6367).

i) All excavation, grading, and/or demolition activities shall be suspended when average

j) Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in

30) CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of

the CASQA Stormwater Best Management Practices Handbooks for Construction Activities

and New Development and Redevelopment, the Town's grading and erosion control

ordinance, and other generally accepted engineering practices for erosion control as

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required by the Town Engineer when undertaking construction activitie

disturbed areas as soon as possible and watered appropriately until vegetation is

within forty-eight (48) hours. The Air District's phone number shall also be visible to

areas away from the adjacent residential homes.

wind speeds exceed twenty (20) miles per hour.

TOWN OF LOS GATOS PARKS AND PUBLIC WORKS COMMENTS

speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered. storm system shall be stenciled/signed with appropriate "NO DUMPING - Flows to Bay" 29) AIR QUALITY: To limit the project's construction-related dust and criteria pollutant NPDES required language. On-site drainage systems for all projects shall include one of the emissions, the following the Bay Area Air Quality Management District (BAAQMD)alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to building plans, and contract specifications: vegetated areas and use of permeable surfaces. If stormwater treatment facilities are to a) All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and be used they shall be placed a minimum of ten (10) feet from the adjacent property line unpaved access roads) shall be watered two times per day, or otherwise kept dust-free. and/or right-of-way. Alternatively, the facility(ies) may be located with an offset between 5 and 10 feet from the adjacent property and/or right-of-way line(s) if the responsible shall be staged off-site until materials are ready for immediate loading and removal engineer in charge provides a stamped and signed letter that addresses infiltration and states how facilities, improvements and infrastructure within the Town's right-of-way c) All haul trucks transporting soil, sand, debris, or other loose material off-site shall be (driveway approach, curb and gutter, etc.) and/or the adjacent property will not be

dversely affected. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property. 32) SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into

31) SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb

the Town's storm drains. 33) GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public ight-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner's expense.

an encroachment permit, the Owner shall initiate a weekly neighborhood email notification program to provide project status updates. The email notices shall also be posted on a ulletin board placed in a prominent location along the project perimete 35) COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.

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TOWN OF LOS GATOS STAFF TECHNICAL REVIEW COMMENTS

STAFF TECHNICAL REVIEW PLANNING DIVISION

118 Olive Street Architecture and Site Application S-21-013

> Requesting Approval for Demolition of an Existing Single-family residence and Construction of a New Single-family Residence to Exceed Floor Area Ratio Standards with Reduced Front and Side Yard Setbacks on Nonconforming Property Zoned R-1D. APN 410-15-022.

September 23, 2021

PROPERTY OWNER: Thomas and Meredith Reichert APPLICANT: Jay Plett, Architect

PROJECT PLANNER: Sean Mullin LAST REVIEWED BY STAFF: Third Review

COMMENTS: This Architecture and Site Application submittal is **INCOMPLETE** and requires resubmittal of plans and application materials to address deficiencies noted.

ENVIRONMENTAL: The project appears to be Categorically Exempt pursuant to the adopted Existing Facilities.

MODIFICATIONS TO PLANS

1) Sheet A-1.1: Update the floor area/FAR comparisons table to reflect the revised size of the

a) Dimension the depth of the proposed parking space within the garage. b) The bay window at the office bedroom is not depicted on the front elevation on

This Architectural and Site application is required to follow the Town's Height Pole and Netting Policy. Height poles and project identification signs will be required prior to the

public notice of any pending approval. Please modify plans per the above comments and resubmit to Planning with a compliance

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memorandum through the Town's online portal. As part of the resubmittal materials.

TOWN OF LOS GATOS STAFF TECHNICAL REVIEW COMMENTS

please provide a transmittal sheet. The transmittal sheet must list number of items and the name of each of the item(s) that are being resubmitted. 5) WELO Review (advisory): If new irrigated landscape areas of 500 square feet or more are proposed with this or future Building Permits, the project will require submittal of a Landscape Documentation Package pursuant to the State's Water Efficient Landscape Ordinance (WELO) prior to issuance of a Building Permit. This is a separate submittal from your Building Permit. A review deposit based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for

6) Pursuant to the adopted fee schedule, in the event additional processing services by the Town are required due to changes, modifications, additions, errors, omissions, or discrepancies caused by the applicant of his/her agents or representatives, the applicant shall pay an additional fee as determined by the Director of Community Development to

7) Pursuant to the adopted fee schedule, if the requested information from any of the Tech Review Staff is not submitted within 180 days of this meeting, the applicant will be required to pay a fee of 10% of the current application fee at the time the requested information is submitted. Any resubmittal after one year will be processed as a new

application, subject to new fees. B) Pursuant to the adopted fee schedule, if after three meetings, any additional review is required by the Technical Review Committee and/or DRC, there will be an additional fee

Please resubmit and provide a compliance memorandum showing how all of the deficiencies and general comments have been addressed. PLEASE NOTE THAT COMMENTS/DEFICIENCIES LISTED ABOVE MAY NOT BE AN EXHAUSTIVE LIST OF ALL STAFF TECHNICAL REVIEW COMMENTS OR CONDITIONS.

Sean R. Mullin, AICP Associate Planner SMullin@losgatosca.gov

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TOWN OF LOS GATOS BUILDING DIVISION CONDITIONS OF APPROVAL

STAFF TECHNICAL REVIEW September 8, 2021

Architecture and Site Application S-21-013

Requesting Approval for Demolition of an Existing Single-family residence and Construction of a New Single-family Residence to Exceed Floor Area Ratio Standards with Reduced Front and Side Yard Setbacks on Nonconforming Property Zoned R-1D. APN 410-15-022.

PROPERTY OWNER: Thomas M/Meredith A Reichert PROJECT PLANNER: Sean Mullin

1. A comprehensive plan review has not been completed for this project under consideration by the Development Review Committee or Town Council. Advisory Comments may be provided separate building permit application process. Once the Development Review Committee and/o submit complete sets of construction drawings and documents to the Building Counter. No

One of the requirements of the Town's newly adopted Energy Reach Code require homes use electricity as the only source of energy for space heating, water heating (including pools and spas), cooking appliances, clothes drying appliances, and other features for bot interior and exterior applications. Please remove all reference to gas appliances and add a note to the cover sheet of the plans stating the following, "This residence will comply with the Town's all electric appliance, electric vehicle and energy storage system requirements in accordance with Town Code Section 6.70.020 and 6.120.020."

DRAFT CONDITIONS: TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Title 24, Parts 1-12, including locally adopted Energy Reach Codes.

family residence. A separate Building Permit is required for the construction of the new single family residence and attached garage. An additional Building Permit will be required for the PV System if the system is required by the California Energy Code. 2. APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of

January 1, 2020, are the 2019 California Building Standards Code, California Code of Regulations

Town of Los Gatos • Community Development • Building Division • 110 E. Main St., Los Gatos, CA 95031

BUILDING DIVISION CONDITIONS OF APPROVAL

3. CONDITIONS OF APPROVAL: The Conditions of Approval must be blue lined in full on the cover with the building permit application detailing how the Conditions of Approval will be addressed 4. BUILDING & SUITE NUMBERS: Submit requests for new building addresses to the Building

livision prior to submitting for the building permit application process 5. SIZE OF PLANS: Minimum size 24" x 36", maximum size 30" x 42". Demolition Application and a Bay Area Air Quality Management District Application from the Building Department Service Counter. Once the demolition form has been completed, all signatures obtained, and written verification from PG&E that all utilities have been disconnected, return the completed form to the Building Department Service Counter with the Air District's J# Certificate, PG&E verification, and three (3) sets of site plans showing all existing structures, existing utility service lines such as water, sewer, and PG&E. No demolition work shall be done without first obtaining a permit from the Town.

Solls REPORT: A Solls Report, prepared to the satisfaction of the Building Official, containing

foundation and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils 8. SHORING: Shoring plans and calculations will be required for all excavations which exceed five (5) feet in depth or which remove lateral support from any existing building, adjacent property,

or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall confirm to the Cal/OSHA regulations. 9. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. Thi certificate shall certify compliance with the recommendations as specified in the Soils Report been prepared according to the approved plans. Horizontal and vertical controls shall be set

b. Finish floor elevation

d. Retaining wall(s) locations and elevations 10. TITLE 24 ENERGY COMPLIANCE: All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e. directly printed, onto a plan sheet. 11. TOWN RESIDENTIAL ACCESSIBILITY STANDARDS: New residential units shall be designed wit

adaptability features for single-family residences per Town Resolution 1994-61: a. Wood backing (2" x 8" minimum) shall be provided in all bathroom walls, at water closets, showers, and bathtubs, located 34 inches from the floor to the center of the backing, suitable for the installation of grab bars if needed in the future. b. All passage doors shall be at least 32-inch wide doors on the accessible floor level. c. The primary entrance door shall be a 36-inch-wide door including a 5'x 5' level landing

no more than 1 inch out of plane with the immediate interior floor level and with an 18 nch clearance at interior strike edge. d. A door buzzer, bell or chime shall be hard wired at primary entrance. backwater valve per Town Ordinance 6.50.025. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos

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BUILDING DIVISION CONDITIONS OF APPROVAL

TOWN OF LOS GATOS

PARKS AND PUBLIC WORKS COMMENTS

Print date:

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Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the 3. HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies 14. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect

or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to nit issuance. Special Inspection forms are available from the Building Division Service unter or online at www.losgatosca.gov/building. 15. BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source

Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available at the Building Division rvice Counter for a fee of \$2 or at ARC Blueprint for a fee or online at 16. APPROVALS REQUIRED: The project requires the following departments and agencies approva

before issuing a building permit: Community Development – Planning Division: (408) 354-6874 Engineering/Parks & Public Works Department: (408) 399-5771 Santa Clara County Fire Department: (408) 378-4010

d. West Valley Sanitation District: (408) 378-2407 e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

Robert Gray, CBO rgray@losgatosca.gov

N:\DEV\Robert Gray\Conditions of Approval\2021\Olive118_v3.docx

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SANTA CLARA COUNTY FIRE DEPARTMEN

REVIEW No. 21 4035 DEVELOPMENTAL REVIEW COMMENTS Plans and Scope of Review:

The California Fire (CFC) & Building (CBC) Code, 2019 edition, as adopted by the Town of Los Gatos Town Code (LGTC), California Code of Regulations (CCR) and Health & Safety Code. The scope of this project includes the following:

Proposed new 3,171 SF two-story single-family residence with basement and attached garage.

Plans are APPROVED with the following conditions.

This project shall comply with the following:

Plan Review Comments:

1. Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes.

2. Fire Sprinklers Required: (As Noted on Sheet A-1) An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: 1) In all new one- and two-family dwellings and in existing ne- and two-family dwellings when additions are made that increase the building area to more than 3,600 SF whether by increasing the area of the primary residence or by creation of an attached Accessory Dwelling Unit. 2) In all new basements and in existing basements that are expanded by more than 50%. 3) In all attached ADUs, additions or alterations to an existing one- and two-family dwelling that have an existing fire sprinkler system. Exceptions: 1) One or more additions made to a building after January 1, 2011 that does not total more than 1,000 square feet of building area and meets all access and water supply requirements of Chapter 5 and Appendix B and C of the 2019 California Fire Code. This project is categorized as a new dwelling according to scope.

Iav Plett Architect 09/22/2021 1 0F 2 LGA 🛛 🗖 🛣 🗖 R-3/U VB PROJECT TYPE OR SYSTEM LOCATION 118 Olive Los Gatos TABULAR FIRE FLOW REDUCTION FOR FIRE SPRINKLERS REQUIRED FIRE FLOW ⊕ 20 PSI Los Altos Hills. Los Gatos, Monte Sereno, and Saratoga.



SANTA CLARA COUNTY FIRE DEPARTMENT

REVIEW No. 21 4035

DEVELOPMENTAL REVIEW COMMENTS

3. Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

4. Address identification: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1. 5. Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.

This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any

Jay Plett Architect 09/22/2021 2 of 2 LGA 🛛 🗆 🛣 🗖 R-3/U VB REDUCTION FOR FIRE SPRINKLERS REQUIRED FIRE FLOW \oplus 20 PSI 500TABULAR FIRE FLOW Los Altos Hills, Los Gatos, Monte Sereno, and Saratoga

TOWN AND FIRE CONDITIONS OF APPROVAL

OLIVE STREET LOOKING ACROSS FROM PROJECT

1/16" = 1'-0'



NEGHEORHOOD PLAN

SAN BENTO AVE

| 122 OLIVE 9T | 18 OLIVE 9T | 116 OLIVE 9T | 114 OLIVE 9T | 115 OLIVE 9T | 115 OLIVE 9T | 116 O

OLIVE STREET LOOKING AT PROJECT

FLOOR AREA/FAR COMPARISONS

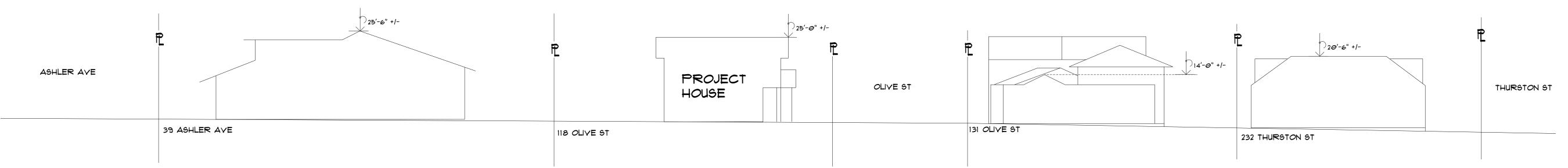
ADDRESS	LOT SIZE	FLR AREA	ALLOWED/OVER FLR AREA	FAR HOUSE	GARAGE (SF)
114 OLIVE ST	3680	1311		0.356	220
116 OLIVE ST	3680	969		0.263	220
120 OLIVE ST	3680	1429	1369/60 SF	0.388	300
135 OLIVE ST	3542	*1699	1326/373 SF	** <i>0</i> .479	0
133 OLIVE ST	3542	975		0 .375	190
131 OLIVE ST	3624	1125		0.310	215
129 OLIVE ST	3588	916		0.255	162
127 OLIVE ST	3588	1518	1340/178 SF	0.423(COMP. FA	R) 300
546 SAN BENITO AVE	3680	*1767	1369/398 SF	**0.480	360

PROJECT HOUSE					
118 OLIVE ST	3680	1677	1369/308 SF	0.456	242

ANALYSIS

- *2 NEIGHBOR HOMES HAVE GREATER FLOOR AREA
- ** 2 NEIGHBOR HOMES HAVE GREATER FAR

AS THE STREETSCAPE ILLUSTRATES, THE PROJECT HOUSE BLENDS AMICABLY WITH THE SCALE OF THE NEIGHBORHOOD



NEIGHBORHOOD SECTION A

1/16" = 1'-0"

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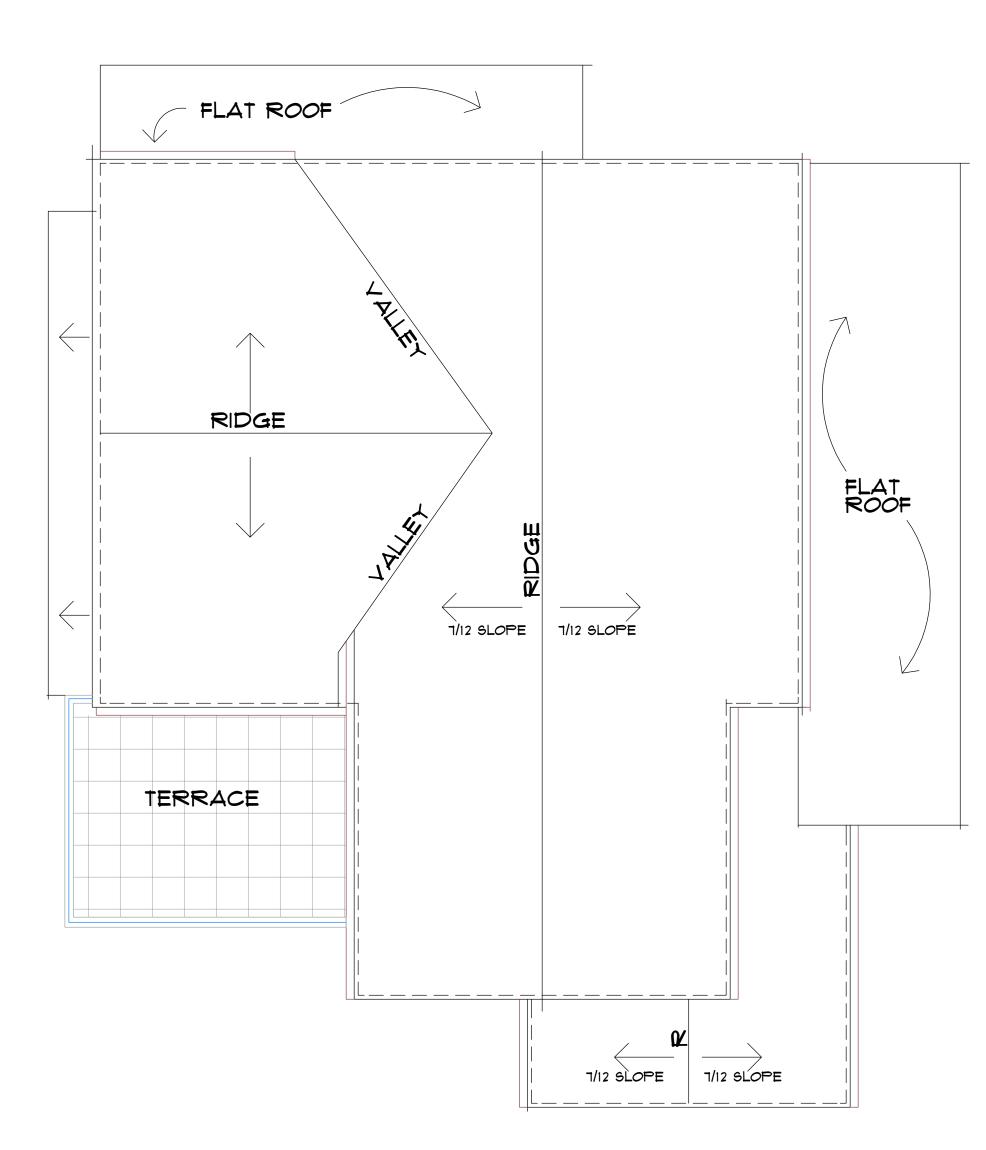
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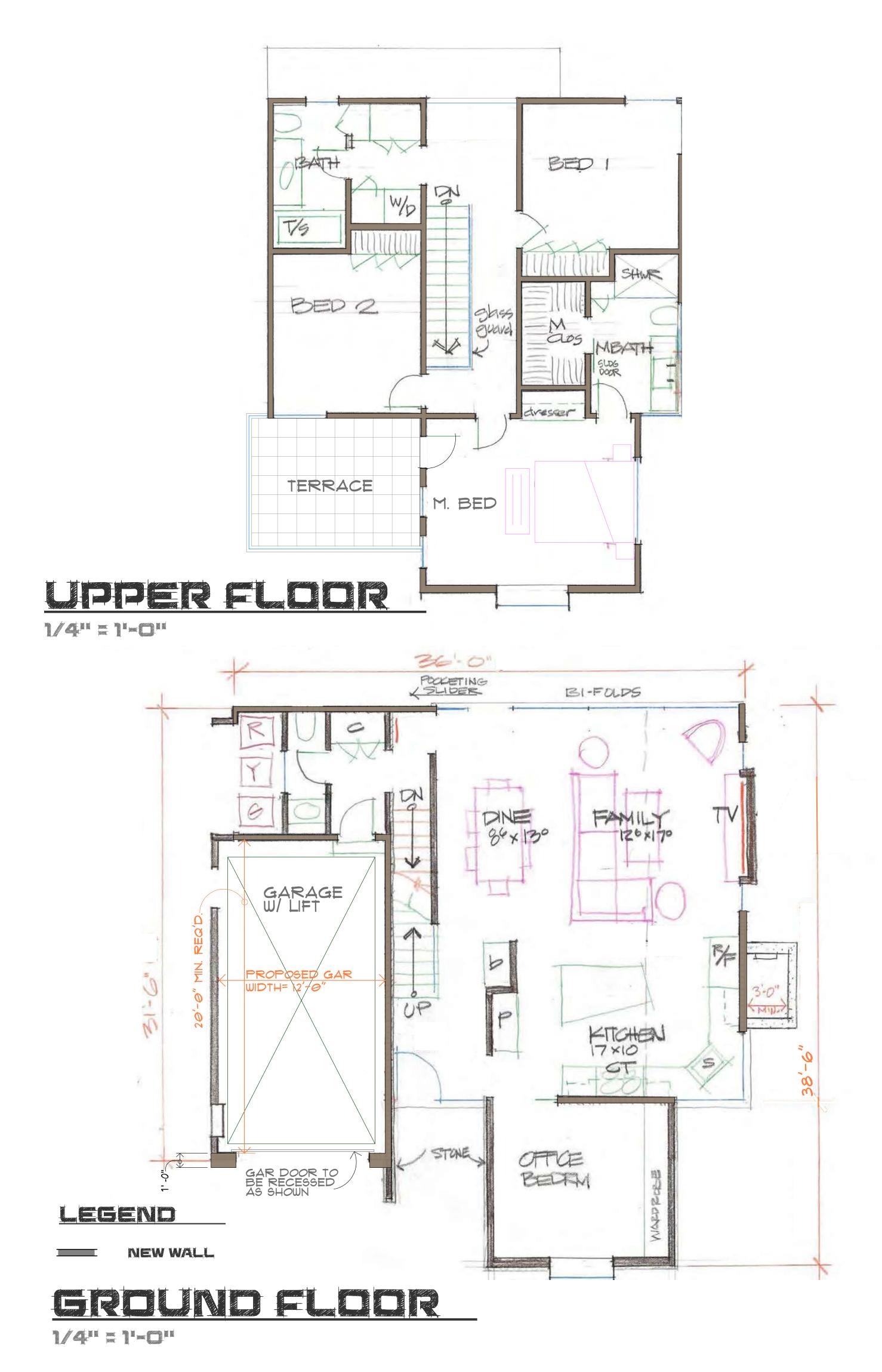
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A-1.1



ROOFPLAN

1/4" = 1"=0"



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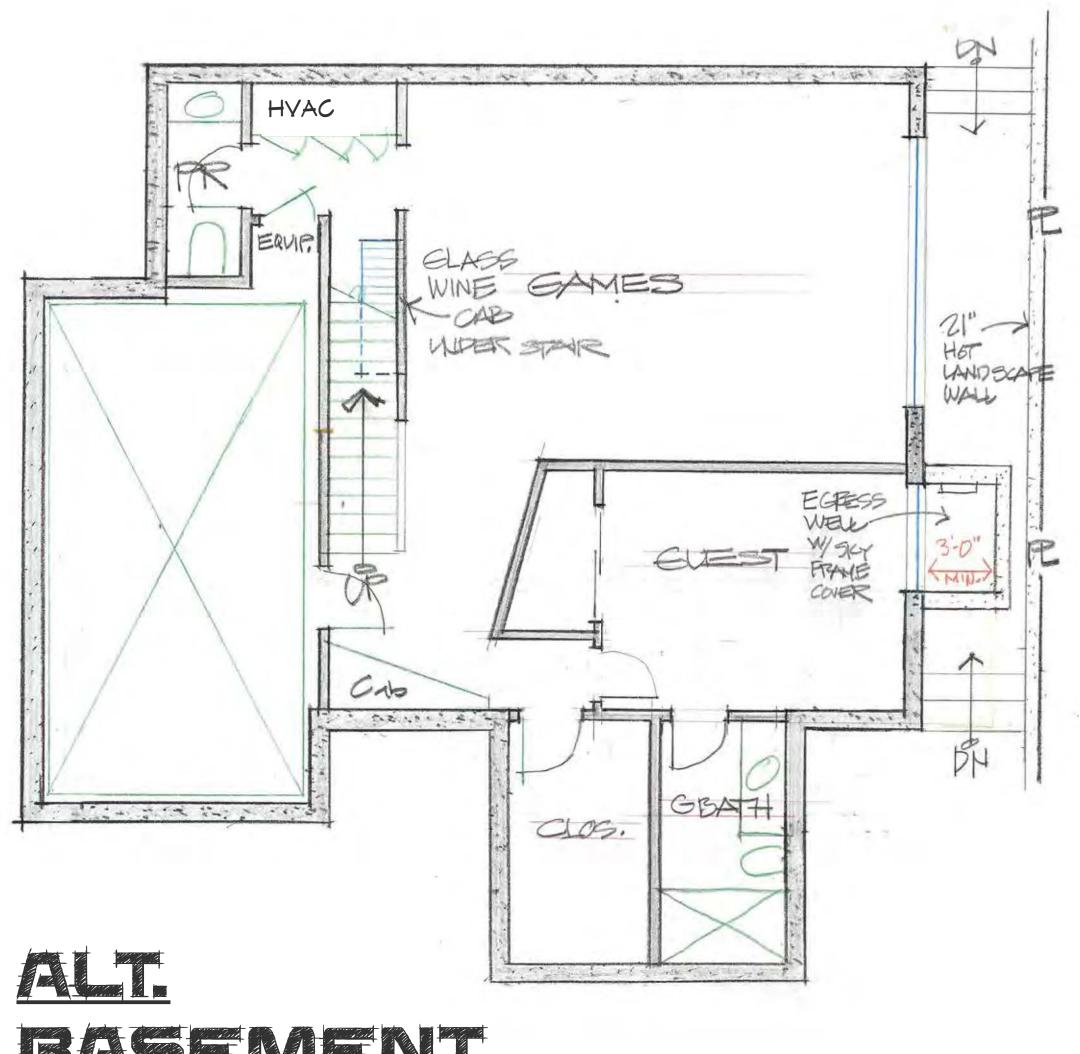
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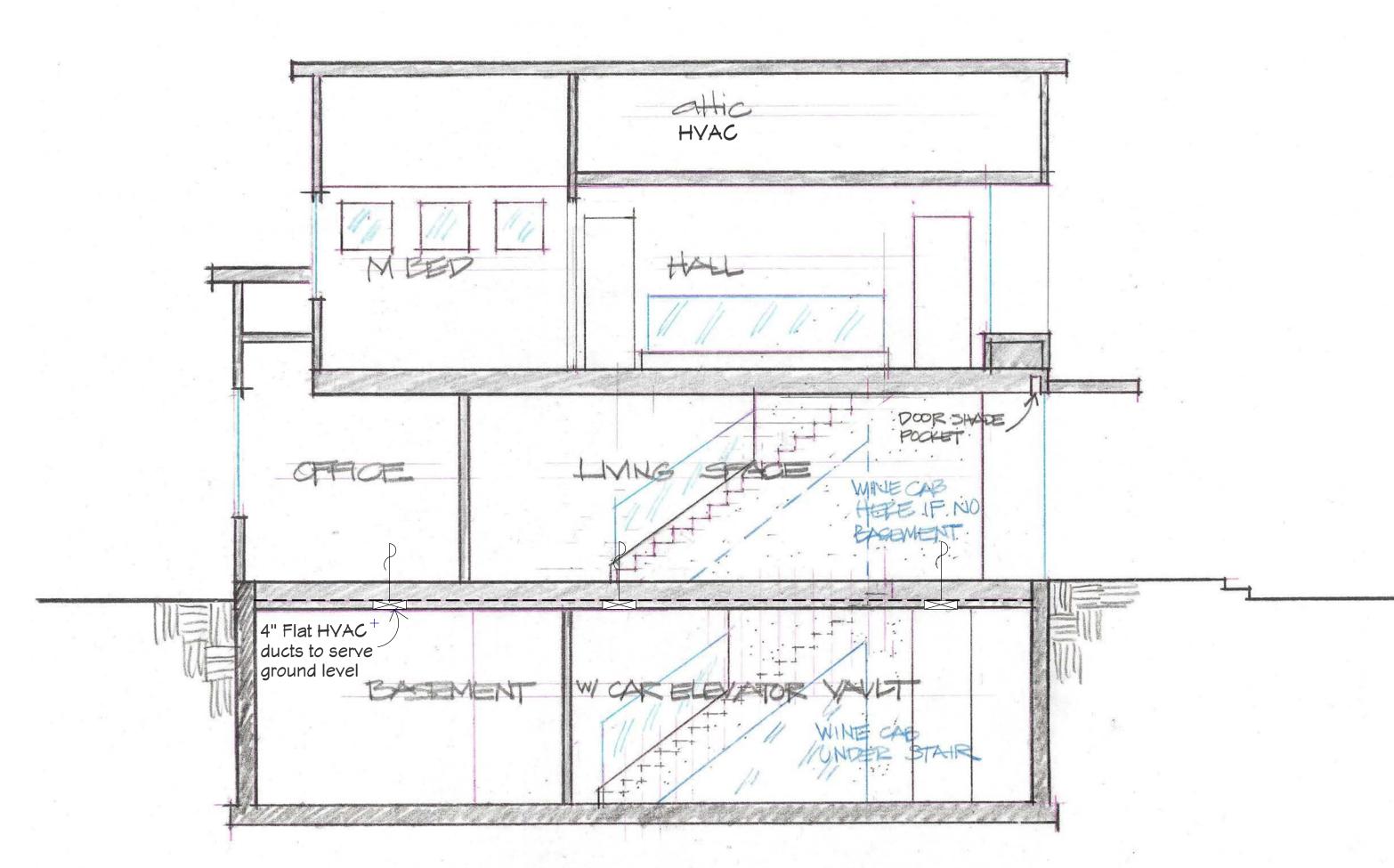
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1/4" = 1'=0"



1/4" = 1"=0"

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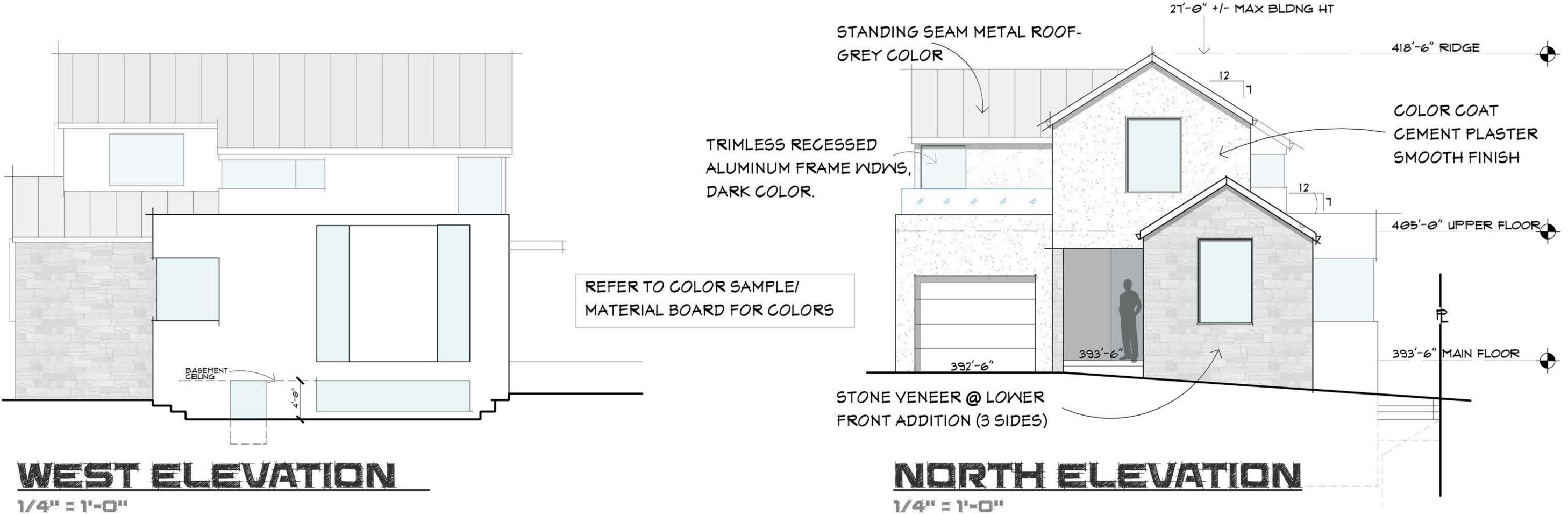
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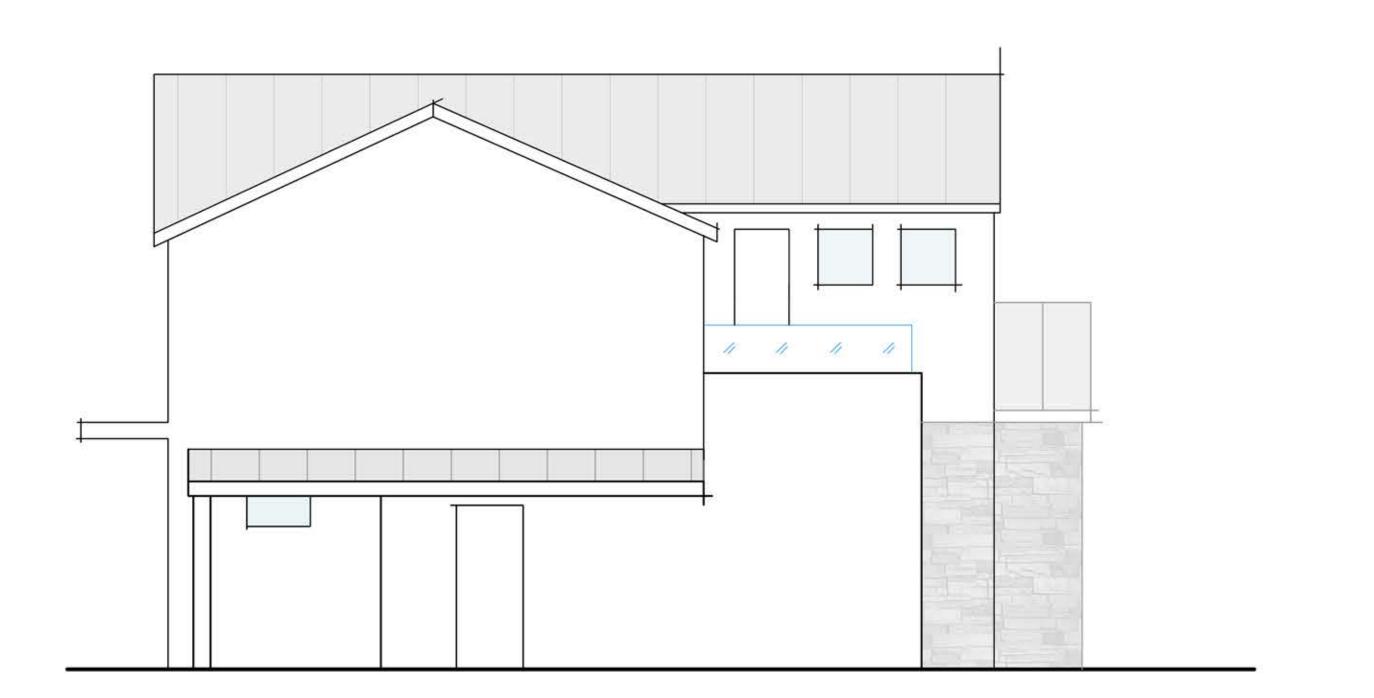
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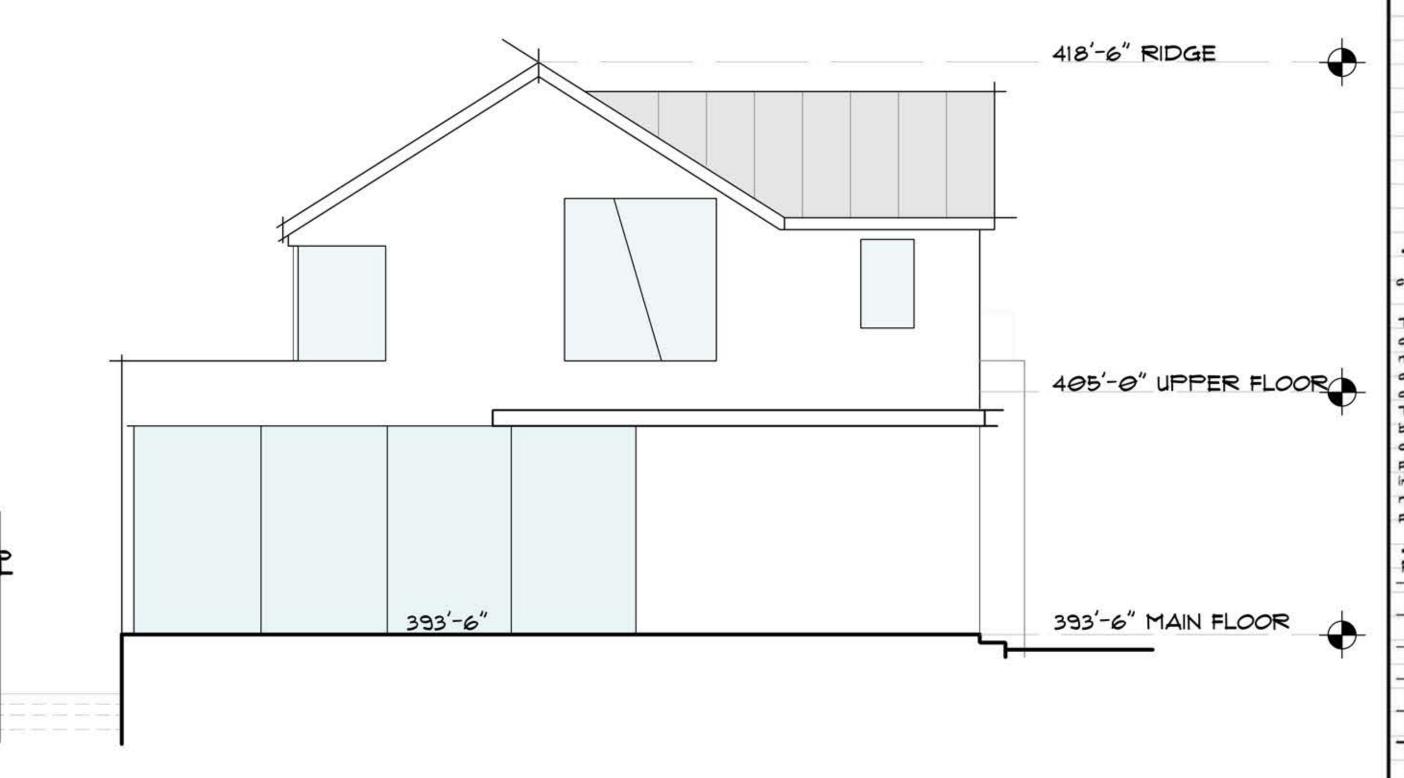
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EAST ELEVATION

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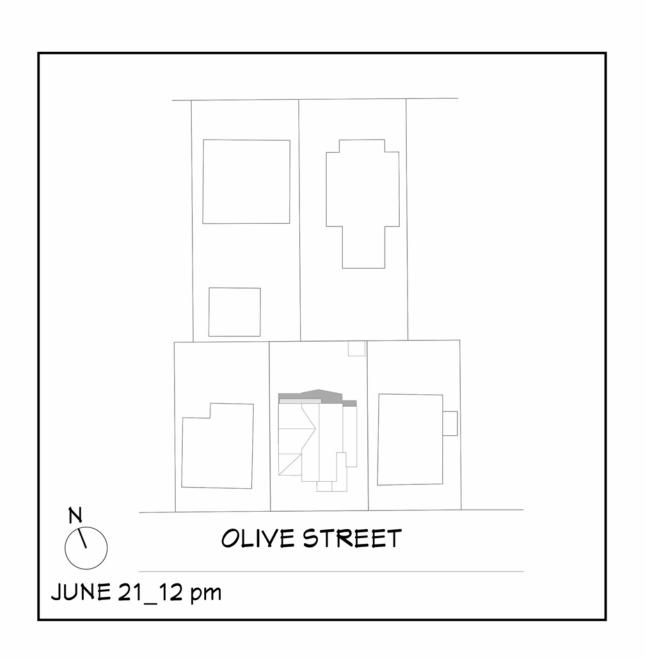


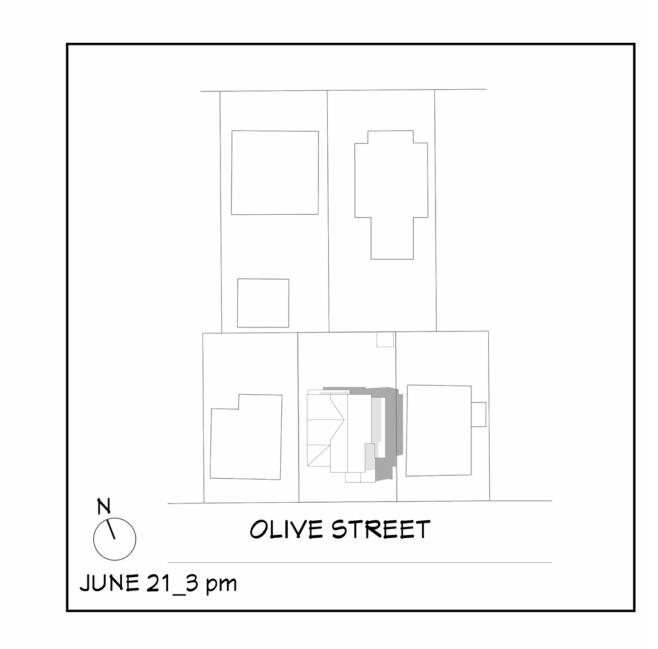
SOUTH ELEVATION

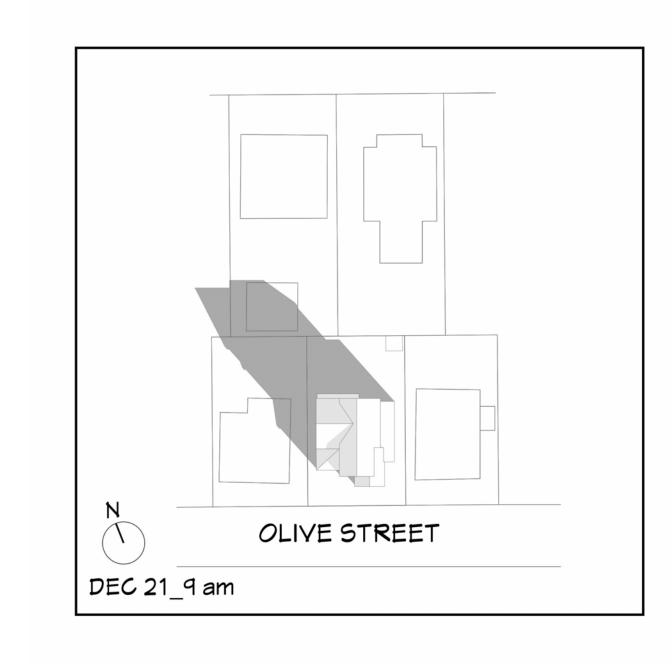
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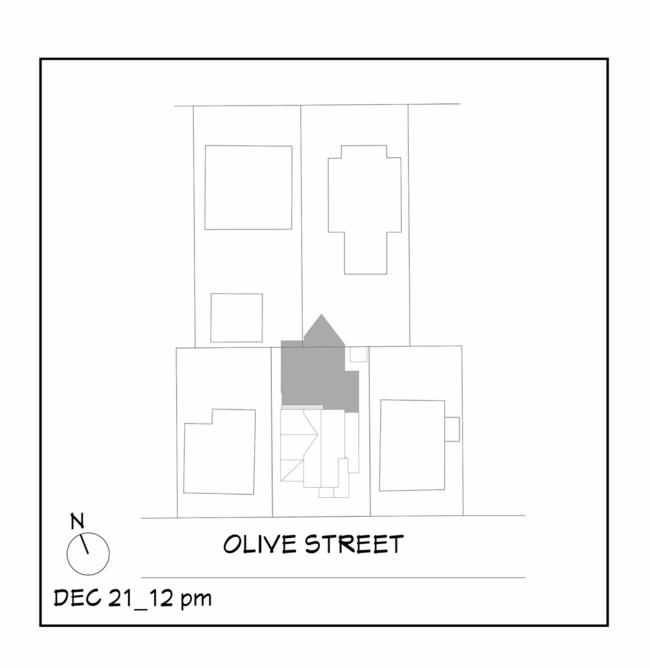
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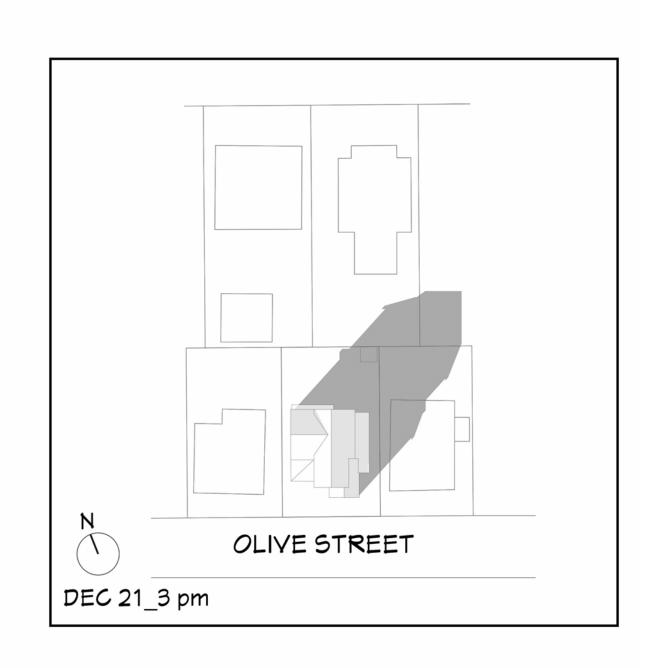












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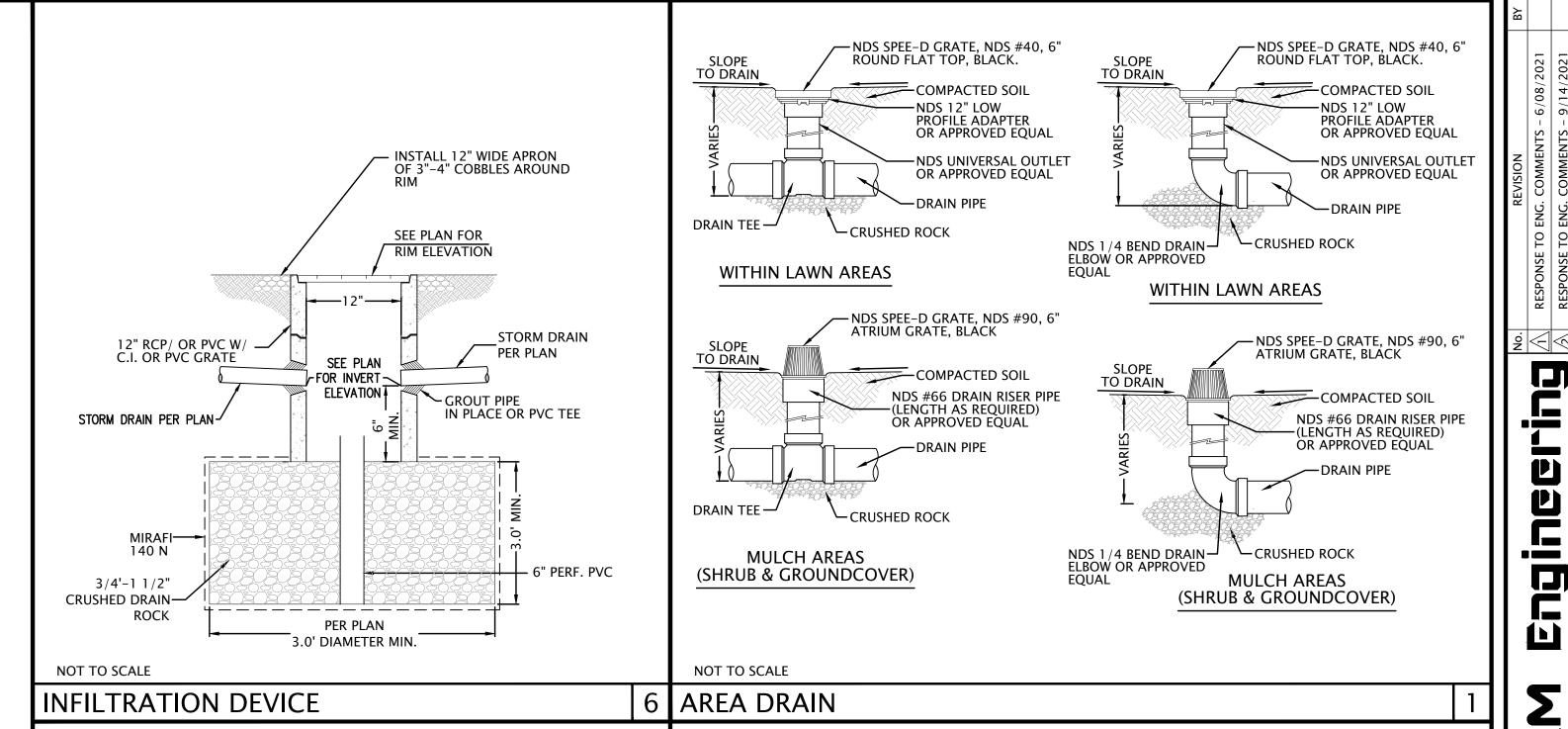
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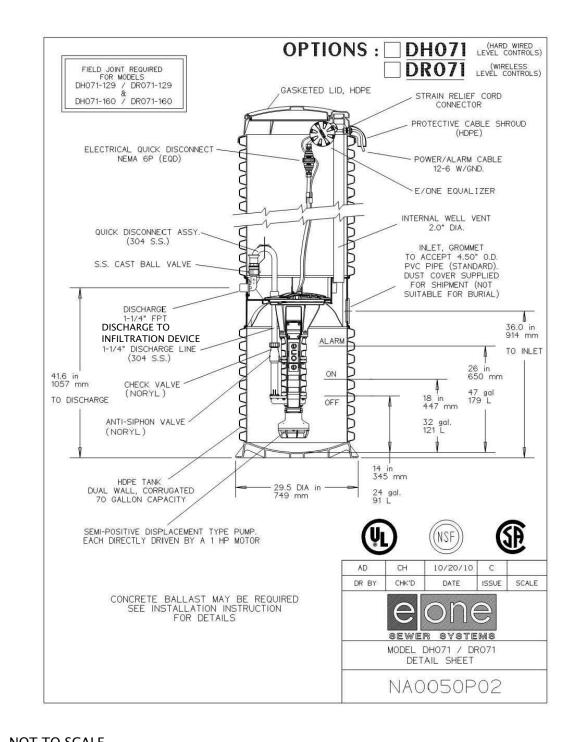
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REICHERT ADDITION & REMODEL APN: 410–15–022 118 OLIVE AVENUE, LOS GATOS, CA.

GENERAL NOTES

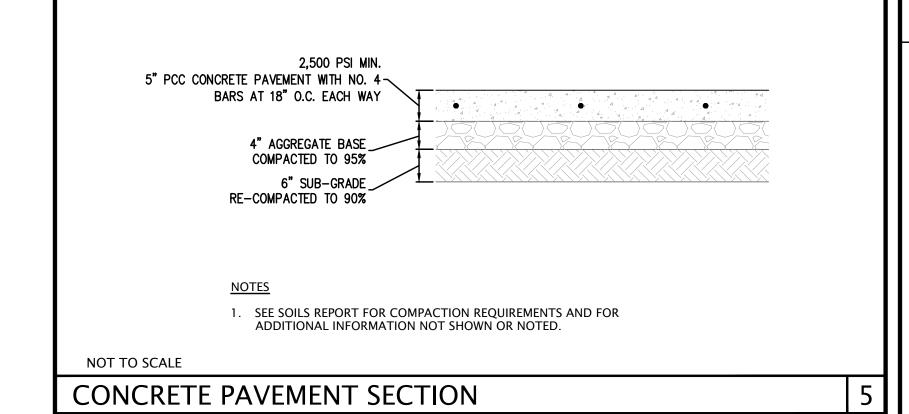
- I. GENERAL:
- 1. ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
- 2. COMPACTION TO BE DETERMINED USING ASTM D1557-LATEST EDITION.
- 3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES.) HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- 4. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO ANY SITE WORK. ALL WORK FOR STORM AND SANITARY INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UPSTREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY.
- 5. SHOULD DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND LOCATIONS OF EXISTING UTILITY CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY GKM ENGINEERS, AT (408) 656–5917 BEFORE ADJUSTING UTILITY DESIGN.
- 6. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY AND SEWER LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. IF THE CONTRACTOR REQUIRES ASSISTANCE HE SHALL CALL GKM ENGINEERS AT (408) 656–5917 AND REQUEST A SURVEY CREW TO MAKE THE DETERMINATION. PIPE SHALL NOT BE STRUNG NOR TRENCHING COMMENCED UNTIL ALL CROSSINGS HAVE BEEN VERIFIED FOR CLEARANCE. IF THE CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE, HE WILL BE SOLELY RESPONSIBLE FOR ANY EXTRA WORK OR MATERIAL REQUIRED IF MODIFICATIONS TO THE DESIGN ARE NECESSARY.
- 7. THE CONTRACTOR SHALL SET HIS STRING OR WIRE THROUGH AT LEAST THREE GRADE STAKES TO VERIFY THE GRADE. IF THE STAKES DO NOT PRODUCE A UNIFORM GRADE, NOTIFY THE ENGINEER IMMEDIATELY AND HAVE THE GRADES CHECKED PRIOR TO TRENCHING.
- 8. STORM DRAIN PIPES DESIGNATED AS "SD FROM 4" TO 24" IN DIAMETER SHALL BE SDR-35 P.V.C. (HANCOR SURE-LOK WT PIPE OR APPROVED EQUAL), CLASS HDPE SMOOTH INTERIOR PIPE PER ASTM D3212 (HANCOR SURE-LOK WT PIPE OR APPROVED EQUAL) OR DUCTILE IRON PIPE (D.I.P.), IF SPECIFIED ON PLANS. NO MATERIAL SUBSTITUTION SHALL BE ALLOWED FOR DUCTILE IRON PIPE. ANY PIPES LARGER THAN 24" IN DIAMETER SHALL BE CLASS III REINFORCED CONCRETE PIPE (R.C.P.). HDPE AND P.V.C. PIPE SHALL ONLY BE USED WHEN THE MANUFACTURER RECOMMENDATION REQUIREMENTS ARE MET. PIPE MADE OF ANY OTHER MATERIAL MAY BE USED ONLY AFTER APPROVAL OF THE ENGINEER.
- 9. ALL UTILITY STRUCTURES INCLUDING, BUT NOT LIMITED TO MANHOLES, CATCH BASINS, WATER VALVES, FIRE HYDRANTS, TELEPHONE AND ELECTRIC VAULTS AND PULL BOXES THAT LIE WITHIN AREAS EFFECTED BY WORK ON THIS PROJECT SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR OR THE RESPECTIVE UTILITY COMPANY. THE CONTRACTOR IS RESPONSIBLE TO AFFECT COORDINATION.
- 10. ALL AREAS TO BE GRADED AT 1% MINIMUM FOR DRAINAGE EXCEPT ALONG FLOWLINE OF CURB AND GUTTER OR VALLEY GUTTER, AS SHOWN.
- 11. CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
- 12. PROPOSED SPOT GRADES (ELEVATIONS) SHOWN HEREON ARE FINISHED PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS NOTED OTHERWISE.
- 13. ESTIMATED EARTHWORK QUANTITIES: EARTHWORK QUANTITIES SHOWN (IF ANY), OR OTHERWISE SUPPLIED BY GKM, ARE APPROXIMATE ONLY AND SHOWN FOR THE PURPOSES OF CALCULATING GRADING PERMIT FEES. GKM ASSUMES NO LIABILITY FOR THE ACCURACY OF THESE OUANTITIES.
- 14. WHEN A GRADING PERMIT IS ISSUED ON THIS PROJECT THE AGENCY APPROVAL APPLIES ONLY TO GRADING. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL OTHER NECESSARY PERMITS TO ACCOMPLISH PROPOSED SITE WORK. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR OBTAIN ALL NECESSARY UNDERGROUND PERMITS BEFORE ROUGH GRADING THE SITE, AS REVISIONS TO UNDERGROUND FACILITIES MANDATED BY PLAN CHECKING AGENCIES MAY SUBSTANTIALLY EFFECT GRADING INCLUDING FINISHED FLOOR ELEVATIONS.
- 15. THE CONTRACTOR SHALL VERIFY THE CONTENTS AND THICKNESSES OF THE BUILDING SLAB SECTION (IE: CONCRETE, SAND, ROCK) WITH THE STRUCTURAL PLANS AND THE ELEVATIONS SHOWN HEREON PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- 16. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
- 17. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
- 18. WHERE OFF-SITE DRIVEWAY APPROACHES ARE TO BE CONSTRUCTED THE ON-SITE DRIVEWAY SHALL NOT BE CONSTRUCTED UNTIL THE OFF-SITE IMPROVEMENTS ARE INSTALLED. THE ON-SITE DRIVEWAY SHALL CONFORM TO THE COMPLETED OFF-SITE DRIVEWAY.
- 19. ALL PIPES SHALL HAVE A MINIMUM COVER OF 3' FROM FINISH GRADE UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- 20. BENCHMARK:_

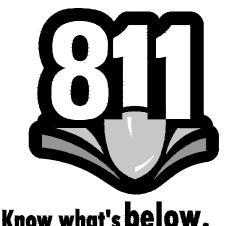




NOT TO SCALE

PUMP STATION 3





Know what's below.
Call 811before you dig

SHEET INDEX

C1.0 COVER SHEET, DETAILS, & GENERAL NOTES

C1.1 BEST MANAGEMENT PRACTICES

C2.0 GRADING AND DRAINAGE PLAN

C3.0 EROSION CONTROL PLAN

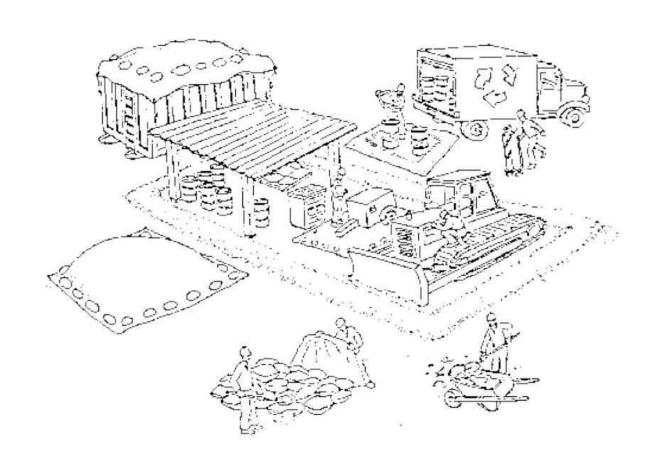
C4.0 TOPOGRAPHIC SITE SURVEY



DATE 9/23/2021
SCALE AS SHOWN
DESIGNER GN
DRAFTER GN
JOB A210614

EET C1.0

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

B A S M A A Bay Area Stormwater Management

1-888-BAYWISE

Agencies Association (BASMAA)

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.



 ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.

until repairs are made; repair leaks

- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work



- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.

✓ Do not use water to wash down fresh asphalt concrete pavement.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



- Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

Painting

- Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.



- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible.

 Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

RESPONSE TO ENG. COMMENTS – 6/08/2021

RESPONSE TO ENG. COMMENTS – 9/14/2021

NG •LAND PLANNING
(408) 656 5917

ENGINEERING SURV

CIVIL EN 16185 Los Los Gatos,

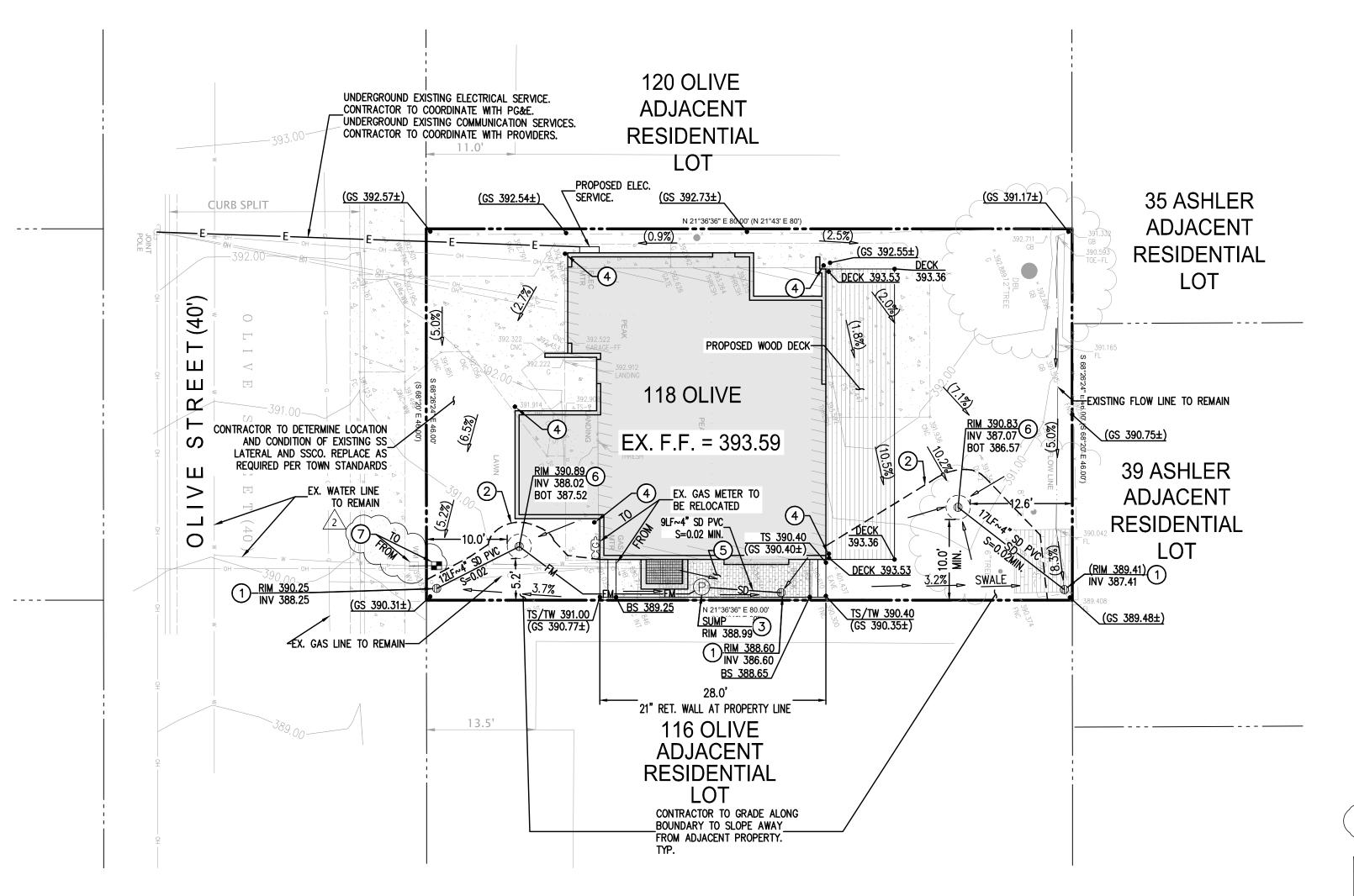
MANAGEMENT PRACTICES
HERT ADDITION & REMODE

S GATOS

DATE 9/23/2021
SCALE AS SHOWN
DESIGNER GM
DRAFTER GM

JOB A210614
SHEET **C1.1**

Page 81



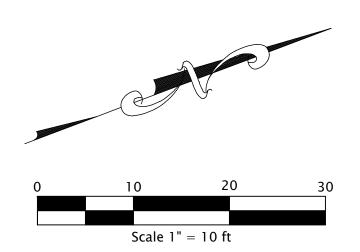
LEGEND

	LIMITS OF GRADING
SD	STORM DRAIN LINE
FM	STORM DRAIN FORCE MAIN LIN
———Е———	UNDERGROUND ELECTRIC
GS 102.18	SPOT GRADE
GS 102.18 OR (GS 102.18)	EX GRADE
2%	DIRECTION OF FLOW
<u>(2%)</u>	EXISTING DIRECTION OF FLOW

ABBREVIATIONS

AB	AGGREGATE BASE	IRR	IRRIGATION
AC	ASPHALTIC CONCRETE	L/S	LANDSCAPE
AD	AREA DRAIN	MAX	MAXIMUM
BOT	BOTTOM	MIN	MINIMUM
BS	BOTTOM OF STEP	MIN.	MINIMUM
С	CONCRETE	NO.	NUMBER
C&G	CURB AND GUTTER	O.C.	ON CENTER
CL	CENTERLINE	PV	PAVEMENT
CLR	CLEAR	PVC	POLYVINYL CHLORIDE
CONC	CONCRETE	RIM	RIM ELEVATION
DWY	DRIVEWAY	RWL	RAIN WATER LEADER
EX.	EXISTING	RYSB	REAR YARD SETBACK
F.F.	FINISH FLOOR	SD	STORM DRAIN
FF	FINISH FLOOR	SDCB	STORM DRAIN CATCH BASIN
FL	FLOW LINE	SDCO	STORM DRAIN CLEAN OUT
FS	FIRE SERVICE or FINISH SURFACE	STD.	STANDARD
FYSB	FRONT YARD SETBACK	SYSB	SIDE YARD SETBACK
GB	GRADE BREAK	TS	TOP OF SLAB
GS	GROUND SURFACE	TYP.	TYPICAL
HP	HIGH POINT	W/	WITH
ICV	IRRIGATION CONTROL VALVE		
INV	INVERT ELEVATION		

1					
	EARTHWORK QUANTITIES				
	ROUGH GRADING CUT:	0.9 CUYDS			
	ROUGH GRADING FILL:	0.0 CUYDS			
	IMPORT:	0 CUYDS			
	EXPORT:	0.9 CUYDS			



CONSTRUCTION NOTES

1) PROVIDE AREA DRAIN PER DETAIL 1/C1.0.

2 LIMITS OF GRADING

3 PROVIDE STORM DRAIN PUMP PER DETAIL 3/C1.0

4 ALL ROOF RAINWATER LEADERS ARE TO BE DISCHARGED ONTO SPLASH BLOCKS THAT ARE DESIGNED TO SPREAD OUT THE RAIN WATER SO THAT IT ENTERS THE LANDSCAPE AREAS AS SHEET FLOW

(5) CONSTRUCT CONCRETE WALK PER DETAIL 5/C1.0.

PROVIDE INFILTRATION DEVICE PER DETAIL 6/C1.0.

RELOCATE EXISTING WATER METER OUTSIDE OF PUBLIC RIGHT-OF-WAY.

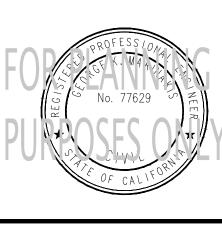
RAINWATER LEADER NOTE

All roof rainwater leaders are to be discharged onto splash blocks that are designed to spread out the rain water so that it enters the landscape areas as sheet flow

SURVEY NOTE

THIS SURVEY WAS PREPARED BY: ALPHA LAND SURVEYS, INC. 4444 SCOTTS VALLEY DR #7 SCOTTS VALLEY, CA 95066 DATED 3/1/21 JOB#: 2020-065

GKM ENGINEERING IS NOT LIABLE TO THE ACCURACY OF ANY OF THE EXISTING TOPOGRAPHIC, FIXED WORKS, BOUNDARY, AND/OR ENCUMBRANCE INFORMATION SHOWN ON THESE PLANS



PLANNING Agineering.com

SURVEYING • LAND PLAN
e 205
GKMengineerin

CIVIL ENGINEERING
16185 Los Gatos Blvd., Su
Los Gatos, Ca 95032

LIFORNIA

GRADING AND DRAINAGE PLAN
REICHERT ADDITION & REMODEL
APN: 410-15-022
118 OLIVE AVENUE

LOS GATOS

DATE 9/23/2021

SCALE AS SHOWN

DESIGNER GM

DRAFTER GM

JOB A210614

SHEET C2.0

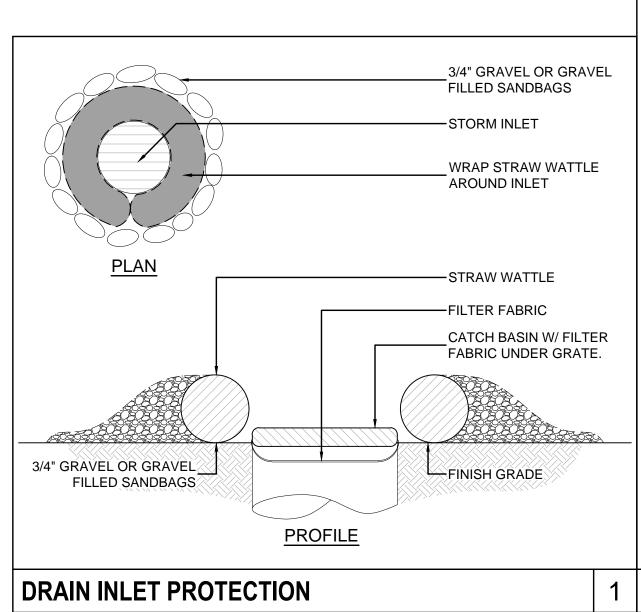
SURVEY NOTE

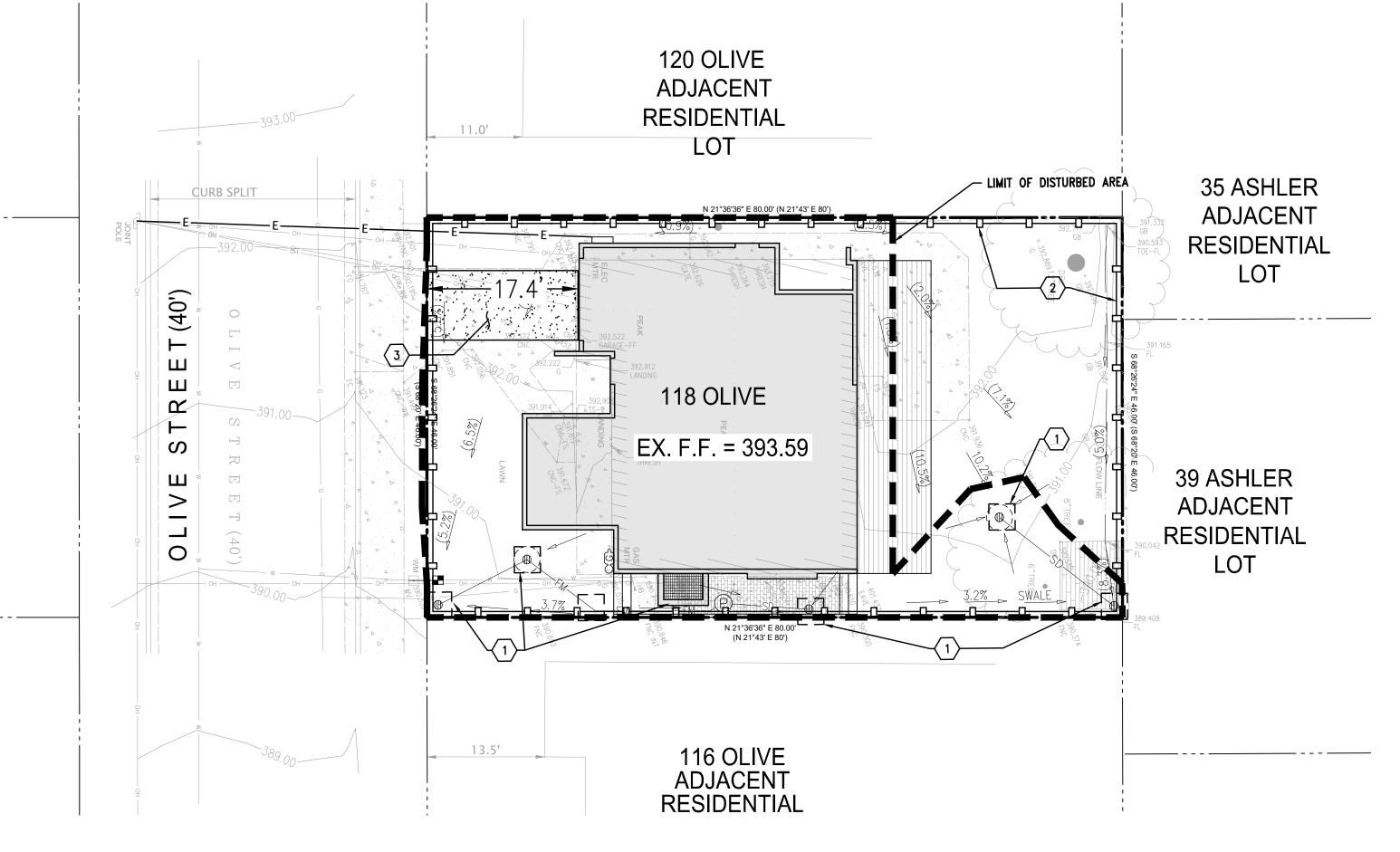
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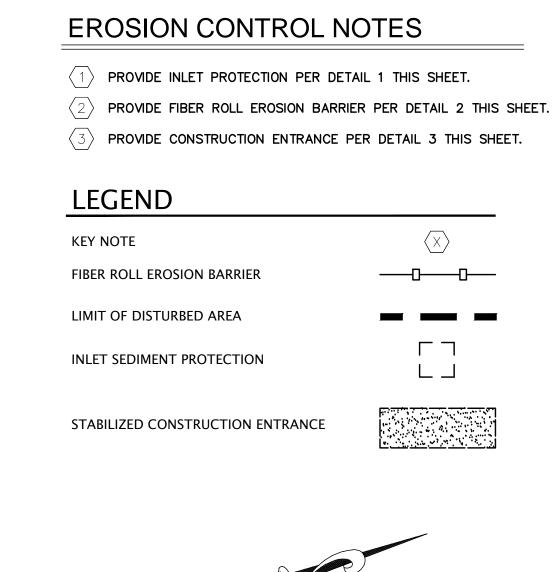
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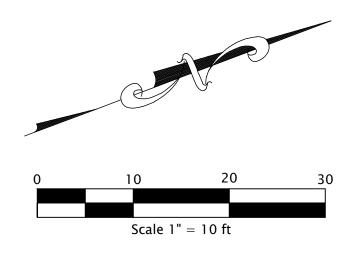
EROSION CONTROL NOTES

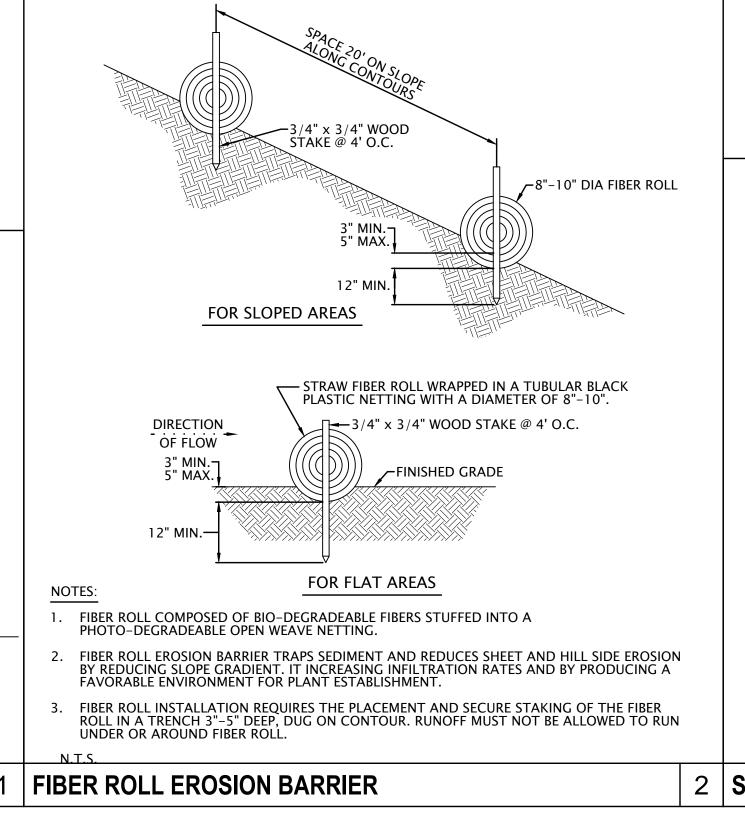
- 1. EROSION CONTROL FACILITIES AND MEASURES ARE TO BE INSTALLED AND OPERABLE BY OCTOBER 15 AND SHALL CONTINUE IN EFFECT UNTIL APRIL 15, OR UNTIL INSTALLATION OF THE PERMANENT PROJECT LANDSCAPING AND PAVING.
- 2. CHANGES TO THE EROSION CONTROL MEASURES INDICATED ON THESE PLANS AND DESCRIBED HEREIN TO ACCOMMODATE FIELD CONDITIONS MAY BE MADE ONLY WITH THE PRIOR APPROVAL OF OR AT THE DIRECTION OF THE CITY ENGINEER.
- 3. A CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ANY POINT OF EGRESS FROM THE SITE. THE CONSTRUCTION ENTRANCE SHOULD BE COMPOSED OF COARSE DRAIN ROCK (GREATER THAN 3" BUT SMALLER THAN 6" IN DIAMETER) AT LEAST TWELVE (12) INCHES THICK BY FIFTY (50) FEET LONG BY TWELVE (12) FEET WIDE AND SHALL BE MAINTAINED UNTIL THE SITE IS PAVED.
- 4. SEDIMENT TRAPS SHALL BE CONSTRUCTED AND MAINTAINED IN PLACE AROUND EACH STORM INLET AS INDICATED ON THE DEMOLITION PLAN. SEE THE "DRAIN INLET PROTECTION" DETAIL ON THIS SHEET. ALL INLETS WHICH ARE NOT PROTECTED BY SEDIMENT TRAPS SHALL BE COMPLETELY BLOCKED AS LONG AS THE EROSION CONTROL PLAN IS IN EFFECT.
- 5. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO PREVENT SEDIMENT-LADEN RUNOFF FROM ENTERING THE STORM DRAINAGE SYSTEM OR ADJACENT PROPERTIES.
- 6. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS THERETO PRIOR TO ANTICIPATED STORMS, AND SHALL PERIODICALLY INSPECT THE SITE AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE REPAIRED IMMEDIATELY.
- 7. FOLLOWING EACH STORM, THE CONTRACTOR SHALL INSPECT EACH STORM INLET SEDIMENT TRAP TO ASSURE THE INTEGRITY OF THE BASIN AND OUTLET PIPE. ANY DAMAGE TO THESE OR OTHER EROSION CONTROL DEVICES SHALL BE REPAIRED AS SOON AS PRACTICABLE.
- 8. AS SOON AS PRACTICABLE FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE SEDIMENT TRAP BASIN AND SHALL CLEAR THE OUTLET PIPE OF ANY BLOCKAGE.
- 9. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL FACILITIES AND SHALL CONDUCT PERIODIC INSPECTION OF THE PROJECT SITE DURING STORMS OF PROLONGED DURATION AND/OR HEAVY INTENSITY TO ASSURE THAT THEY FUNCTION IN THE MANNER DESCRIBED HEREIN.

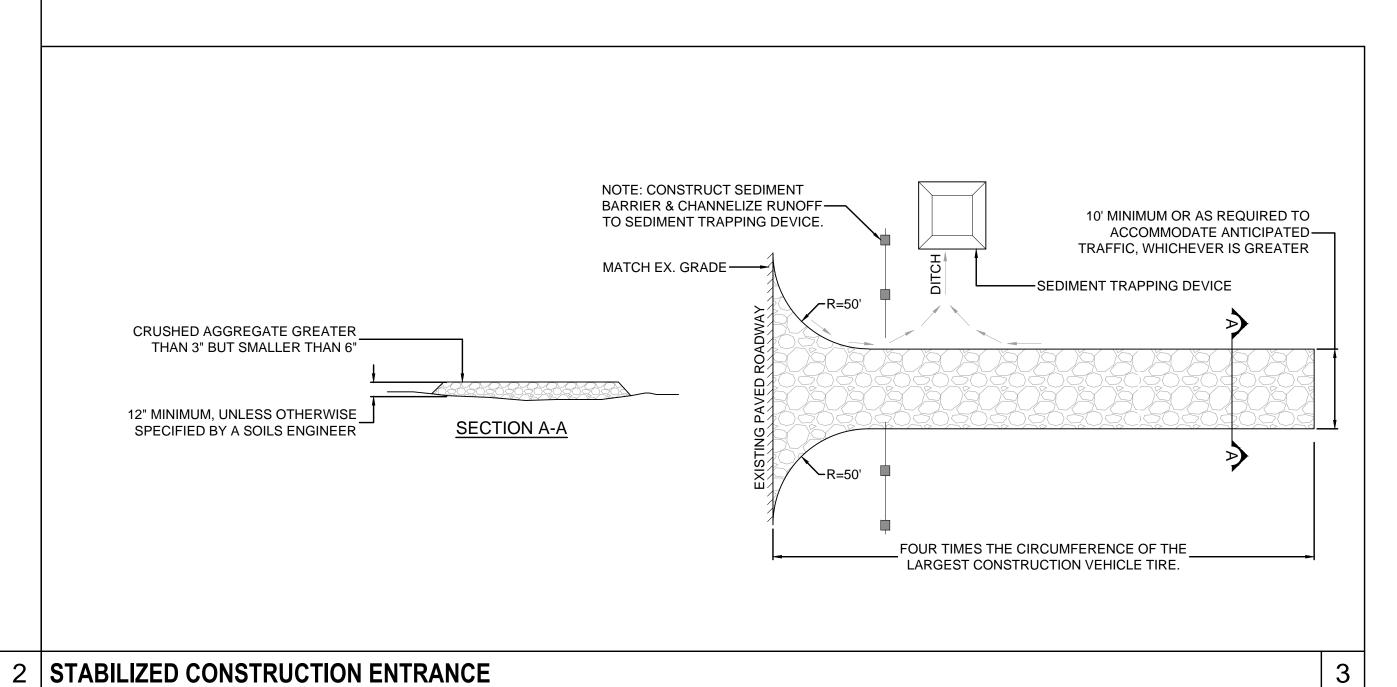
















13

DATE 9/23/202 SCALE AS SHOWI

DESIGNER DRAFTER

S 68'26'24" E 46.00' (S 68'20' E 46.00') FLOW LINE 390.0 6"TREE GAS MTR S 68°26'24" E 46.00' (S 68°20' E 46.00') WM + 390.33 × 392.50 WW-FNC END O L I V E S T R E E T (40') CURB SPLIT

PARCEL DATA:

410-15-022 3,680 SF +/-

ABBREVIATIONS

PUE - PUBLIC UTILITY EASEMENT WCE - WIRE CLEARANCE EASEMENT SDE - STORM DRAIN EASAEMENT ICV — IRRIGATION CONTROL VALVE AE — ANCHOR EASEMENT OH — OVERHEAD UTILITY LINES FS - FACE OF STEPS TS - TOP OF STEPS GB — GRADE BREAK HB - HOSE BIB

ELEVATION DATUM

ELEVATIONS ARE DERIVED FROM A GPS READING AND BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988, ELEVATIONS HAVE NOT BEEN TIED TO A PUBLISHED BENCHMARK.

<u>REFERENCES</u>

(A) U-M-49

(B) 328-M-42

(C) DOC# 24808153

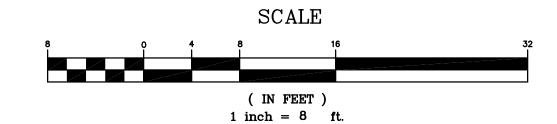
BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE CENTER LINE OF FANCHER COURT AS SHOWN ON THAT CERTAIN MAP RECORDED IN BOOK 328 OF MAPS AT PAGE 42, SANTA CLARA COUNTY RECORDS

NORTH 60° 56' 16" WEST

<u>NOTES</u>

A TITLE REPORT WAS NOT PROVIDED FOR THIS SURVEY. EASEMENTS SHOWN, IF ANY, ARE COMPILED FROM RECORD MAPS AND THE CURRENT DEED FOR THE PROPERTY. THERE MAY BE ADDITIONAL EASEMENTS THAT BURDEN OR BENEFIT THE SUBJECT PROPERTY THAT WOULD ONLY BE REVEALED ON A TITLE REPORT.





JEAN-PAUL HAPPEE, PLS 8807

ALPH	IA LAND	S	URVEYS, INC.	
OTTS VALLEY DR #7	P.O. BOX 1146		TOPOGRAPHIC MAP OF	_

4444 SCOTTS VALLEY DR. #7 SCOTTS VALLEY, CA 95066 (831) 438-4453

P.O. BOX 1146 MORGAN HILL, CA 95038 (831) 438-4453 SHEET TOPOGRAPHIC MAP OF 118 OLIVE STREET C4.0 TOWN OF LOS GATOS 1" = 8' DATE: 3/1/21OF ONE JOB#: 2020-065 SANTA CLARA COUNTY



MEETING DATE: 01/12/2022

ITEM NO: 2 ADDENDUM

DATE: January 11, 2022

TO: Planning Commission

FROM: Joel Paulson, Community Development Director

SUBJECT: Requesting Approval for Demolition of an Existing Single-Family Residence

and Construction of a New Single-Family Residence to Exceed Floor Area Ratio (FAR) Standards with Reduced Front and Side Yard Setbacks on Nonconforming Property Zoned R-1D. **Located at 118 Olive Street**. APN 410-15-022. Architecture and Site Application S-21-013. PROPERTY

OWNER: Thomas and Meredith Reichert. APPLICANT: Jay Plett, Architect.

REMARKS:

Exhibit 12 includes the applicant's response to previously distributed public comments. Exhibit 13 includes additional public comments received between 11:01 a.m., Friday, January 7, 2022 and 11:00 a.m., Tuesday, January 11, 2022.

EXHIBITS:

Previously received with the January 12, 2022 Staff Report:

- 1. Location Map
- 2. Required Findings and Considerations
- 3. Recommended Conditions of Approval
- 4. Project Description and Letter of Justification, dated August 2, 2021
- 5. Color and Materials Board
- 6. Consulting Architect's Report, dated August 4, 2021
- 7. Applicant's response to Consulting Architect's Report
- 8. Owner's summary of neighbor outreach
- 9. Photos of existing residence
- 10. Public comments received by 11:00 a.m., Friday, January 7, 2022
- 11. Development Plans

PREPARED BY: SEAN MULLIN, AICP

Senior Planner

Reviewed by: Planning Manager and Community Development Director

PAGE **2** OF **2**

SUBJECT: 118 Olive Street/S-21-013

January 11, 2022 DATE:

EXHIBITS (continued):

Received with this Addendum Report:

12. Applicant's response to public comments

Public comments received between 11:01 a.m., Friday, January 7, 2022 and 11:00 a.m.,

Tuesday, January 11, 2022

January 10, 2022 Application 5-21-013

Dear Mr. Mullin,

This letter is in response to the letter received (reference letter) which is dated December 17th 2021 and received January 6th 2022 by the Town Planning Department reguarding 118 Olive.

Response to Issue 1- Parking: The current proposed project site has 1 car parking garage and 1 driveway space. We are proposing to build a functional garage and maintain the driveway parking space, which would park all our cars, not contributing to any on street parking. There are several homes on this block which have small or unusable garages (including our current home) and no driveways, this combined with many painted red curbs may impact parking, however even with all of this, we have personally had no parking limitations since we have moved to Olive street since it is required to have permits to park.

Response to Issue 2- FAR and setbacks: As noted in the reference letter 118 Olive seeks approval of FAR to exceed allowable SF, there are 4 other homes in the immediate location that also exceed allowable:

Project Site (308 SF)

- *120 Olive (60 SF)
- 135 Olive (373 SF)
- 127 Olive (178 SF)
- *546 San Benito (398 SF)

As noted in the reference letter 118 Olive seeks approval of front and side yard setback reductions. There are many homes in the immediate location that are built with considerably more intrusive setbacks than our proposal.

Front Setback

Project Site 10'-0"

- 133 Olive 7'-0"
- 131 Olive 8'-0"
- 127 Olive 7'-0"
- 125 Olive 5'-0"
- 112 Olive 8'-9"
- *110 Olive 4'-0"
- *546 San Benito 8'-0

Side yard Setback

Project Site 3'-0" (limited to the garage on the West side first story)

- *120 Olive 3'-0" +- (along the entire length of the home for 2 stories)
- 135 Olive 0'-0"
- 131 Olive 2'-0" +-
- 129 Olive 2'-0" +-
- 127 Olive 1'-6" +-
- *110 OLIVE 0'-0"
- 112 OLIVE 3'-0"

Response to Issue 3- building height and scale: We worked very closely with the Town planner, Architect and our design architect to be respectful to the scale of the proposed project, the adjacent properties and the neighborhood character- all which have been reviewed and align with the Los Gatos residential design guidelines and General plan by the town planning staff and consultants. We reviewed, iterated and collaborated to align on topics such as street presence, neighborhood patterns, forming, mass, garage guidelines etc. including talking with many neighbors.

• One point in the reference letter is in regard to 120 Olive and our proposal to build a 2 story home next to their 2 story home. If I understand it correctly, this home has a 3' side yard set back as is our proposal, and this home is a 2 story and we are proposing the same. The building height of our proposal is within the Towns guidelines and is not as tall as either of its neighbors to the West, furthermore 546 San Benito can be seen from Santa Cruz Ave even above our proposed flags which speaks to the considerations of our proposal to understand the scale of the neighborhood patterns and less than the max build height allowable.



- Another point in the referenced letter is in regard to the elevation drawings. The letter makes a good point about the sketches of 120 Olive and 546 San Benito being difficult to show accurately in drawing given the large slope of the site. That being said, the planner and reviewers are aware, make site visits and have photographs to understand streetscape and context of the neighborhood. A project of this scale and scope have significant review periods, we have been engaged with the Town planning department since April 2021 in making appropriate considerations. Additionally, the flag poles are only suggested to be up 10 day prior to the proposed hearing, as part of better understanding the context we elected to work with the Town Planning Department to have them up since before Halloween 2021 ahead of our January 12th 2022 hearing. This allowed as much feedback and context to be seen and reviewed, far exceeding the minimum required timing.
- In the reference letter it specifically highlights 546 San Benito elevations and building. If I understand it correctly, this is the largest house in the neighbor sphere by height, FAR, elevations, street presence and has taken advantage of the Towns allowances for basement space to not count against its FAR as its encouraged to build below grade to not overbuild the sight lines. Our project proposal is smaller in every comparison, and we too hope to take advantage of the Towns allowances for basement. To further clarify, our basement proposal is predominately underground, 546 San Benito elevation from San Benito Street is similarly positioned, but because of the significant site slope, when you turn the corner to Olive Street the elevation is an entire 3 story building (the only one on the street), it is far more imposing that our proposed standard 2 story project. That being said, I believe that 546 San Benito followed the rules, as does ours with heights, scale and basement.



Considered Basement Level, with 2 floors above

Response to Issue 4- Privacy: In terms of privacy for 120 Olive related to our proposed terrace. We can agree with the reference letters concern. This was discussed with the Towns consulting architect and Planning Department and is a good time to revisit given the concern. We recommend the terrace be reconsidered to allow us to do an alternate proposal of a sloped roof as referenced in the Consulting Architects review. This would allow proper massing and

scale relative to streetscape, while aligning with the design of the proposed home AND provide the privacy we think 120 Olive deserves. The design concern which was brought up during the consultant architects review of the roof vs terrace was regarding streetscape, to address this we highlight that the proposed roof will have a low top plate at its lowest point, thereby reduce the presence both to the direct 120 Olive neighbors and limit the overall height of the roof. Shown below as our proposed resolution to have terrace changed to roof.



Another point of privacy from the reference letter regarding the rear deck as potentially being a concern. The proposed deck would be level with exiting the back door and provides no vantage point for us to view into neighbor's yard, to clarify and press upon, we don't want to view anyone's yard from our own. Similar to the point of the lots being sloped, the deck as proposed would just make a safe and level exit from our house to the back yard.

Response to Issue 5- construction disruption: We agree with all the sentiment about how construction can be disruptive. Please note that we believe construction is allowed to take place where permits are issued and follow all rules and guidelines AND as any good neighbors would do we would work with each other to minimize distributions. Many of the neighbors on this very block have successfully completed construction work despite the issues noted-two house finished work this last few years and one of the homes who signed the letter of reference (546 San Benito) did a very extensive build.

Response to Issue 6- Design: Included here is several photos of the block highlighting the eclectic design of neighborhood. Also to note, we have reviewed this the Town Planning Department and consulting Architect to ensure our proposal fits with Los Gatos Residential Design Guidelines.





In closing: We believe the proposed project is reasonable, well fit and a benefit to the neighborhood which has many neighbors (who have become our friends) who support the project. We believe to have worked in good faith with the planning team and our neighbors to adequately address concerns and ask that this project proceed with planning approval.

We would like to thank the neighbors who chose to sign the reference letter. Having these comments is a valuable part of the process and helps us make more informed decisions and build a project with any concerns as part of the considerations. We hope that we could also come to agreement on other neighborhood issues like abandon houses or underutilized lots to support the housing crisis which the Towns General Plan hopes to make progress. For example, the abandoned home on the corner of Thurston and San Benito which is very close to all of us and might be an avenue for us to collaborate on to improve the neighborhood.

It makes sense to acknowledge that while we have met many friends and neighbors since moving to this home, COVID-19 has made it even more difficult to meet every neighbor- we ourselves have been conservative in our social activities since our immediate family has high risk factors to potential exposures. Interestingly, each homeowner who signed the reference letter is a someone we haven't gotten a chance to meet- we have since made headway into meeting these extended neighbors. Hoping these exchanged letters will bring a renewed sense of community given the context of living with the reality of a COVID-19 pandemic.

Sincerely, The Reichert Family

• 107, 108, 110, 116, 120, 121 and 122 Olive and 546 San Benito

^{*}Parties who signed the reference letter of concern

This Page Intentionally Left Blank From: Jason Malinsky <

Sent: Saturday, January 8, 2022 7:58 PM **To:** Sean Mullin <SMullin@losgatosca.gov>

Subject: 118 Olive Street

EXTERNAL SENDER

Mr. Mullin:

I write in support of the proposed project at 118 Olive Street. I have reviewed the basic plans as well as walked and driven by the house numerous times as I live just a couple blocks away on San Benito and pass it daily as I take my son to kindergarten. The project appears eminently reasonable for the size and character of the neighborhood. Additionally, adding a property like this to the area encourages more families with children to live here as it is a more suitable home for a family than the current home on the lot. More families with kids roots people deeper into the community as I know the owners of 118 Olive are committed to being when their new home is constructed. This is what makes Los Gatos great and allows it to evolve to meet the needs of families that want to be here.

Please approve the project as designed.

Jason Malinsky

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MEETING DATE: 01/12/2022

ITEM NO: 3

DATE: January 7, 2022

TO: Planning Commission

FROM: Joel Paulson, Community Development Director

SUBJECT: Requesting Approval of a Planned Development for Construction of a Senior

Living Community, Removal of Large Protected Trees, and Site Improvements Requiring a Grading Permit on Property Zoned R:PD. Located at 110 Wood Road. APN 510-47-038. Planned Development Application PD-20-001 and Environmental Impact Report EIR-21-002. APPLICANT: Rockwood Pacific. PROPERTY OWNER: Covia Communities. PROJECT PLANNER: Sean Mullin.

RECOMMENDATION:

Forward a recommendation to the Town Council on a request for approval of a Planned Development (PD) for construction of a senior living community, removal of large protected trees, and site improvements requiring a Grading Permit on property zoned R:PD located at 110 Wood Road.

PROJECT DATA:

General Plan Designation: Medium Density Residential: 5-12 dwelling units/acre

Zoning Designation: Residential-Planned Development, R:PD

Applicable Plans & Standards: General Plan; Hillside Specific Plan

Parcel Size: 10.84 acres

PREPARED BY: SEAN MULLIN, AICP

Senior Planner

Reviewed by: Planning Manager and Community Development Director

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SUBJECT: 110 Wood Road/PD-20-001 AND EIR-21-002

JANUARY 7, 2022

PROJECT DATA (continued):

Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Single- and Multi-Family	Medium Density	R-1D
	Residential	Residential	
East	Office-Professional and	Central Business District	C-2 and
	Commercial		C-2:PD
South	Office-Professional and	Hillside Residential and	HR-5
	Single-Family Residential	Central Business District	
West	Single-Family Residential and	Hillside Residential	HR-5
	Vacant		

CEQA:

An Environmental Impact Report (EIR) and Mitigation Monitoring and Reporting Program have been prepared for the project (Exhibits 1 and 2) and are available online at www.losgatosca.gov/110WoodRoad.

FINDINGS:

- As required by the California Environmental Quality Act (CEQA) for certifying the Final EIR.
- That the PD to rezone the property is consistent with the General Plan.
- That the project is in compliance with the Hillside Specific Plan.
- As required by Section 29.80.095 of the Town Code for adoption of a Planned Development Ordinance.

ACTION:

- Forward a recommendation regarding Environmental Impact Report EIR-21-002 to the Town Council.
- Forward a recommendation regarding Planned Development application PD-20-001 to the Town Council.

BACKGROUND:

The subject site is approximately 10.84 acres consisting of two underlying parcels at the intersection of Wood Road and South Santa Cruz Avenue (Exhibit 3). The site has been occupied by the Los Gatos Meadows since 1971, a senior living development operating under a PD approved in 1968. The Conceptual Development Advisory Committee (CDAC) reviewed a

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SUBJECT: 110 Wood Road/PD-20-001 AND EIR-21-002

JANUARY 7, 2022

BACKGROUND (continued):

preliminary proposal for redevelopment of the subject property on April 9, 2008. The Staff Report and minutes of the CDAC meeting are attached as Exhibits 6 and 7.

In February 2019, the Los Gatos Meadows facility initiated a month's long closure and transition process to relocate all residents. By September 2019, the facility was vacant. While the property owner, Covia Communities, has completed the closure process, the property continues to be staffed to provide on-going maintenance and to ensure security of the property.

An application was filed by Frank Rockwood of Rockwood Pacific requesting a new PD zoning for the property for the purpose of building a new senior living development (Exhibit 15). The existing zoning is Residential, Planned Development (R:PD) and the General Plan Land Use designation is Medium Density Residential.

A Draft EIR for the project was prepared and circulated for a 45-day public review period from May 28, 2021, through July 12, 2021 (Exhibit 1). The Final EIR, which includes the Response to Comments, was previously provided on September 3, 2021 (Exhibit 2).

Future required approvals include an Architecture and Site application, Certificate of Lot Merger, Building Permits, a Grading Permit, and a Tree Removal Permit.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject site is approximately 10.84-acres consisting of two underlying parcels at the intersection of Wood Road and South Santa Cruz Avenue (Exhibit 3). The property rises east-to-west approximately 240 feet, and approximately 95 feet across the area of development. The subject property is characterized by a hillside setting, and is in the Hillside Specific Plan area, but it is not located within the hillside area as defined by the Hillside Development Standards and Guidelines (HDS&G).

The site has been occupied by the Los Gatos Meadows, a senior living development, since 1971. The existing development includes 10 residential buildings with 205 independent care and support units; a dining and commons building; an infirmary, garage, and services building; a multi-purpose building; two cottages; and 130 parking spaces (Exhibit 15B, Sheet C101). Site access is currently taken from a driveway off Wood Road at the southern end of the property and from the south side of Broadway via Farwell Lane. An additional access road served from Wood Road provides access to the area uphill of the existing buildings, traversing to the center of the property, where it dead ends.

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SUBJECT: 110 Wood Road/PD-20-001 AND EIR-21-002

JANUARY 7, 2022

PROJECT DESCRIPTION (continued):

The surrounding area contains a mix of uses with single- and multi-family residential uses located to the north; office and commercial uses to the east; office and single-family residential uses to the south; and single-family residential uses to the west.

B. Project Summary

The applicant is proposing a new PD to allow for the demolition of all existing buildings, construction of a new senior living community, removal of large protected trees, and site improvements requiring a Grading Permit. The senior living community would operate as a Continuing Care Retirement Community (CCRC) and will be licensed as a Residential Care Facility for the Elderly (RCFE) under the California Department of Social Services. The project would be restricted to persons age 62 and older, providing 24/7 assisted living services to the residents. The senior living community would provide coordinated health care services, including 17 supporting care units. These proposed services would be similar to the uses offered in the previous community that closed in 2019.

DISCUSSION:

A. Conceptual Development Advisory Committee

The CDAC reviewed a preliminary proposal for redevelopment of the subject property on April 9, 2008 (Exhibits 6 and 7). The CDAC provided comments on the proposal related to:

- The need for senior housing and to modernize the existing facility;
- Inclusion of Below Market Price units;
- LEED certification;
- Height and visibility;
- Appropriate architectural style;
- Hillside setting; and
- Traffic, grading, and tree impacts.

The applicant's Letter of Justification responds to the feedback provided by the CDAC in 2008 (Exhibit 8).

B. Existing Planned Development Comparison

As noted in the Letter of Justification (Exhibit 8), the applicant is proposing a new PD to replace the PD approved in 1968, under which the Los Gatos Meadows has been operating since 1971. The proposed PD would retain the existing R:PD zoning for the subject property. Approval of the PD application would establish the regulations through an

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SUBJECT: 110 Wood Road/PD-20-001 AND EIR-21-002

JANUARY 7, 2022

DISCUSSION (continued):

ordinance (which would include the development plans) under which the following actions would be allowed:

- Demolition of all existing buildings on the site;
- Construction of a new senior living community;
- Removal of 192 trees, including 8 large protected trees; and
- Site improvements requiring a Grading Permit.

A comparison of the existing and proposed PD conditions is provided in the table below.

Comparison of Planned Development Conditions

	Original 1968 PD	Proposed PD
Site Coverage	24.6 percent	22.5 percent
Total Number of	184	174
Independent Living Units		
Total Units Permitted	222	191
Open Space	75.4 percent	77.5 percent
Building Setbacks from	Front: 20 feet	Front: 34.83 feet
Property Line	Side: 15 ft and 27 feet	Side: 40.83 feet and 60 feet
	Rear: 15 feet	Rear: 32.92 feet
Parking	111 spaces	78 standard spaces
		122 tandem spaces
Height	Predominantly 2-story with	3-5 stories with below grade
	some basement or below	space for parking, storage,
	grade space for infirmary,	and mechanical. Heights
	parking, storage, and	vary between 59'-0" and 85'-
	mechanical. Heights vary	6" ±.
	between 30'-9" and 55'-2" ±.	

Future required approvals include an Architecture and Site application, Certificate of Lot Merger, Building Permits, a Grading Permit, and a Tree Removal Permit.

C. <u>Proposed Project Analysis</u>

The proposed PD includes demolition of all existing structures and redevelopment of the site with a ground floor podium and eight separate buildings constructed above the podium level (Exhibit 15).

SUBJECT: 110 Wood Road/PD-20-001 AND EIR-21-002

JANUARY 7, 2022

DISCUSSION (continued):

As summarized in the following table, the podium would include a ground floor level and a subterranean lower-level parking garage with 29 parking spaces. The ground floor level would include the main entrance, 17 supporting care units, dining facilities, offices, fitness center, indoor swimming pool, mechanical areas, and a parking garage accommodating 49 cars in single parking spaces and 122 cars in tandem parking spaces.

Summary of Podium

	Height Above	Gross Floor	Parking	Parking Spaces
	Low Grade (+477')	Area	Area	
Lower Level	11 ft	0 sf	22,136 sf	29 (standard)
Garage	(+488')			
Ground Floor	28 ft	52,904 sf	66,691 sf	49 (standard)
Level	(+505')			122 (tandem)

An outdoor terrace would be located above the podium providing common space amongst the eight villas. This landscaped terrace area would offer amenities including walkways, gardens, seating areas, courtyards, lawns, bocce ball courts, outdoor dining, and multiples trellises and gazebos (Exhibit 15B, Sheet LS-6). The eight villas would rise three to five stories above the terrace level, with heights from 42 feet, one inch, to 68 feet, seven inches above the terrace. The eight villas would include 174 one- and two-bedroom independent living units with a variety of floor plans. The characteristics of each villa are summarized in the table below.

Summary of Villas

	Number of	Height Above	Height Above	Gross Floor
	Stories	Terrace (+505')	Ground Floor (+488')	Area
Villa A	5	68.58 ft	85.58 ft	157,054 sf
Villa B	3	56.00 ft	73.00 ft	41,483 sf
Villa C	5	65.08 ft	82.08 ft	56,891 sf
Villa D	4	53.58 ft	70.58 ft	31,426 sf
Villa E	5	65.00 ft	82.00 ft	40,712 sf
Villa F	5	67.50 ft	84.50 ft	40,712 sf
Villa G	4	53.50 ft	70.50 ft	31,426 sf
Villa H	3	42.08 ft	59.08 ft	31,112 sf

Sheets A201, A202, and A203 of the development plans include typical elevations for the podium and the villas but do not provide full elevations of all structures. Full elevations will be required during the future Architecture and Site application review process.

DISCUSSION (continued):

In their Letter of Justification, the applicant indicates that the materials for the proposed development were selected based on their ability to blend with the natural setting and minimize the visual impact of the proposed building heights (Exhibit 8). A materials board is included on Sheet A204 of the development plans and the typical locations of the proposed exterior materials are shown on the exterior elevations on Sheets A201 through A203 (Exhibit 15B). Typical exterior materials include:

- Standing seam metal roof in dark gray;
- Stone veneer tile;
- Brushed stainless steel window frames and railings;
- Concrete panel siding in tan/brown;
- Metal panel siding in olive green;
- Vertical standing seam siding in beige;
- Horizontal metal panel wood veneer; and
- Aluminum soffit with wood appearance.

The eight villas would be situated on the terrace level to frame two large outdoor spaces separated by Villa A: the Village Green and Town Square. These outdoor spaces would be connected through the common area located on the bottom floor of Villa A. A network of paths and walkways would provide circulation between the various amenities within the outdoor spaces. Proposed hardscape materials are included on Sheet LS-13 of the development plans (Exhibit 15B) and include:

- Stained sawcut concrete walkways;
- Seeded glass paving;
- Stone veneer retaining walls;
- · Vegetated green walls; and
- Toned asphalt paved trail.

The proposed PD includes access and circulation improvements serving the development. The primary access point would be similar to the existing driveway off Wood Road at the southern end of the property (Exhibit 15B, Sheet C102). At the southwest elevation, vehicles could access the main entrance at the ground floor level or enter the lower level parking garage, which connects internally to parking on the ground floor level. Deliveries, trash collection, and other services would be accommodated through a receiving dock just north of the main entrance on the ground level. The existing access road off Wood Road uphill of the development area would be improved and extended to connect to the driveway on the east side of the development area. This extension would provide a fire

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SUBJECT: 110 Wood Road/PD-20-001 AND EIR-21-002

JANUARY 7, 2022

DISCUSSION (continued):

access ring road around all sides of the development. The fire access ring road would provide ladder access to the podium and each of the eight villas. Farwell Lane would be closed off to vehicle and pedestrian access and would be retained exclusively for Fire Department access from Broadway and autonomous vehicular access for the residents to the downtown area. The proposed project, including the circulation improvements, has been reviewed and approved by the Santa Clara County Fire Department.

D. Architectural Review

The Town's Consulting Architect reviewed the proposed project and noted that the project is well designed with a lot of thought given to the facilities' layout and building design (Exhibit 9). The Consulting Architect also noted that the increased building heights and proposed tree removal have the potential to create visual impacts to adjacent properties and other portions of the Town. The Consulting Architect made no recommendations for changes to the building design, but noted that the proposed materials are largely faux simulations of natural materials. Based on this feedback, the applicant revised portions of the plans to clarify the screening impact of the landscaping, updated the color of the roof material, and provided justification for the selected materials (Exhibit 8). The applicant's response to the recommendations of the Town's Consulting Architect is included in Exhibit 10. An application for Architecture and Site review is required by Performance Standard 3 of the Planned Development Ordinance (Exhibit 15).

E. Visibility

The subject property is not located within the hillside area and is not subject to the visibility regulations as defined by the HDS&G. The applicant installed story poles and provided renderings of the proposed project to represent the visual impact of the project from several view corridors (Exhibit 15B, Sheets A406 through A408). Further, the applicant provided a discussion of the building heights and visibility in the Letter of Justification (Exhibit 8).

F. Grading

The proposed project is located primarily in the areas of the property with existing development. Grading and excavation activities are required for the new podium and villas, subterranean parking garages, adjustments to the site plan, and circulation improvements (Exhibit 15B, Sheet C103). Preliminary earthwork quantities and cut and fill depths are summarized in the table on the following page. The proposed site grading exceeds the 50

SUBJECT: 110 Wood Road/PD-20-001 AND EIR-21-002

JANUARY 7, 2022

DISCUSSION (continued):

cubic yard (cy) threshold for requiring a Grading Permit. The areas with the most intense site grading are adjacent to the edges of the podium, and the new and widened roadway around the site.

Preliminary Earthwork Quantities

Tremmary Euranwork Quantities							
Туре	Cut (cy)	Fill (cy)	Net (cy)		Max Cut	Max Fill	
					Depth (ft)	Depth (ft)	
Buildings*	113,000	1,000	112,000	<cut></cut>	61.5	3.5	
Driveways	9,900	2,300	7,600	<cut></cut>	21.0	14.0	
Sidewalk	3,700	700	3,000	<cut></cut>	20.5	10.5	
Landscape	13,100	2,400	10,700	<cut></cut>	27.0	13.5	
Utility Spoils	7,000		7,000	<cut></cut>			
GRADING PERMIT TOTAL*	33,700	5,400	18,300	<cut></cut>			
TOTAL	146,700	6,400	140,300	<cut></cut>			
* Excavation within building	footprints	* Excavation within building footprints does not count toward a Grading Permit					

G. Retaining Walls

New retaining walls are proposed to allow for the necessary slope transitions between the podium and the improved roadways (Exhibit 15B, Sheets C103, and C103.1). The heights of these retaining walls vary by location, having a maximum height of approximately 24 feet northwest of Villa D (Exhibit 15B, Sheet C103.1, Section A-A). Proposed retaining walls on the western edge of the site would be largely screened by the podium and villas, while those on the eastern edge of the development may be visible. The primary function of the proposed retaining walls is improve and extend the fire access ring road. In the Letter of Justification, the applicant discusses the need for the retaining walls, efforts to reduce wall heights, and strategies for mitigating the visual impact of taller retaining walls (Exhibit 8). A summary of the proposed retaining walls is provided in the table below.

Summary of Maximum Retaining Wall Heights

Section (C102 and C103.1)	Location	Maximum Heights (ft)
A–A	NW of Villa A	24
В-В	N of Villa A	11
C-C	N of Villa A	10
D-D	NE of Villa C	10
E-E	NE of Villa C	20
F–F	SE of Villa H	3
G–G	SW of Villa G	13
H–H	NW of Villa H	10

DISCUSSION (continued):

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SUBJECT: 110 Wood Road/PD-20-001 AND EIR-21-002

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H. Parking

The Town Code parking requirement for convalescent homes is one parking space for every two and one-half beds. While this senior living community differs from convalescent homes for which this parking requirement was developed, it can be used to guide the determination of an appropriate parking requirement for this project, that would be enforced through the PD.

The proposed project includes 174 continuing care living units and 17 supporting care units, totaling 191 units. Applying the convalescent home parking requirement per living unit, the project requires 77 parking spaces. The project includes 78 standard parking spaces, exceeding the parking requirement.

However, some of the proposed 174 continuing care living units would be two-bedroom units, as detailed in the "Unit Data" table on the cover sheet of the development plans (Exhibit 15B). According to this table, the 174 continuing care living units would include a total of 291 bedrooms. When including the 17 supporting care units, the project includes 308 bedrooms. Using the convalescent home parking requirement and applying it per bedroom, rather than per unit, the project would require 124 parking spaces for the 308 bedrooms. In addition to the 78 standard parking spaces, the project includes 122 tandem parking spaces that would be managed under a valet parking program, for a total of 200 parking spaces. Typically, tandem parking spaces do not count toward the required parking; however, these spaces can be counted if approved under the proposed PD. If approved, details of the proposed valet parking program would be required during review of the Architecture and Site application.

I. Traffic

A Transportation Analysis was prepared for the Initial Study by Kimley-Horn (Exhibit 1, Appendices). This analysis compared the trip generation of the existing development (708 daily trips) to the anticipated trip generation of the proposed project (718 daily trips). This analysis concluded that the proposed project would result in a net increase of 10 daily trips for the proposed project relative to the baseline use, and a net decrease for AM peak (-2 trips), midday peak (-3 trips) PM peak (-4 trips), and Saturday midday peak (-3 trips).

J. Trees and Landscaping

The subject property includes thousands of existing trees. Details on the location, size, species, health, suitability, and disposition of the trees in the project area are included on Sheets T-1 through T-5 of the development plans (Exhibit 15B). The provided information

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SUBJECT: 110 Wood Road/PD-20-001 AND EIR-21-002

JANUARY 7, 2022

DISCUSSION (continued):

indicates that 44 trees were removed in 2019 under permit T19-167, 36 of which were protected trees. These trees were removed due to being invasive species and/or fire concerns. The project proposes removal of 213 additional trees, 192 of which are protected trees requiring a permit for removal. Eight of these trees are large protected trees. The proposed tree removal is due to their location within the development area, risk/poor health, sudden oak death carrier, and/or fire risk. An Arborist Report was prepared by Hort Science and submitted with the application materials. The Town's Consulting Arborist conducted a peer review of this report and provided recommendations to align the information with the requirements of the Town Code. The applicant submitted a revised report dated October 12, 2020 (Exhibit 11), which was deemed sufficient by the Town's Consulting Arborist on February 12, 2021 (Exhibit 12). All recommendations identified in the Arborist Report for the project have been included as performance standards in the draft PD Ordinance (Exhibit 15).

The applicant has provided details of the proposed landscape plan on Sheets LS-1 through LS-13 (Exhibit 15B). Proposed landscape plantings have been separated into two areas: the ground level areas adjacent to the roadways and podium buildings, and the terrace level. The landscape plan includes 242 new trees at the ground level and 131 new trees at the terrace level. Additionally, shrubs, groundcover, and other ornamental plantings are included on both levels, the majority of which are listed as either native or indigenous species, and drought tolerant.

K. Hillside

The subject property is characterized by a hillside setting, but it is not located within the hillside area as defined by the HDS&G. In 2008, the CDAC recognized the hillside context of the site and recommended that the spirit and intent of the HDS&G should be applied (Exhibit 7). In response, the applicant has provided details in the Letter of Justification of how the spirit of the HDS&G has been integrated into the project (Exhibit 8).

The site is located in Sub-area 6 of the Hillside Specific Plan area. The site has served as a senior living facility since 1971 and would continue to do so under the proposed PD. The project includes modernization of the facility, circulation system, and safety characteristics; an increase in the open space area; and would include a similar number of living units, staff levels, and traffic generation to the existing facility. The proposed project is consistent with the provisions of the Hillside Specific Plan.

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SUBJECT: 110 Wood Road/PD-20-001 AND EIR-21-002

JANUARY 7, 2022

DISCUSSION (continued):

L. General Plan

The existing General Plan land use designation is Medium Density Residential. The 2020 General Plan Land Use Element focuses on maintaining a "full-service" Town that provides a range of goods and services that support economic vitality, while limiting adverse impacts on the quality of life of all the residents. The applicant's Letter of Justification provides a detailed discussion of the project's compatibility with the 2020 General Plan including applicable goals, policies, and actions; and compatibility with individual elements (Exhibit 8).

Applicable goals and policies of the 2020 General Plan include, but are not limited to the following:

- Policy HOU-5.3: Work with existing senior lifestyle living and assisted living facilities in Los Gatos, and support the development of new senior housing that includes continuum of care facilities within the Town.
- Policy LU-1.3: To preserve existing trees, natural vegetation, natural topography, riparian corridors and wildlife habitats, and promote high quality, well-designed, environmentally sensitive, and diverse landscaping in new and existing developments.
- Policy LU-6.7: Continue to encourage a variety of housing types and sizes that is balanced throughout the Town and within neighborhoods, and that is also compatible with the character of the surrounding neighborhood.
- Policy CD-1.3: Buildings, landscapes, and hardscapes shall follow the natural contours of the property.
- Policy CD-1.4: Development on all elevations shall be of high quality design and construction, a positive addition to and compatible with the Town's ambiance.
 Development shall enhance the character and unique identity of existing commercial and/or residential neighborhoods.
- Goal CD-4: To preserve existing trees, natural vegetation, natural topography, riparian corridors and wildlife habitats, and promote high quality, well designed, environmentally sensitive, and diverse landscaping in new and existing developments.
- Policy CD-7.1: Maximize quality usable open space in all new developments.

M. Zoning Compliance

The proposed use is not allowed by-right under the base zoning designation of Residential. The proposed project would provide a public benefit to the Town by providing much needed senior housing and continuing care services. One of the stated purposes of a PD in the Town Code is to promote projects that provide a public benefit to the Town. While the proposed project is not consistent with the by-right uses allowed under the base zoning

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SUBJECT: 110 Wood Road/PD-20-001 AND EIR-21-002

JANUARY 7, 2022

DISCUSSION (continued):

designation, it does meet the criteria for a PD overlay by providing a public benefit to the Town through senior housing services and is thus consistent with the Zoning Code.

N. Planned Development Application

The PD application is requesting to replace the existing PD zoning approved in 1968, maintaining the R:PD zoning of the property. The Town Code states that the purpose of a PD is to preserve, enhance, and/or promote:

- The Town's natural and historic resources;
- The production of affordable housing;
- The maximization of open space; and/or
- A project that provides a public benefit to the Town.

The applicant's Letter of Justification provides details on the relationship of the proposed project to the findings required to approve a PD application (Exhibit 8). The Planning Commission shall make a recommendation regarding the merits of the PD application to the Town Council, who will be the final deciding body. If adopted by the Town Council, the proposed PD Ordinance (Exhibit 15) would allow redevelopment of the site including demolition of all existing buildings, construction of a new senior living community, removal of large protected trees, and site improvements requiring a Grading Permit.

O. Environmental Review

An EIR was prepared for the project. As part of the environmental review process a number of technical reports were prepared, including species lists and database reviews, tree evaluations and arborist reports, geotechnical investigations, and traffic analyses. Reports that were prepared by outside consultants were peer reviewed by Town consultants.

The Notice of Preparation (NOP) was distributed on February 1, 2021, for a 30-day comment period. Comments received on the NOP are included as Appendix A to the Draft EIR (Exhibit 1).

The Notice of Completion and Availability for review of the Draft EIR was released on May 28, 2021, with the 45-day public review period ending on July 12, 2021. On June 23, 2021, the Planning Commission held a public hearing to accept comments on the Draft EIR. No comments were received at this meeting. Written comments on the Draft EIR were received from the applicant, one public agency, and three individuals. The Final EIR, with Response to Comments, was completed in August 2021 (Exhibit 2).

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SUBJECT: 110 Wood Road/PD-20-001 AND EIR-21-002

JANUARY 7, 2022

DISCUSSION (continued):

Through the Initial Study/EIR process, no significant and unavoidable impacts were identified. All identified significant impacts that would result from the project can be mitigated to a less-than-significant level through implementation of the Mitigation Monitoring and Reporting Program (MMRP) that has been prepared for the project as required by CEQA (Exhibit 2). The MMRP includes a list of all mitigation measures and the department(s) responsible for ensuring that the mitigation measures are properly implemented. All mitigation measures are included as performance standards within the draft PD Ordinance (Exhibit 15).

PUBLIC COMMENTS:

As detailed in the Letter of Justification, the applicant has been engaged with the surrounding neighborhood, business community, Town officials, and the greater Los Gatos community since 2018 through open house meetings, focus groups, individual in-person and video meetings, and maintenance of a project website (Exhibit 8). The applicant also provided a supplemental community engagement letter summarizing their outreach efforts that have taken place since the Letter of Justification was submitted (Exhibit 13).

Written notice was sent to property owners and tenants within 300 feet of the subject property. Story poles and flagging were installed on the site and certified by a licensed surveyor in coordination with mailing of the written notice. Project signs were also installed at the primary entrance on Wood Road and at the intersection of Farwell Lane and Broadway. Public comments received by 11:00 a.m. on Friday, January 7, 2022, are included as Exhibit 14.

CONCLUSION:

A. Summary

The applicant is proposing a new PD to allow demolition of all existing buildings, construction of a new senior living community, removal of large protected trees, and site improvements requiring a Grading Permit. The senior living community would be restricted to persons age 62 and older, providing 24/7 assisted living services to the residents. The facility would provide coordinated health care services, including 174 independent living units and 17 supporting care units. These proposed services would be similar to the services offered in the previous community that closed in 2019. The proposal would maintain the R:PD zoning of the property and the new PD would provide new performance standards for the project. The project complies with the General Plan, the Planned Development requirements in the Town Code, Hillside Specific Plan, and would provide a public benefit to the Town.

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SUBJECT: 110 Wood Road/PD-20-001 AND EIR-21-002

JANUARY 7, 2022

CONCLUSION (continued):

B. Recommendation

Based on the summary above, if the Commission finds merit in the proposal, the Commission can take the following actions to forward the Final EIR and PD applications to the Town Council, recommending that the Town Council:

- 1. Make the required findings included in Exhibit 4;
- 2. Make the required CEQA Findings of Fact (Exhibit 5), certify the Final EIR (Exhibit 2), and adopt the Mitigation Monitoring and Reporting Program (Exhibit 2); and
- 3. Adopt the Planned Development Ordinance (Exhibit 15) and approve the proposed project.

C. Alternatives

Alternatively, if the Commission has concerns with the proposed project, it can:

- 1. Forward a recommendation for approval of the applications with modified performance standards to the Town Council; or
- 2. Forward a recommendation of denial of the applications to the Town Council; or
- 3. Continue the matter to a date certain with specific direction.

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SUBJECT: 110 Wood Road/PD-20-001 AND EIR-21-002

JANUARY 7, 2022

EXHIBITS:

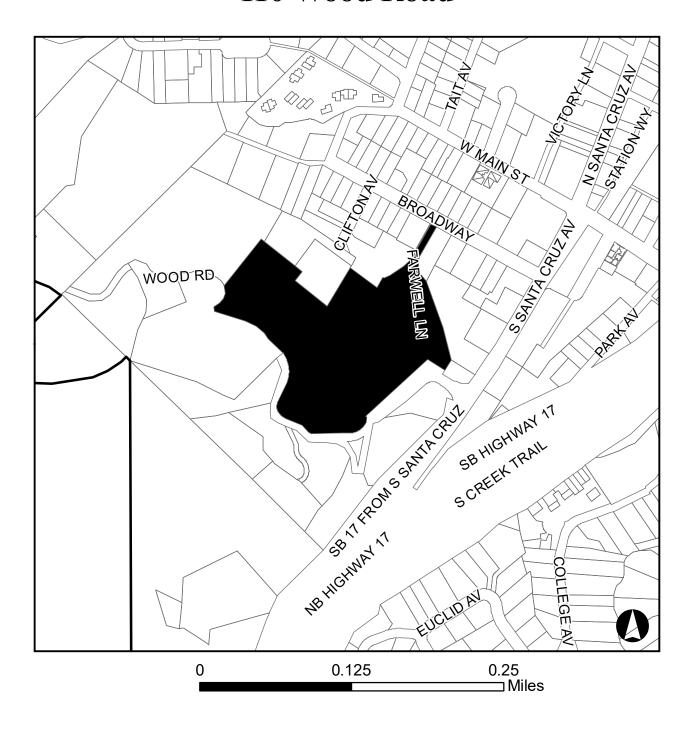
Previously received under separate cover:

- 1. May 2021 Draft Environmental Impact Report (available online at www.losgatosca.gov/110WoodRoad)
- 2. September 2021 Final Environmental Impact Report and Mitigation Monitoring and Reporting Program (available online at www.losgatosca.gov/110WoodRoad)

Received with this Staff Report:

- 3. Location Map
- 4. Required Findings
- 5. Required CEQA Findings of Fact
- 6. Conceptual Development Advisory Committee Staff Report, April 9, 2018
- 7. Conceptual Development Advisory Committee meeting minutes, April 9, 2018
- 8. Project Description and Letter of Justification, January 3, 2022
- 9. Town's Consulting Architect Report, May 8, 2020
- 10. Applicant's response to Town's Consulting Architect recommendations, May 22, 2020
- 11. Arborist Report by Hort Science, October 12, 2020
- 12. Town's Consulting Arborist peer review report, February 12, 2021
- 13. Supplemental community engagement letter, December 9, 2021
- 14. Public comments received by 11:00 a.m., Friday, January 7, 2022
- 15. Planned Development Ordinance with Exhibit A Rezone Area and Exhibit B Development Plans, July 27, 2021

110 Wood Road



This Page Intentionally Left Blank **PLANNING COMMISSION** – January 12, 2022 **REQUIRED FINDINGS FOR:**

110 Wood Road

Planned Development Application PD-20-001 Environmental Impact Report EIR-21-002

Requesting Approval of a Planned Development for Construction of a Senior Living Community, Removal of Large Protected Trees, and Site Improvements Requiring a Grading Permit on Property Zoned R:PD. APN 510-47-038.

APPLICANT: Rockwood Pacific.

PROPERTY OWNER: Covia Communities.

FINDINGS

Required finding for CEQA:

■ An Environmental Impact Report (EIR) was prepared for the proposed development. The Planning Commission recommends that the Town Council make the CEQA Findings of Fact, certify the Final EIR, and adopt the Mitigation Monitoring and Reporting Program.

Required consistency with the Town's General Plan:

■ That the proposed Zone Change is consistent with the General Plan and its Elements in that the proposed development provides much needed senior housing and continuing care services to the Town.

Compliance with Hillside Specific Plan:

■ The project is in compliance with the Hillside Specific Plan in that the site has served as a senior living facility since 1971 and would continue to do so under the proposed PD. The project includes modernization of the facility, circulation system, and safety characteristics; an increase in the open space area; and would include a similar number of living units, staff levels, and traffic generation. The proposal is consistent with the development criteria included in the plan.

Required finding for the adoption of a Planned Development Ordinance:

- As required by Section 29.80.095 of the Town Code for adoption of a Planned Development Ordinance:
 - 1. The proposed Planned Development complies with Chapter 29, Article VIII, Division 2 of the Town Code.

EXHIBIT 4

- 2. The proposed Planned Development is consistent with the General Plan in that the development provides much needed senior housing and continuing care services to the Town.
- 3. The proposed Planned Development is consistent with the Hillside Specific Plan in that the project includes modernization of the existing facility, circulation system, and safety characteristics; an increase in the open space area; and would include a similar number of living units, staff levels, and traffic generation to the existing facility.
- 4. The proposal is consistent with the development criteria included in the plan. The Planned Development Ordinance provides a public benefit to the Town by providing much needed senior housing and continuing care services.

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DRAFT CEQA FINDINGS OF FACT

for

110 Wood Road – Los Gatos Meadows Senior Living Community

Planned Development Application PD-20-001 SCH # 2021020007



Town Council
Town of Los Gatos

October 2021

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I. INTRODUCTION

The Draft EIR prepared for the 110 Wood Road - Los Gatos Meadows Senior Living Community Project (also referred to as the Project or proposed Project) identified several potentially significant environmental effects that the proposed project may cause. All of these significant effects can be fully avoided through the adoption of feasible mitigation measures. Pursuant to Title 14, California Code of Regulations, Section 15090, the Town Council of Los Gatos (Council) hereby certifies that the Final Environmental Impact Report (Final EIR) for the 110 Wood Road - Los Gatos Meadows Senior Living Community project (proposed Project) has been completed in compliance with the California Environmental Quality Act, Public Resources Code (PRC) Section 21000 et seq. (CEQA), that the Final EIR was presented to the Council, and that the Council has reviewed and considered the information contained in the Final EIR prior to approving the proposed Project, as set forth below. As part of this certification, the Council hereby finds that the Final EIR reflects the independent judgment and analysis of the Council and approves the Final EIR.

II. ENVIRONMENTAL REVIEW PROCESS

CEQA (PRC Section 21000 et seq.) requires state and local government agencies to consider the environmental consequences of projects for which they have discretionary authority. This document, which has been prepared in compliance with the requirements of CEQA and the CEQA Guidelines (California Code of Regulations Title 14 Section 15000 et seq.), sets forth the findings of the Town of Los Gatos (Town), the lead agency under CEQA, regarding the 110 Wood Road – Los Gatos Meadows Senior Living Community project.

The primary source for this document is the Final Environmental Impact Report (Final EIR; SCH #2021020007) for the proposed Project, and the documents that have been incorporated into the Final EIR directly or by reference. Full descriptions of the proposed Project, associated environmental impacts, mitigation measures, Project alternatives, a Mitigation Monitoring and Reporting Program (MMRP) for the proposed Project, and other features required under CEQA are contained in the Final EIR itself.

To determine the scope of the EIR, the Town prepared a Notice of Preparation. On February 4, 2021, the Notice of Preparation (NOP) for the proposed Project were distributed to trustee and responsible agencies, members of the public, other interested parties, and the California Office of Planning and Research, State Clearinghouse. This began the 30-day public review period, which ended on March 8, 2021. These comments were considered during the preparation of the Draft EIR (see below) and are included in their entirety in Appendix A to that document.

The Draft EIR, with an accompanying Notice of Completion (NOC), was circulated to the State Clearinghouse, trustee agencies, responsible agencies, other government agencies, and interested members of the public for a 45-day review period, extending from May 28, 2021 through July 12, 2021. On June 23, 2021, the Town of Los Gatos Planning Commission held a public hearing to receive oral comment on the Draft EIR.

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Comments on the Draft EIR, a list of commenters, and the Town's responses to comments are contained in the Final EIR, dated August 2021. Pursuant to CEQA Guidelines §15088(b), the Final EIR was made available for review by trustee and responsible agencies that provided written comments on the Draft EIR for a 10-day period from September 3, 2021 through September 13, 2021

The Final EIR for the Project consists of the following:

- A. Draft Environmental Impact Report ("Draft EIR"), issued May 28, 2021;
- B. All appendices to the Draft EIR;
- C. Final EIR, dated August 2021, containing all written comments and responses on the Draft EIR, refinements and clarifications to the Draft EIR, the MMRP, and technical appendices;
- D. All of the comments and staff responses entered into the record orally and in writing, as well as accompanying technical memoranda or evidence entered into the record.

The Final EIR did not provide any significant new information regarding proposed Project or cumulative impacts or mitigation measures beyond that contained in the Draft EIR.

In conformance with CEQA, the Town has taken the following actions in relation to the EIR:

- A. On January 12, 2022, the Planning Commission conducted a duly and properly noticed public hearing on the Project and the EIR, and recommended that the Town Council certify the EIR and approve the redevelopment of the 10.84-acre site with a senior living community that would replace the existing Los Gatos Meadows senior living community. The project would include 174 independent residential apartments plus 17 supporting care units. The project, a Continuing Care Retirement Community (CCRC), would be licensed as a Residential Care Facility for the Elderly (RCFE) under the California Department of Social Services. The project would be restricted to persons age 62 and older and would provide 24/7 assisted living services to the residents. The project would provide coordinated health care services, including 17 supporting care units. These proposed services would be similar to the use offered in the previous community.
- B. On DATE TBD, at a duly and properly noticed public hearing, the Town Council certified the EIR and adopted findings, Mitigation Monitoring and Reporting Program related to the Planned Development application filed by the applicant requesting a "Planned Development" overlay be applied to the site's existing "Residential Planned Development" zoning designation.

III. PROJECT DESCRIPTION

A. Project Location and Current Use

The project site is located at 110 Wood Road in the Town of Los Gatos. The property is accessed directly off Wood Road (via South Santa Cruz Avenue). The project site's Assessor's parcel number is 510-47-038, and is generally located between single family residences along Broadway to the northeast and Wood Road to the south. The site is zoned "Residential Planned Development (R:PD)" and has a General Plan land use designation of Medium Density Residential. The General Plan land use designation of Medium Density Residential allows for a maximum density of 12 dwelling units per acre. A senior living community has been operating on the site since 1971 with 10 residential buildings and other support facilities and amenities. The site has three access points: two from the south off of Wood Road and one from the north via a driveway (referred to as Farwell Lane) connecting with Broadway. The facility has been closed since February 2019, after a rigorous facilities assessment concluded that continuing operations of the facility in its present form presented too great a risk to its residents. Although the facility has completed the closure process, the facility continues to be staffed to provide on-going maintenance and security of the property.

B. Project Objectives

The objective of the proposed project is to approve a new/updated Planned Development (PD) to rebuild a state-of-the art senior living community on a 10.84-acre site consistent with the *Town of Los Gatos 2020 General Plan*, Town of Los Gatos zoning code and in the spirit of the *Town of Los Gatos Hillside Design Standards and Guidelines*.

C. Project Characteristics

The Project applicant is requesting approval of the following:

Planned Development (PD) Overlay permit (PD-20-001)

A Planned Development application has been filed by the applicant requesting a "Planned Development" overlay be applied to the site's existing "Residential Planned Development" zoning designation. A subsequent Architecture and Site application will be required if the Planned Development application is approved by the Town Council. In accordance with Town Code Section 29.20.140(d), the Architecture and Site approval is required for purposes of approving the development plan for the new senior living community to ensure conformance with Town regulations related to the height, width, shape, proportion, siting, exterior construction and design of buildings and to ensure that they are architecturally compatible with their surroundings.

IV. SIGNIFICANT EFFECTS AND MITIGATION MEASURES

The Final EIR analyzed proposed Project impacts in the following six environmental topic areas: Air Quality, Biological Resources, Cultural Resources, Geology and Soils, Hazards and Hazardous Materials, and Wildfire Hazards. With implementation of proposed Project-specific

mitigation measures, potentially significant impacts would be reduced to less than significant impacts.

The following discussion elaborates on potentially significant impacts identified in the 110 Wood Road – Los Gatos Meadows Senior Living Community Final EIR and mitigation measures proposed for those impacts.

A. Air Quality

1. Potentially Significant Impacts Reduced to Less Than Significant Levels

Impact 6-5: Construction Activity Would Expose Sensitive Receptors to Toxic Air Contaminants

Sensitive receptors within 1,000 feet of construction activities would be exposed to construction TAC emissions volumes that exceed the air district significance thresholds for infant/child cancer risks and PM2.5 concentrations. These are significant impacts. Implementation of the following Mitigation Measures would reduce the impact to a less-than-significant level.

Mitigation Measures:

Mitigation Measure 6-5a During construction, the project contractor shall implement the following measures to reduce emissions of fugitive dust and engine exhaust DPM, subject to review and approval by the Community Development Director. These measures shall be included in the project plans, prior to issuance of a demolition permit:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered three (3) times per day and at a frequency adequate to maintain minimum soil moisture of 12 percent. Moisture content can be verified by lab samples or moisture probe;
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered:
- c. Avoid tracking visible soil material on to public roadways by employing the following measures if necessary: (1) Site accesses to a distance of 100 feet from public paved roads shall be treated with a 6 to 12-inch compacted layer of wood chips, mulch, or gravel and (2) washing truck tires and construction equipment prior to leaving the site:
- All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited;
- e. All vehicle speeds on unpaved roads shall be limited to five (5) mph;
- f. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used;
- g. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five (5) minutes (as required by the California

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- airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points;
- h. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation;
- All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed 20 mph and visible dust extends beyond site boundaries;
- j. Wind breaks (e.g., trees, fences) shall be installed on the windward side(s) of actively disturbed areas of construction adjacent to sensitive receptors. Wind breaks should have no greater than 50 percent air porosity;
- k. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established;
- I. The simultaneous occurrence of excavation, grading, and ground-disturbing construction activities on the same area at any one time shall be limited. Activities shall be phased to reduce the amount of disturbed surfaces at any one time; and
- m. Post a publicly visible sign with the telephone number and person to contact at the Town of Los Gatos regarding dust complaints. This person shall respond and take corrective action within 48 hours. The air district's phone number shall also be visible to ensure compliance with applicable regulations.

Mitigation Measure 6-5b Prior to the issuance of the demolition permit, the project developer shall prepare, and the project contractor shall implement, a demolition and construction emissions avoidance and reduction plan demonstrating a 78 percent reduction of DPM emissions and a 60 percent reduction of PM2.5 exposures at the MEI to meet the air district's risk thresholds.

The plan shall be prepared prior to the issuance of a demolition permit and shall be reviewed and approved by the Community Development Director. The plan shall be accompanied by a letter signed by a qualified air quality specialist, verifying the equipment included in the plan meets the standards set forth in this mitigation measure. The plan shall include the following measures:

- a. All mobile diesel-powered off-road equipment operating on-site for more than two days and larger than 50 horsepower shall, at a minimum, meet U.S. Environmental Protection Agency (EPA) particulate matter emissions standards for Tier III engines or better. Prior to the issuance of any demolition permits, the project applicant shall submit specifications of the equipment to be used during construction and confirmation this requirement is met;
- Use alternatively fueled equipment or equipment with zero emissions (i.e., aerial lifts, forklifts, and air compressors, etc., shall be either electrified or fueled by liquefied natural gas/propane);
- c. Provide line power to the site during the early phases of construction to minimize the use of diesel-powered stationary equipment, such as generators; and
- d. Other demonstrable measures identified by the developer that reduce emissions and avoid or minimize exposures to the affected sensitive receptors.

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Finding

All of the proposed Project specific environmental impacts on air quality will be reduced to less than significant with the implementation of the proposed mitigation measures.

Mitigation Measures: 6-5a and 6-5b

Changes or alterations have been required in, or incorporated into, the proposed Project, which avoid or substantially lessen the significant environmental effects as identified in the Final EIR.

B. Biological Resources

1. Potentially Significant Impacts Reduced to Less Than Significant Levels

Impact 7-2: Potential Effect on Candidate, Sensitive, or Special-Status Species (San Francisco Dusky-Footed Woodrat)

If San Francisco dusky-footed woodrat is present within the 0.3 acres of oak/bay woodland or 5.2 acres of mixed woodland within the proposed project impact area, loss or disturbance of woodrats due to midden removal during construction and fire safety activities would be a significant adverse environmental impact. Implementation of the following mitigation measure would reduce the potential impact to a less-than-significant level.

Mitigation Measure 7-2 Prior to issuance of a grading permit, a qualified biologist shall conduct pre-construction surveys for woodrat middens within the development footprint and fire defensible space. These surveys shall be conducted no more than 15 days prior to the start of construction. In the event that construction activities are suspended for 15 consecutive days or longer, these surveys shall be repeated. All woodrat middens shall be flagged for avoidance of direct construction impacts and fire defensible space where feasible. If impacts cannot be avoided, woodrat middens shall be dismantled no more than three days prior to construction activities starting at each midden location. All vegetation and duff materials shall be removed from three feet around the midden prior to dismantling so that the occupants do not attempt to rebuild. Middens are to be slowly dismantled by hand in order to allow any occupants to disperse.

Developers shall be responsible for implementation of this mitigation measure with oversight by the Town of Los Gatos. Compliance with this measure shall be documented by a qualified biologist and submitted to the Town, prior to issuance of a demolition and grading permit.

Impact 7-3. Potential Effect on Candidate, Sensitive, or Special-Status Species (Pallid Bat, Townsend's Big-Eared Bat)

Potential habitat for pallid bat and Townsend's big-eared bat occurs in mature, hollow trees and around structures present within the project site. If special-status bats are present on the site, tree removal and other construction activities could result in the loss of individual animals. This would be a significant adverse environmental impact. Implementation of the

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following mitigation measure would reduce the potential impact to a less-than-significant level.

Mitigation Measure 7-3 Within 14 days prior to tree removal or other construction activities such as a demolition, the project developer shall retain a qualified biologist to conduct a habitat assessment for bats and potential roosting sites in trees to be removed, within structures proposed for demolition, and in trees and structures within 50 feet of the development footprint. In the event that construction activities are suspended for 15 consecutive days or longer, these surveys shall be repeated. These surveys shall include a visual inspection of potential roosting features (bats need not be present) and a search for presence of guano within and 50 feet around the project site. Cavities, crevices, exfoliating bark, and bark fissures that could provide suitable potential nest or roost habitat for bats shall be surveyed. Assumptions can be made on what species is present due to observed visual characteristics along with habitat use, or the bats can be identified to the species level with the use of a bat echolocation detector such as an "Anabat" unit. Potential roosting features found during the survey shall be flagged or marked. Locations off the site to which access is not available may be surveyed from within the site or from public areas.

If no roosting sites or bats are found, a letter report confirming absence shall be submitted by the biologist to the Town of Los Gatos prior to issuance of tree removal and demolition permits and no further mitigation is required.

If bats or roosting sites are found, a letter report and supplemental documents shall be provided by the biologist to the Town of Los Gatos prior to issuance of tree removal and demolition permits and the following monitoring, exclusion, and habitat replacement measures shall be implemented:

- a. If bats are found roosting outside of the nursery season (May 1 through October 1), they shall be evicted as described under (b) below. If bats are found roosting during the nursery season, they shall be monitored to determine if the roost site is a maternal roost. This could occur by either visual inspection of the roost bat pups, if possible, or by monitoring the roost after the adults leave for the night to listen for bat pups. If the roost is determined to not be a maternal roost, then the bats shall be evicted as described under (b) below. Because bat pups cannot leave the roost until they are mature enough, eviction of a maternal roost cannot occur during the nursery season. Therefore, if a maternal roost is present, a 50-foot buffer zone (or different size if determined in consultation with the California Department of Fish and Wildlife) shall be established around the roosting site within which no construction activities including tree removal or structure disturbance shall occur until after the nursery season.
- b. If a non-breeding bat hibernaculum is found in a tree or snag scheduled for removal or on any structures within 50 feet of project disturbance activities, the individuals shall be safely evicted, under the direction of a qualified bat biologist. If preconstruction surveys determine that there are bats present in any trees or structures to be removed, exclusion structures (e.g. one-way doors or similar methods) shall be installed by a qualified biologist. The exclusion structures shall not be placed until the time of year in which young are able to fly, outside of the nursery

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season. Information on placement of exclusion structures shall be provided to the CDFW prior to construction. If needed, other removal methods could include: carefully opening the roosting area in a tree or snag by hand to expose the cavity and opening doors/windows on structures, or creating openings in walls to allow light into the structures. Removal of any trees or snags and disturbance within 50 feet of any structures shall be conducted no earlier than the following day (i.e., at least one night shall be provided between initial roost eviction disturbance and tree removal/disturbance activities). This action will allow bats to leave during dark hours, which increases their chance of finding new roosts with a minimum of potential predation.

c. Bat Mitigation and Monitoring Plan. If roosting habitat is identified, a Bat Mitigation and Monitoring plan will be prepared and implemented to mitigate for the loss of roosting habitat. The plan will include information pertaining to the species of bat and location of the roost, compensatory mitigation for permanent impacts, including specific mitigation ratios and a location of the proposed mitigation area, and monitoring to assess bat use of mitigation areas. The plan will be submitted to CDFW for review and approval prior to the bat eviction activities or the removal of roosting habitat.

Developers shall be responsible for implementation of this mitigation measure with oversight by the Town of Los Gatos. Compliance with this measure shall be documented and submitted to the Town, prior to issuance of grading and demolition permits.

Impact 7-4: Potential Effect on Candidate, Sensitive, or Special-Status Species (Nesting Raptors and Migratory Birds)

If nesting birds protected by state and federal regulations are present on or adjacent to the site during construction activities including vegetation removal and site preparation including building demolition, the proposed project may directly result in loss of active nests, or indirectly result in nest abandonment and thereby cause loss of fertile eggs or nestlings. This would be a significant adverse environmental impact. Implementation of the following mitigation measure would reduce the potential impact to a less-than-significant level.

Mitigation Measure 7-4 Prior to issuance of tree removal, demolition, and grading permits, to avoid impacts to nesting birds during the nesting season (January 15 through September 15), construction activities within or adjacent to the project site boundary that include any tree or vegetation removal, demolition, or ground disturbance (such as grading or grubbing) shall be conducted between September 16 and January 14, which is outside of the bird nesting season. If this type of construction occurs during the bird nesting season, then a qualified biologist shall conduct pre-construction surveys for nesting birds to ensure that no nests would be disturbed during project activities.

If project-related work is scheduled during the nesting season (February 15 to August 30 for small bird species such as passerines; January 15 to September 15 for owls; and February 15 to September 15 for other raptors), or if construction activities are suspended for at least 14 days and recommence during the nesting season, a qualified biologist shall conduct nesting bird surveys.

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- a. Two surveys for active bird nests shall occur within 14 days prior to start of construction, with the final survey conducted within 48 hours prior to construction. Appropriate minimum survey radii surrounding each work area are typically 250 feet for passerines, 500 feet for smaller raptors, and 1,000 feet for larger raptors. Surveys shall be conducted at the appropriate times of day to observe nesting activities. Locations off the site to which access is not available may be surveyed from within the site or from public areas. A report documenting survey results and plan for active bird nest avoidance (if needed) shall be completed by the qualified biologist prior to initiation of construction activities.
- b. If the qualified biologist documents active nests within the project site or in nearby surrounding areas, an appropriate buffer between each nest and active construction shall be established. The buffer shall be clearly marked and maintained until the young have fledged and are foraging independently. Prior to construction, the qualified biologist shall conduct baseline monitoring of each nest to characterize "normal" bird behavior and establish a buffer distance, which allows the birds to exhibit normal behavior. The qualified biologist shall monitor the nesting birds daily during construction activities and increase the buffer if birds show signs of unusual or distressed behavior (e.g. defensive flights and vocalizations, standing up from a brooding position, and/or flying away from the nest). If buffer establishment is not possible, the qualified biologist or construction foreman shall have the authority to cease all construction work in the area until the young have fledged and the nest is no longer active.

Developers shall be responsible for implementation of this mitigation measure with oversight by the Town of Los Gatos. Compliance with this measure shall be documented and submitted to the Town, prior to issuance of tree removal, demolition, and grading permits.

Impact 7-5: Effect on Federally- and State-Protected Wetlands or Waters of the U.S. (Intermittent or Ephemeral Drainage)

The Town of Los Gatos General Plan 2020 requires for all development to "protect wetlands and riparian corridors, including intermittent and ephemeral streams." The on-site drainage feature may also fall under the jurisdiction of the USACE, RWQCB, and/or CDFW. Impacts to jurisdictional wetland and waterway features are considered significant adverse environmental impacts. The following mitigation measures would assure that this potentially significant impact is reduced to less than significant.

Mitigation Measures 7-5aTo avoid impacts to a the potentially jurisdictional drainage feature, a minimum 10-foot setback from the drainage shall be maintained during tree removal, demolition, and construction activities. The drainage and setback area shall be shown on all demolition and construction plans.

Mitigation Measure 7-5b If disturbance will occur within ten feet of the drainage, prior to issuance of a grading permit within the project boundary, the applicant shall retain a qualified biologist to determine the extent of potential wetlands and waterways regulated by the USACE, RWQCB, and CDFW. If the USACE claims jurisdiction, the applicant shall retain a qualified biologist to obtain a Clean Water Act Section 404 Nationwide Permit. If the impacts to the drainage features do not qualify for a Nationwide Permit, the applicant shall proceed

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with the qualified biologist in obtaining an Individual Permit from the USACE. The applicant shall then retain a qualified biologist to coordinate with the RWQCB to obtain a Clean Water Act Section 401 Water Quality Certification. If necessary, the applicant shall also retain a qualified biologist to coordinate with the CDFW to obtain a Streambed Alteration Agreement.

To compensate for temporary and/or permanent impacts to Waters of the U.S. that would be impacted as a result of the proposed project, mitigation shall be provided as required by the regulatory permits. Mitigation would be provided through one of the following mechanisms:

- A Wetland Mitigation and Monitoring Plan shall be developed that will outline mitigation and monitoring obligations for temporary impacts to wetlands and other waters as a result of construction activities. The Wetland Mitigation and Monitoring Plan would include thresholds of success, monitoring and reporting requirements, and site-specific plans to compensate for wetland losses resulting from the project. The Wetland Mitigation and Monitoring Plan shall be submitted to the appropriate regulatory agencies for review and approval during the permit application process.
- To compensate for permanent impacts, the purchase and/or dedication of land to provide suitable wetland restoration or creation shall ensure a no net loss of wetland values or functions. If restoration is available and feasible, a minimum 1:1 mitigation to impact ratio would apply to projects for which mitigation is provided in advance.

Impact 7-6: Damage or Removal of Regulated Trees

The *Arborist Report Update* re-evaluated the potential impacts to trees as a result of the project as shown on the Planning Submittal Set (10/8/2020) and the Preliminary Drainage Plan (6/30/2020). The disposition of each tree is shown in the exhibit attached to the *Arborist Report Update*, and summarized in Table 7-3, Trees Planned for Removal and Preservation, below.

Table 7-3 Trees Planned for Removal and Preservation

	Protected	Large Protected	Total
Trees Planned for Removal	205	8	213
Trees Planned for Preservation	109	9	118

Source: HortScience | Bartlett Consulting 2020

The proposed project could remove up to 213 regulated trees. This would be a significant potential adverse environmental impact. Implementation of the following mitigation measure would reduce the potential impact to a less-than significant level.

Mitigation Measure 7-6 Prior to issuance of a tree removal permit and/or a grading permit, developers shall retain a certified arborist to develop a site-specific tree protection plan for retained trees and supervise the implementation of all proposed tree preservation and protection measures during construction activities, including those measures specified in the 2018 project arborist report and 2020 arborist report update (HortScience Bartlett Consulting). Also, in accordance with the Town's Tree Protection Ordinance, the developer shall obtain a tree removal permit for proposed tree removals on each development lot prior to tree removals and shall install replacement trees in accordance with all mitigation, maintenance, and monitoring requirements specified in the tree removal permit(s) or otherwise required by the Town for project approvals.

Impact 7-8: Effect on Sensitive Natural Communities

Sensitive natural communities potentially present on the site are limited to highly impacted drainage channels and oak woodland. Prior mitigation measures require the developer to determine the extent of potentially regulated drainage channels and regulated trees prior to initiation of ground disturbance or construction activities. To compensate for temporary and/or permanent impacts, mitigation shall be provided as required by regulatory permits. No additional mitigation measures are necessary.

General Plan policies ENV-1.5 and ENV-1.7 prohibit the use of invasive species listed by the California Invasive Plant Council (Cal-IPC) for all new construction and requires new development to use native plants or other appropriate non-invasive plants to reduce maintenance and irrigation costs and the disturbance of adjacent natural habitat. The spread of invasive species is considered a significant potential impact. The following mitigation measure would assure that this potentially significant impact is reduced to less than significant.

Mitigation Measure 7-8 On-site landscaping shall be limited to drought-tolerant species, fire-resistant species, and species capable of increasing soil stability; with preference to plant species endemic to Santa Clara County. Species from the California Invasive Plant Council's (Cal-IPC) Invasive Plant Inventory (Cal-IPC 2020) shall be removed if present and not included in any new landscaping.

The plant palette used for on-site landscaping shall be reviewed and approved by the Town of Los Gatos to confirm no invasive species shall be planted. Evidence of compliance shall be submitted to the Town of Los Gatos prior to occupancy of the residential buildings.

Finding

All of the proposed Project specific environmental impacts related to biological resources will be reduced to less than significant with the implementation of the proposed mitigation measures.

Mitigation Measures: 7-2, 7-3, 7-4, 7-5a, 7-5b, 7-6, and 7-8

Changes or alterations have been required in, or incorporated into, the proposed Project, which avoid or substantially lessen the significant environmental effects as identified in the Final EIR.

C. Cultural Resources

1. Potentially Significant Impacts Reduced to Less Than Significant Levels

Impact 8-2: Potential Destruction of a Unique Paleontological Resource or Site During Construction

While it is possible that unknown unique paleontological resources could be uncovered during site preparation and/or other site disturbance activities, implementation of the following mitigation measure would ensure the impact is less than significant.

Mitigation Measure 8-2 The following measure shall be included in project plans, prior to issuance of a demolition permit:

If paleontological resources are uncovered during demolition, grading or other onsite excavation activities, construction shall stop until appropriate mitigation is implemented, to be approved by the Community Development Director.

Finding

All of the proposed Project specific environmental impacts related to cultural resources will be reduced to less than significant with the implementation of the proposed mitigation measures.

Mitigation Measures: 8-2

Changes or alterations have been required in, or incorporated into, the proposed Project, which avoid or substantially lessen the significant environmental effects as identified in the Final EIR.

D. Geology and Soils

1. Potentially Significant Impacts Reduced to Less Than Significant Levels

Impact Geologic impacts associated with fault surface rupture, expansive soils, and land sliding and slope instability.

The geotechnical report noted several potential geologic impacts that are to be addressed through several design recommendations for the proposed project. These recommendations include, but are not limited to, providing a 25-foot setback from a mapped surface trace of a fault along the eastern edge of the property; underlaying the foundation by ground improvement or deepening the foundation to bedrock to avoid soil instability; removing alluvial fan deposits down to bedrock and replacing with engineering fill along the proposed retaining wall along the eastside of Farwell Lane for a minimum of 15 feet; removing and replacing all undocumented fill; and designing for sufficient reinforcement for slabs-on-grade. Implementation of the following mitigation measures, as articulated in the February 2021 geotechnical peer review conducted by the Town's geotechnical consultant, would ensure potential geologic impacts are reduced to a less-than-significant level.

Mitigation Measure 13-1 The applicant's geotechnical consultant shall review and approve all geotechnical aspects of the development plans, ground improvement plans, shoring design criteria from a geotechnical perspective, and supporting structural details and calculations (i.e., site preparation and grading, site drainage improvements and design parameters for foundations, etc.,) to ensure that their recommendations have been properly incorporated. The project geotechnical consultant should review and approve appropriate performance testing for proposed ground improvement measures.

The results of the geotechnical plan review should be summarized by the project geotechnical consultant in a letter and submitted to the Town Engineer prior to issuance of building permits.

Mitigation Measures 13-2 The geotechnical consultant shall inspect, test and approve all geotechnical aspects of the project construction. The inspections should include, but not necessarily be limited to:

- site preparation and grading;
- ground improvement;
- shoring measures and design;
- site surface and subsurface drainage improvements; and
- excavations for foundations prior to placement of steel and concrete.

In addition, the project engineering geologist shall inspect opened excavations to confirm bedrock conditions are consistent with those anticipated.

The results of these inspections and the as-built conditions of the project, including ground improvement measures and placement of engineered fill, should be described by the

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geotechnical consultant in a letter and submitted to the Town Engineer for review and approval prior to final (as-built) project approval.

Specialty/design-build consultants and contractors (shoring, ground improvement, etc.) shall also submit construction reports confirming satisfactory construction of the specific aspects of the project that they are responsible for.

Finding

All of the proposed Project specific environmental impacts related to geology and soils will be reduced to less than significant with the implementation of the proposed mitigation measures.

Mitigation Measures: 13-1 and 13-2

Changes or alterations have been required in, or incorporated into, the proposed Project, which avoid or substantially lessen the significant environmental effects as identified in the Final EIR.

E. Hazards and Hazardous Materials

1. Potentially Significant Impacts Reduced to Less Than Significant Levels

Impact Hazardous materials impacts associated with exposure or release of asbestos and/or lead-based paint associated with demolition of existing structures.

According to the environmental site assessment, lead-based paint was banned in 1978. The existing senior community was constructed prior to 1978; therefore, lead-based paint may be present in the existing structures on the project site. Lead is a known carcinogen and its release during grading or other ground disturbing activities could pose hazards to public health and safety. This is a potentially significant impact.

Implementation of the following mitigation measure would ensure potential impacts from the release of asbestos and lead-based paint into the environment as a result of demolition activities are reduced to a less-than-significant level.

Mitigation Measure 13-3 The applicant shall consult with Bay Area Air Quality Management District to determine permit requirements. Removal of asbestos-containing building materials is subject to Bay Area Air Quality Management District's Regulation 11, Rule 2: Asbestos Demolition, Renovation and Manufacturing. Release of lead into the atmosphere is subject to Bay Area Air Quality Management District's Regulation 11, Rule 1: Lead.

Prior to the commencement of demolition activities on the site, the applicant shall provide evidence of meeting the permitting requirements of the Bay Area Air Quality Management District, to the satisfaction of the Town of Los Gatos Community Development Department.

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Finding

All of the proposed Project specific environmental impacts related to hazards and hazardous materials will be reduced to less than significant with the implementation of the proposed mitigation measures.

Mitigation Measures: 13-3

Changes or alterations have been required in, or incorporated into, the proposed Project, which avoid or substantially lessen the significant environmental effects as identified in the Final EIR.

F. Wildfire Hazards

1. Potentially Significant Impacts Reduced to Less Than Significant Levels

Impact 12-1: Short-Term Construction-Related Traffic Activity That Has The Potential to Impair an Adopted Emergency Response Plan or Emergency Evacuation Plan

As noted previously, the Town of Los Gatos has, in conjunction with the County of Santa Clara and several other neighboring cities, an adopted EOP, which comprises, along with the 2017 Santa Clara County Operational Area Hazard Mitigation Plan, the entirety of emergency planning activities that governs emergency response and evacuation on and around the project site. Implementation of the proposed project would not interfere with an adopted emergency response or evacuation plan, but construction activities associated with the proposed project could result in short-term, temporary impacts on street traffic because of roadway improvements and potential extension of construction activities into the right-of-way. This could result in a reduction in the number of lanes or temporary closure of certain roadway segments near the project site. While any such impacts would be limited to the construction period and would affect only adjacent streets or intersections, the impact would be potentially significant. Implementation of the following mitigation measure would reduce this impact to a less-than-significant level.

Mitigation Measure 12-1 In order to adequately address any potential conflicts with emergency access or evacuation routes during construction, the applicant shall prepare and implement a site-specific construction traffic management plan for any construction effort that would require work within existing roadways. The traffic management plan shall be prepared and submitted to the Town prior to issuance of demolition permit(s) and shall be prepared to the satisfaction of Town Public Works and County Fire Department staff.

Impact 12-4: Expose People or Structures to Significant Risks, including Downslope or Downstream Flooding or Landslides, as a Result of Runoff, Post-Fire Slope Instability, or Drainage Changes.

As noted in Section 13.0, Effects Not Addressed Further in this EIR, the 2007 Draft Preliminary Geologic and Geotechnical Evaluation for Los Gatos Meadows prepared by Cornerstone Earth

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Group (Appendix F of the Draft EIR), the project site and surrounding areas are moderately steep to steep slope with slope inclination up to 40 degrees and noted that portions of the site are located within a State of California Earthquake-Induced Landslide Hazard Zone. However, the 2020 Geotechnical Investigation and Geologic Hazards Evaluation (geotechnical report) (Appendix F) also prepared by Cornerstone Earth Group, conducted site-specific subsurface explorations which revealed soil characteristics (alluvial fan deposits underlain by shallow bedrock) that would not suggest the existence of previous landslides through the project site. As noted in the geotechnical report, the proposed project would create relatively deep vertical, retained cuts into the terrace that encompass the developed portion of the site. Localized groundwater seepage may be encountered where the cuts intersect the bedrock surface and installing a network of subdrains and water proofing would address this. The geotechnical report also found the proposed grading plan for the project to be acceptable from a safety standpoint with the exception of a lower slope (below proposed structures) area that may experience a lack of stability with the existing alluvial fan deposit soils there. The geotechnical report recommends removal of these alluvial fan deposits at this location down to bedrock to be replaced by engineered fill. Compliance with this recommendation as incorporated in Mitigation Measures 13-1 and 13-2 found in Section 13.0 of this EIR (under discussion of "Geology and Soils") would ensure this potentially significant impact would be reduced to a less-than-significant level.

Finding

All of the proposed Project specific environmental impacts related to wildfire hazards will be reduced to less than significant with the implementation of the proposed mitigation measures.

Mitigation Measures: 12-1, 13-1, and 13-2

Changes or alterations have been required in, or incorporated into, the proposed Project, which avoid or substantially lessen the significant environmental effects as identified in the Final EIR.

V. **PROJECT ALTERNATIVES**

The Final EIR evaluated three alternatives to the proposed Project. These were evaluated based on their ability to (1) reduce the significant impacts of the proposed Project, and (2) attain proposed Project objectives. As described earlier in this findings document, the Project applicant's objectives are to approve a new/updated Planned Development (PD) to rebuild a state-of-the art senior living community on a 10.84-acre site consistent with the Town of Los Gatos 2020 General Plan, Town of Los Gatos zoning code and in the spirit of the Town of Los Gatos Hillside Design Standards and Guidelines.

The alternatives evaluated were:

Alternative 1: No Project – Existing (Closed) Senior Living Community;

- Alternative 2: No Project Residential Project Consistent with the Project Site's General Plan Designation; and
- 3. Alternative 3: Reduced Scale (Removal of Villas B and C from Proposed Site Plan).

A. Alternative 1: No Project Alternative – Existing (Closed) Senior Living Community

This no project alternative investigates if the proposed project were not approved and the existing senior living community facilities were left in place though closed and vacant. The project site is currently developed with 10 residential buildings ranging from one to four stories, which include a total of 205 independent residential apartments and supporting health care units. The existing facility includes a dining and commons building, an infirmary, garage and services building, a multi-purpose building, and two cottages. This alternative does not meet any of the basic project objectives, as it would not allow redevelopment of the project site with a revitalized and enhanced senior living community consistent with the density allowed under the site's existing PD entitlement.

B. Alternative 2: No Project - Residential Project Consistent with the Project Site's General Plan Land Use Designation

This no project alternative investigates what could be reasonably expected to occur on the project site in the foreseeable future if the project were not approved, based on current plans and consistent with available infrastructure and community services. The project site has a General Plan designation of Medium Density Residential. Under this designation, the project site could be developed with a multi-family, duplex, and/or small single-family residential project with a density range of 5 to 12 dwelling units per net acre with up to 24 persons per acre. Conceivably, such a project could include a range of home product types including townhomes, condominiums, and/or apartments. This alternative project considers the site constraints of the 10.84-acre site, much of which is steep, heavily wooded hillside that could not reasonably accommodate residential buildings. To determine a probable number of Medium Density Residential dwelling units that the site could accommodate, this alternative utilizes approximately 50 percent of the total net acreage or approximately 5.42 acres. Therefore, a Medium Density Residential project with a maximum of 65 units would be possible. Assuming an average of 2.51 persons per household (U.S. Census 2021), such a project would result in 163 new residents, substantially less than the 233 total residents anticipated as part of the proposed project. This alternative does not meet any of the basic project objectives, as it would not allow redevelopment of the project site with a revitalized and enhanced senior living community consistent with the density allowed under the site's existing PD entitlement.

C. Alternative 3: Reduced Scale - Removal of Villas B and C from Proposed Site Plan

The reduced scale alternative ("reduced scale alternative") consists of a reduction in development capacity sufficient to avoid or reduce significant, but mitigable, impacts associated with grading and removal of trees required to accommodate Villas B and C and a

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corresponding area of the grade level below on the northwestern corner of the proposed site plan. The reduced scale alternative would reduce the number of living units by 20 units (Villa B) and 29 units (Villa C), for a total reduction of 49 units, and would result in the reduction of approximately 98,374 square feet of floor space in Villas B and C, approximately 26,000 square feet of floor space from the grade level including portions of the health center, and approximately 26,000 square feet of developed area (building footprints). In addition, this alternative could result in removing approximately 62 fewer trees. Removal of Villa B (70.5 feet in height) and Villa C (81.5 feet in height) would also help reduce visual impacts associated with scenic views from downtown Los Gatos towards the project site and scenic hillside areas beyond as these two buildings would be two of the most publicly visible buildings from multiple vantage points.

D. Environmentally Superior Alternative

Based on a comparison of the impacts of each alternative, Alternative 1, the no project alternative is the environmentally superior alternative. It would avoid all of the project's less-than-significant impacts, and significant but mitigable impacts. However, this alternative would not meet the project objectives.

CEQA Guidelines section 15126.6(e)(2) states that if the environmentally superior alternative is the "no project" alternative, the EIR shall also identify an environmentally superior alternative among the other alternatives. Alternative 3, the Reduced Scale alternative, is considered to be the environmentally superior alternative among the remaining alternatives. It is the only alternative that could accomplish some of the basic project objectives while minimally reducing some of the less-than-significant and/or significant and mitigable environmental impacts identified for the proposed project.

VI. MITIGATION MONITORING AND REPORTING PROGRAM

The Town Council recognizes that any approval of the proposed Project would require concurrent approval of a Mitigation Monitoring and Reporting Program (MMRP), which ensures performance of identified mitigation measures. Such an MMRP would need to identify the entity responsible for monitoring and implementation, and the timing of such activities. The Town will use the MMRP to track compliance with proposed Project mitigation measures. The MMRP will remain available for public review during the compliance period. The MMRP is included as part of the Final EIR, and is hereby incorporated by reference.

VII. RECORD OF THE PROCEEDINGS

The documents and other materials that constitute the record of proceedings on which the Council bases the Findings are located at the Community Development Department, 110 East Main Street, Los Gatos, California 95030. The custodian for these documents and materials that constitute the record is the Town of Los Gatos Community Development Department. This information is provided in compliance with Public Resources Code Section 21081.6(a)(2) and Title 14 California Code of Regulations (CEQA Guidelines) Section 15091(e).

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The environmental analysis provided in the EIR and these findings are based on and are supported by the following documents, materials and other evidence, which constitute the administrative record for the approval of the Project:

- A. All application materials for the Project and supporting documents submitted by the applicant, including but not limited to those materials constituting the Project and listed in Section III of these findings.
- B. The NOP, comments received on the NOP and all other public notices issued by the Town in relation to the EIR (e.g., Notice of Availability).
- C. The Draft EIR, the Final EIR, all appendices to any part of the EIR, all technical materials cited in any part of the EIR, comment letters, oral testimony, responses to comments, as well as all of the comments and staff responses entered into the record orally and in writing between May 28, 2021 to July 12, 2021.
- D. All non-draft and/or non-confidential reports and memoranda prepared by the Town and consultants related to the EIR, its analysis and findings.
- E. Minutes and transcripts of the discussions regarding the Project and/or Project components at public hearings or scoping meetings held by the Planning Commission and the Town Council.
- G. Staff reports associated with Planning Commission and Council Meetings on the Project and supporting technical memoranda and any letters or other material submitted into the record by any party.
- H. Matters of common knowledge to the Planning Commission and Town Council which they consider, such as the Los Gatos General Plan, any other applicable specific plans or other similar plans, and the Los Gatos Municipal Code.

VII. SUMMARY

- A. Based on substantial evidence in the foregoing Findings and in the information contained in the record, the Town Council has made the following findings with respect to each of the significant effects of the proposed Project identified in the Final EIR:
 - 1. Changes or alterations have been required in, or incorporated into, the proposed Project which avoid or substantially lessen the significant environmental effect on the environment.
 - 2. Based on the foregoing Findings and the information contained in the record, it is determined that:

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All significant effects on the environment due to the approval of the proposed Project have been eliminated or substantially lessened where feasible.



MEMORANDUM

COMMUNITY DEVELOPMENT DEPARTMENT

To:

Conceptual Development Advisory Committee

From:

Bud Lortz, Community Development Director

Subject:

Los Gatos Meadows—110 Wood Road

Date:

April 9, 2008

Project Description:

Episcopal Senior Communities has submitted a conceptual site plan for redevelopment of the Los Gatos Meadows site at 110 Wood Road. The site contains 10.6 acres. The applicant proposes to demolish the existing senior community to construct a larger facility with 256 units/beds as follows:

- 192 Independent Living
- 48 Assisted Living
- 16 Memory Assisted Living

The project will range in height from two to five stories above a multi-level parking garage. The following chart compares the existing and proposed projects:

	Existing Project	Proposed Project
Total Units/Beds	222	256
Independent Living Units	184	192
Assisted Living Units/Beds	39	48
Memory Care Units/Beds	0	16
Stories	1 to 4	2 to 5
Building Square Footage	163,825	454,815
Parking Spaces	111	350

The applicant's letter (Attachment 1) states that the existing Planned Development allows for 39 skilled nursing beds. Given the age of the files, staff has not been able to confirm this number to date. The applicant has provided a packet of illustrative drawings and photomontages for the Committee's consideration (Attachment 2).

General Plan and Zoning:

The General Plan designation is Medium Density Residential (5-12 du/ac). The current zoning designation is R:PD (Residential-Planned Development). Redevelopment of the site will require an amendment to the Planned Development zoning.

The site abuts Wood Road, west of South Santa Cruz Avenue (Sheet 1 of Attachment 2). Primary access to the site is from Wood Road. A secondary driveway provides access to Broadway. The site primarily abuts residential uses except to the east, where commercial uses exist.

The property has a substantial topography. The site rises roughly 180 feet in elevation from the southeast to the northwest and rises roughly 90 feet across the portion of the site where the new buildings are proposed.

Background:

The Town Council approved the Planned Development Ordinance for the existing project in January 1968. The Meadows opened in 1971. Data on the existing project is contained in the chart on Page 1.

Potential Issues:

The applicant has submitted a conceptual site plan, sections, and elevations to illustrate their development proposal (Sheets 3-5 of Attachment 2). The following is a brief list of issues and topics for CDAC. Staff has not reached conclusions on these topics but provides them to help frame the discussion and to solicit input.

1. General Plan Density:

- a. The General Plan currently designates the site for residential uses with a density range of 5-12 dwelling unit per acre (du/ac), which would permit a maximum of 127 units on the site. A General Plan Amendment to High Density Residential (12-20 du/ac) will be required.
- b. With the General Plan Amendment, the maximum number of units would be 212. The applicant proposes 256 units; however, 192 units are for fully independent living and the remainder have some level of assistance. Is this consistent with the General Plan density range?
- c. The General Plan Housing Element does allow for up to a 100% density bonus for senior housing projects.

2. Scale of Development:

- a. Height of buildings is a concern.
 - i. Buildings of up to five stories are proposed (the applicant states the section drawing on Sheet 4 showing six stories is an error).
 - ii. The buildings are on top of the parking structure, portions of which may be above grade, thereby increasing the height.

b. Scale of project:

- i. The existing Meadows complex contains 163,000 square feet of space; roughly 455,000 square feet are proposed.
- ii. The overall footprint of the proposal is similar to the existing complex with two exceptions. First, structures are now setback farther from the eastern property line. Second, a building is proposed toward the western portion of the site which is higher in elevation than the current complex.

c. Visibility of project:

- i. The existing complex has minimal visibility to the Town as a whole despite its size. The applicant has submitted a photomontage of the existing and proposed views from East Main Street (Sheets 10 and 11). The proposed project would be significantly more visible.
- ii. Additional study will be needed to determine if it will be visible from other areas of Town.

3. Hillside Setting:

- a. Although the site is located in a hillside setting, the site is not within the Town-designated Hillside Area to which the Hillside Development Standards and Guidelines (HDS&G) apply. The Hillside Area begins at the centerline of Wood Road and extends to the south and west of the site. This site was specifically not included in the Hillside Area because the HDS&G were developed to address single family homes.
- b. Should the HDS&G be used as a reference in evaluating this project? The Guidelines were not developed to address a project such as this, but could used as guidance to ensure the project is designed in a manner that is sensitive to the hillside environment and reflects the Town's values.

4. Architectural Character:

- a. The applicant letter states the project will be designed in a Craftsman style. The buildings will step with the topography and will have a variety of roof elements and wall planes to break-up the mass of the structures.
- b. In addition to the elevations, the applicant has provided sheets with architectural images that reflect the design theme of the project. CDAC should provide input to the applicant on the architectural character of the project.

5. Green Building:

The applicant states the project will include numerous green building and sustainability measures. Will LEED certification be pursued?

6. Environmental Impacts:

The following potential impacts will be evaluated in detail through the development and environmental review processes:

- Traffic
- Parking
- Grading
- Trees
- Aesthetics and Visibility
- Biologic

7. BMP Units:

BMP units will need to be provided with the project. The Town Code requires that 20% of the units be affordable to low and very low incomes.

8. Phasing/Relocation:

- a. Will redevelopment of the site (and relocation of current residence) occur in phases?
- b. What are the applicant's plans on relocation of the residents?

Role of the CDAC:

The Conceptual Development Advisory Committee was formed to advise a prospective applicant on the consistency of a project with Town policies prior to submitting a formal application and initiating an expensive and time-consuming development review process. The Committee also endeavors to identify and list the problems and issues that will need to be addressed during the development review process should the applicant wish to submit an application. The issues and problems identified by the Committee are not intended to be all-inclusive and many additional issues may be identified during the formal development review process. None of the Committee's comments are binding on the Town and in no way are intended to indicate whether the project will be received favorably by the various review bodies that are charged with evaluating and deciding the application. Public input is a required and essential component in considering and deciding an application and that input will strongly influence the outcome of the application. All applicants are strongly encouraged to hold neighborhood meetings to receive input as the design of the project is evolved should they decide to proceed with the development review process.

Attachments:

- 1. Location Map
- 2. Applicant's Letter
- 3. Project Information

Distribution:

Kevin J. Gerber, Episcopal Senior Communities, 3650 Mt. Diablo Blvd., Suite 100, Lafayette, CA 94549

Cynthia James, Morley Bros., LLC, 99 Almaden Blvd., Suite 720, San Jose, CA 95113

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TOWN OF LOS GATOS 110 East Main Street, Los Gatos, CA 95032 (408) 354-6872

SUMMARY OF DISCUSSION OF A REGULAR MEETING OF THE **CONCEPTUAL DEVELOPMENT ADVISORY COMMITTEE** OF THE TOWN OF LOS GATOS FOR APRIL 9, 2008, HELD IN THE TOWN COUNCIL CHAMBERS, CIVIC CENTER, 110 EAST MAIN STREET, LOS GATOS, CALIFORNIA.

The meeting was called to order at 4:30 P.M.

ATTENDANCE

Members Present: Absences:

Barbara Spector Mike Wasserman (replaced by Diane McNutt)

Diane McNutt Marico Sayoc

Stephen Rice Joanne Talesfore

Staff Present: Bud Lortz, Director of Community Development; Randy Tsuda, Assistant

Director of Community Development

ITEM 1: 110 Wood Road

Conceptual Development Application CD-08-002

Requesting preliminary review of an amendment to a Planned Development to demolish an existing senior complex (Los Gatos Meadows) to construct a new 455,000 square foot senior continuing care complex with a total of 256 units on a

property zoned R:PD. APN 510-47-038

PROPERTY OWNER/APPLICANT: Episcopal Senior Communities

Comments:

General Comments:

- There is clearly a need to modernize and improve the Los Gatos Meadows complex. The Committee believes it is possible to design a successful project.
- Senior housing should be regarded as an essential service to the Town. There is a great need for this type of project.
- The challenge will be how to evaluate a unique project such as this.
- The walkability of the Farwell Lane connection should be improved. The current connection is overly steep for seniors.
- The applicant should clarify how the project will be phased and how existing residents will be accommodated. Applicant should provide a narrative explaining their relocation strategy. Residents should not be displaced unless it is supported by the residents.
- Below Market Price units should be provided.
- Project should obtain LEED certification.

Conceptual Development Advisory Committee—Summary of Discussion Meeting of April 9, 2008

Page 2

Height and Visibility:

- The Committee expressed significant concerns with the height, visibility and mass of the project. Do not want the project to loom over Downtown.
- Four stories may be acceptable is visibility is addressed.
- The existing project, while large, is hidden from the Town.
- Consolidation of the buildings is good.
- Buildings should be stepped with the hillside.
- The garages should be pushed below grade.
- The use of technology to illustrate the visibility of the project was appreciated. It will be necessary to clearly illustrate the visibility of the project.

Architecture:

- Not sure if the architecture fits with the Town.
- Design theme is attractive but does not trump concerns with height and mass.

Hillside Development Standards & Guidelines:

- The Hillside Development Standards & Guidelines (HDS&G) cannot be directly applied; the Guidelines were developed for single family homes.
- The spirit and intent of the Guidelines should be applied.

Impacts:

- Concerns with traffic, both from the project and construction-related traffic.
- Concerns with grading and tree impacts.

ADJOURNMENT Meeting adjourned at 5:25 p.m. The next regular meeting of the Conceptual Development Advisory Committee is Wednesday, May 14, 2008.

Prepared by:

Bud N. Lortz, Director of Community Development

cc: Planning Commission Chair

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January 6, 2022

Ms. Melanie Hanssen, Chair Los Gatos Planning Commission Town of Los Gatos 110 E. Main Street Los Gatos, CA 95030

RE: Letter of Justification Rebuild of Los Gatos Meadows

Dear Ms. Hanssen:

Included in this letter is the justification for the efforts of Covia Communities to rebuild Los Gatos Meadows (the "project"), the 10.84-acre site located at 110 Wood Road (APN 510-47-038) at the intersection of Wood Road and S. Santa Cruz Avenue in Los Gatos.

Due to the amount of material covered, for ease of navigation, this letter has been organized by major topics. We have also attached the following documents to assist in your review:

- Listing of specific applicable goals/policies in the Los Gatos 2020 General Plan Related to the Project (Appendix A);
- Planned Development Ordinance Findings (Appendix B);
- Project Compatibility with General Plan and Zoning Code (Appendix C);
- Listing of Meetings with Neighbors and Community (Appendix D); and
- Listing of Communications (Appendix E).

I. Overview of the Process

Our Los Gatos Meadows rebuild efforts were initiated in 2008. We engaged in preliminary review with Town Staff and the Conceptual Development Advisory Committee ("CDAC") during this time. As such our justification letter includes responses to comments we received at the "CDAC" and Town Staff review meetings held in 2008. Shortly following these meetings, Covia made the difficult decision to put the project on-hold given uncertain economic and market conditions stemming from the Great Recession. From 2008-2018, the project was inactive.

In 2018, Covia re-initiated discussions with the Town staff about proceeding with redevelopment of the project site. Other than the declining physical condition of its buildings, no substantive site conditions had changed, and no further site planning had commenced since 2008. Site development topics and challenges identified by Town Staff and CDAC are as similar today as those expressed in 2008. Thus, re-initiation focused on respectfully addressing applicable prior CDAC and Town Staff comments; picking up where we left off, and not starting the process anew.¹

To this end, we have spent the last three years participating in community outreach efforts with our former residents, neighbors, stakeholders, local business community members, and community residents to understand the concerns and needs specific to senior housing on this site (see Appendix D and E for details). Covia Communities has carefully considered and integrated this input as we have developed our site plan to rebuild Los Gatos Meadows. Furthermore, we have focused on how our project complies with the Town's 2020 General Plan, the Sustainability Plan (2012), and the direction of the current General Plan Update process (2040).

Responses to CDAC Feedback on Prior Site Proposals

In 2008, when rebuild efforts were initiated, Covia met with the Town Planning Staff and CDAC Committee Members. This allowed for introduction, exploration, and feedback of the proposed rebuild project, creating an open discussion for comments and concerns. During the CDAC meeting, the committee members provided valuable feedback regarding project compatibility with the General Plan, building height and massing, architectural design, impacts on trees, and construction impacts. The feedback on these items was taken with great seriousness and the project has since been redesigned in accordance with the committee's concerns.

Specifically, the CDAC recognized the need to modernize the Los Gatos Meadows complex and supported the senior residential use of the facility. The CDAC hoped to improve the walkability of the Farwell Lane connection, since the current connection is overly steep for seniors. As part of the project, Covia has included an autonomous vehicle alternative transportation solution as the means by which to address the steep slope at Farwell Lane, while enhancing connectivity and mobility between Los Gatos Meadows and Broadway. This project feature enables both safe and convenient access for residents to connect to downtown Los Gatos. The project would also incorporate a below grade parking level, a reflection of the CDAC comments regarding potential parking garages. The CDAC also expressed concerns with traffic. Covia has studied the site circulation and access accordingly, and as a result has made some substantial modifications to site circulation and parking. The proposed site plan

¹ CDAC recommended that the project include below market price units. In our assessment, California Health and Safety Code section 1569.147(b) is applicable to the proposed rebuild project and prohibits the imposition of rent regulations or controls for licensed care facilities for the elderly. Furthermore, we note the current proposal does not involve an increase in the number of units or staffing levels above those reflected in the current entitlements, and therefore does not result in impacts generating an increased need for affordable housing.

provides for an efficient on-site circulation pattern and increases the availability of parking to minimize the likelihood of spillover parking onto neighboring streets.

While the property is not located in the area subject to the hillside ordinance, the CDAC suggested that the spirit and intent of the hillside guidelines should be applied within the design of the project. To that end, the project would result in the reduction of the development pad of over a fifth of an acre and a corresponding increase in overall open space (from 75.4% to 77.5% of the project site), which would generally be consistent with the hillside design guidelines. In addition to this, the proposed buildings would not be visible from any viewing platforms and would be stepped with the hillside slope, limiting overall visual impacts throughout the Town of Los Gatos. The project would align building roof lines with the contour of the hill and incorporate smaller roof components, minimizing the contrast between buildings and the existing environment. The project would also conserve the natural features of the topography. To that end, the project would have generous replacement of mature trees and vegetation and would use natural materials for drainage and retaining walls.

Additional Outreach

Since re-initiating our rebuilding efforts in 2018, there have been several meetings with various Planning and Public Works staff to clarify and confirm the proposed architectural concepts and treatment of off- and on-site conditions, and to address specific technical challenges.

In March of 2018, the project team hosted the first of eight neighborhood open house meetings at Los Gatos Meadows to inform neighbors about the rebuilding process and to solicit their input and feedback. To further facilitate dissemination of information to the community, the project team produced a video summary update and circulated the link to this video update. The video update can be accessed from the Los Gatos Meadows page of the Covia web site: https://covia.org/los-gatos-meadows/

From 2018 through early 2021, the project team met with each council member at least once. Furthermore, in the spirit of community engagement and to commence the development of a "Town Integration" project, over the last two years, the project team has conducted over twenty in-person meetings with local businesses, associations, and interest groups (see Appendix D and E for details). Feedback from neighbors, council members, and other community leaders included concerns and comments on building/site design, parking and circulation, visual impacts, and safety, which were accounted for during the formation of the site plan and project. The project design reflects the concerns of not only the Town, but also the broader Los Gatos community.

II. Summary of Key Proposed Project Attributes

The proposed rebuild project involves the redevelopment of the 10.84-acre site with a senior living community that would replace the existing Los Gatos Meadows senior living community. The project would include a total of 174 independent residential apartments plus 17 supporting care units. The project, a Continuing Care Retirement Community (CCRC), will be licensed as a Residential Care Facility for the Elderly (RCFE) under the California Department of Social Services. The project would be restricted to persons age 62 and older

and would provide 24/7 assisted living services to the residents. The project would provide coordinated health care services, including 17 supporting care units. These proposed services would be similar to the use offered in the previous community. An estimated 120 full time equivalent (FTE) employees would be anticipated with the project; this is commensurate with the number of employees onsite prior to the closure of the facility in late 2019.

Site improvements would include on-site amenity areas, an enhanced fire access (loop) road, parking, new landscaping, a variety of energy efficient and sustainable interior and exterior building elements and improved emergency access.

Parking for residents, staff, and visitors would be provided within a new structure which would include 78 standard, non-tandem parking spaces of which approximately 30 would be near the garage entrance and the balance on the main parking level. All surface parking is proposed to be eliminated, improving fire circulation. If needed, Covia would be able to increase the parking capacity to 220 spaces by implementing a valet parking service.

Approximately 77.5 percent of the site would remain as open space, which is greater than the 75.4 percent under the existing permit condition. The project site layout, building orientation and articulation, use of open space and building materials have been designed to focus on being visually compatible with the surrounding area and to inspire a natural biophilic environment.

Site improvements would require demolition of all existing site improvements. The project is anticipated to be built over a period of approximately 26 to 30 months. Demolition of the existing improvements is expected to require approximately four (4) months.

As described in the paragraphs that follow, the project would fully comply with all applicable Town General Plan Goals and Policies, as well as applicable standards and guidelines established by the Municipal Code.

III. Current Improvements / Current Residential Planned Development Approval

Los Gatos Meadows, a CCRC owned and operated by Covia Communities, was originally developed as a CCRC and opened in 1971. The objective then, and now, is to provide seniors a place to age in place, living independently in the Los Gatos Community.

The site is currently developed with 10 residential buildings, which include a total of 205 independent residential apartments and support care units. The facility includes a dining and commons building, an infirmary, garage and services building, a multi-purpose building, and two cottages. There are 130 existing parking spaces onsite (85 within the existing structure and 45 surface parking spaces) and staff and visitors also use nearby neighborhood street parking, leased commercial space parking, and a public parking lot due to lack of parking availability on-site.

In March 1968, the Town of Los Gatos adopted Ordinance NO. 938, which rezoned the 10.84 project site to Residential Planned Development (R:PD). In 2018, the R:PD Ordinance was amended (Ordinance 2273). The Town Code 29.80.120 provides that amendments to a PD

approved both prior to and after the adoption of this Division may only be considered under this Division and its provisions and must meet the requirements set forth in the amended Ordinance. A R:PD ordinance was in effect prior to the adoption of the amendments to the Town's PD regulations in 2018; that prior ordinance will continue to apply. However, as part of our request to rebuild the existing Los Gatos Meadows facility, Covia Communities seeks a new Planned Development permit. While our current PD Permit remains valid, per Section 29.80.120 of the Town Municipal Code, we recognize the need to update the permit to reflect our desire to rebuild on the current site². The site's proposed density of 16 dwelling units per acre is below the General Plan's maximum density limit of 24 dwelling units per acre allowed for the site³. The term "dwelling units" relates to independent residential apartments, not to the supporting care units, consistent with the interpretation of dwelling units under the original PD Permit. A comparison of the proposed project to the existing PD permit conditions is provided in Table 1 below.

Table 1: Comparison of Planned Development (PD) Permit Conditions							
Permit Condition	Original 1968 PD Permit Condition	Proposed Rebuild Project					
Site Coverage	24.6%	22.5%					
Dwelling Unit Density	18 units per acre	16 units per acre					
Total Number of Residential Apartment Units ⁴	184	174					
Total Units Permitted	222	191					
Open Space	75.4%	77.5%					
Building Setbacks from property line ⁵	Front: 20'-0" Side: 15'-0", 27'-0" Rear: 15'-0"	Front: 34'-10" Side: 40'-10", 60'-0" Rear: 32'-11"					
Parking ⁶	111 parking spaces	78 non-tandem spaces					

² Section 29.80.125 of the Town Municipal Code states that any change in the activities conducted on, or any new construction in such PD or RPD zone, is subject to the regulations of this division.

³ The General Plan land use designation of Medium Density Residential allows for a maximum density of 12 dwelling units per acre. However, consistent with density bonus laws in the State of California, General Plan Action HOU-1.3 provides up to a 100 percent density bonus for developments that include housing for elderly households. Further, according to the existing entitlement (adopted by Ordinance No.938 on March 4, 1968), the project site has an allowed maximum density of 24 dwelling units per acre. As such, the 10.84-acre site would allow for up to 240 dwelling units.

 $^{^4}$ 184 units is the number of residential apartment & cottage units allowed; total unit count including skilled nursing beds permitted is 222 total units.

⁵ Minimum building setbacks are not specified under the 1968 entitlement. Table 1 includes setbacks under the current and proposed condition.

⁶ Prior to closure, Covia utilized a valet parking service and a portion of vehicles were parked in a tandem configuration. If needed, Covia would be able to increase the parking capacity to 220 spaces by implementing a valet parking service.

Table 1: Comparison of Planned Development (PD) Permit Conditions							
Permit Condition	Original 1968 PD	Proposed Rebuild Project					
	Permit Condition						
Height ⁷	Predominantly 2-story with some basement or below grade space for infirmary, parking, storage and mechanical. Heights vary between 30'-9" and 55'-2" ±.	3-5 stories with below grade space for parking, storage and mechanical. Heights vary between 59'-0" and 85'-6" feet.					
Architecture	Residential	Residential					

Recent Site Closure

In February 2019, after undertaking a rigorous facilities assessment by a third-party firm on the condition and physical status of its buildings, Covia concluded that continuing operations of the 48-year+ old facility in its present form presented too great a risk to its residents. Of the numerous conditions reviewed during the assessment, compromised accessibility for fire response services and other fire safety issues, inadequate building systems, aging infrastructure, and the accumulated risk of all other operational and structural factors led to this decision. Thus, Covia initiated a months-long closure and transition process to ensure that these risks would not cause harm to the residents of Los Gatos Meadows. As of September 30, 2019, all residents of Los Gatos Meadows had found new homes, with a vast majority of life care residents either moving to another community owned and operated by Covia Communities or moving to a non-Covia community but retaining their life care contract with Covia. Covia initiated wind down procedures and provided relocation and transition assistance in compliance with all applicable laws and regulations, and in a manner consistent with its philosophy of care and sensitivity to all residents.

Though Covia has completed the closure process, Los Gatos Meadows continues to be staffed to provide on-going maintenance and security of the property. The Planned Development Permit for the site remains in effect, and the existing facilities legally could be re-occupied after completion of seismic and fire safety retrofit work. Covia prefers, however, to rebuild on the site to provide modern facilities that will include the types of amenities that benefit seniors and better serve the Los Gatos community.

To further mitigate the existing fire safety issues, Covia submitted a Tree Management Plan and request for Tree Removal Permit to the Town of Los Gatos on September 26, 2019. The tree management recommendations are based on fire safety, sudden oak death (SOD), species invasiveness and tree risk. Phase 1 of the Tree Management Plan identified recommendations for removal of 44 trees based on the following criteria: (1) they disproportionately contribute to fire risk or are invasive and (2) based on their health, structure, and condition, they do not contribute to site screening between properties. Fire risk and invasive trees are the most

⁷ At the main entrance, the proposed elevation (in feet above mean sea level) is 488.0 in comparison to existing elevation of 491.2 (3.2 feet lower); the terrace level of the proposed project is at an elevation of 505.0 in comparison to the existing elevation 512.8 (7.8 feet lower).

imminent risk for the site. Los Gatos Meadows has been closed, in part, due to fire risk. Limiting the spread of invasive species to other portions of the site and neighboring sites is time sensitive as well. The permit, which is independent from the proposed rebuild project, was approved on December 5, 2019; applicable trees were removed in early 2020.

IV. Analysis of Specific Project Attributes

The project is expected to provide numerous benefits to the community. Furthermore, in response to comments from the Town from the January 22, 2020 application, we have provided additional information on several specific attributes of the project. This section is organized into the following subsections:

- A. Relationship to Hillside Design Standards and Guidelines
- B. Building Massing, Open Space and Views
- C. Building Materials
- D. Building Heights and Visibility
- E. Landscape Character
- F. Distances to Immediate Neighbors
- G. LEED Certification
- H. Parking
- I. Height of Retaining Walls
- J. Fire Safety

A. Relationship to Hillside Design Standards and Guidelines (HDS&G)

In 2008, CDAC noted that the HDS&G *are not directly applicable to this site*, but requested that the site be rebuilt in the spirit of the HDS&G. The spirit of the HDS&G is best defined by the Vision Statement found in the bullets of the introduction in the HDS&G, page 6:

- Maintains the existing open, wooded, rural character;
- Is in harmony with the natural setting;
- Conserves landforms and other features of the natural landscape;
- Preserves wildlife habitat and movement corridors; and
- Protects and preserves viewsheds and the ridgelines of the mountains.

While the project site is not within the Hillside Zone, the spirit of the HDS&G is integrated into the project by incorporation of the following:

- The buildings step up the hillside so that the building mass responds to the topography of the site.
- Breaking the project into individual buildings of varying heights with space between each building allows the community to best achieve a residential scale to fit within the open, wooded setting.
- Selecting a muted and varied natural toned palette of exterior materials allows the project to harmonize with the natural setting.
- Minimizing the overall construction footprint with compact building forms and the placement of all parking underground allows for an exceptionally efficient site

- coverage ratio, thereby maximizing the retention of undisturbed sensitive landforms and native vegetation.
- Replacing an obsolete land/building plan with a new community of lesser overall footprint, enhanced storm water management systems, state-of-the-art building materials/systems, and sufficiently scaled underground parking will minimize impacts to wildlife habitat and movement corridor.
- Stepping the buildings into the hillside, minimizing the dimensions of the Townfacing buildings, investing in saving existing trees per the arborist plan, and presenting a carefully developed scale to the Town, residents, and visitors will preserve viewsheds and have no impact on hillside ridgeline profiles.

In 2008, the CDAC also requested that the buildings step with the hillsides. To this end, and in keeping with the spirit of the Hillside Guidelines, the proposed Ground Level is three feet lower than existing, which serves to minimize the impact on the community when viewed from Town. Furthermore, by placing all parking underground and with buildings grouped above and around green roof courtyards, the resulting compact footprint of the community minimizes the disturbed area of the special hillside setting. Additionally:

- The building in the northeast corner that cantilevers over the hillside is being replaced by a building that sits 45 feet further from Broadway.
- The increased distance to the neighbors and loss of the two buildings along the east side of Farwell Lane will allow for planting of additional trees that will help shelter the building mass with a strong tree canopy.

B. Building Massing, Open Space and Views

- New buildings are designed as a series of separate buildings surrounding courtyards rather than a monolithic building mass. This design breaks up the massing visible from public vantage points in Town. Additionally, the building facades step in and out to eliminate the potential for a large unbroken facade.
- The overall development footprint is smaller than the existing building footprint; the buildings closest to the neighboring properties have been pulled back to create greater physical distance between buildings.
- The design protects the oak woodland at the rear of the site thus respecting the spirit of the Town's hillside and tree preservation policies; to achieve this, greater heights are necessary to achieve a similar number of units.
- The massing of the new community steps up the hillside and, as a result, the buildings at the rear of the site will not be visible from the Town below. In addition to the buildings stepping up the hillside, individual buildings also respond to the views from the Town by pulling the top floor of the buildings back from the façade facing the Town to reduce the impact on the views from the Town. See *Section D. Building Heights and Visibility*.

- The distance between many of the existing buildings is 15 24 feet; separation between new buildings varies between 27 38 feet with a few buildings placed even further apart. This allows for views to be created between the buildings to the hillside. These views do not exist today.
- Airflow and breezes up and down the hillside will be facilitated by these breaks between buildings.
- The utility of the open space for residents in the courtyards is improved in part due to the dimensions of the Village Green and Town Square and in part due to the elimination of the existing "light well" that is currently situated near the proposed Village Square.
- There is a *visual and experiential quality* to the design that is articulated through the building placement and open space layout. This quality is best expressed by:
 - Better views extending out from all directions so that the natural setting and environmental systems are brought into and integrated with the building clusters;
 - Orientation of the eight villas respects the natural setting. The villas are surrounded by either the Village Green or Town Square where residents can come together as one community to interact, socialize or to simply enjoy the site environs;
 - The absence of long-term surface automobile parking spaces facilitates a greater visual focus on the oak woodlands and the surrounding landscape; and.
 - The creation of varying open spaces accommodates a wide range of activities, from large areas for large group gatherings to smaller, more intimate spaces cultivating individual passions, and reinforcing the feeling of a community.

C. Building Materials

The materials used on the building facades have been selected based on their ability to blend with the natural setting and minimize the visual impression of the building heights. Qualities of materials important to emphasize:

- Materials are darker in tone to blend with the natural environment of the hillside and trees, moving from the current, reflective color palate to one that is visually absorptive.
- The colors are varied with natural browns, greens, and tans to evoke a natural palette of soft colors, which mimic their natural setting.
- The materials vary in type both horizontally and vertically along the facade to help break up the mass of the building.

• Stone is used at the base of the building facing Los Gatos to root the building in the natural landscape.

D. Building Heights and Visibility

Aesthetically and architecturally, the heights of buildings are varied based on their location in relationship to visibility from Town, neighboring properties, and site topography.

- Building heights are varied to create more architectural/visual interest and variety
 when viewed from publicly visible vantage points. The variation created by individual
 villas reflects a more residential character rather than an institutional character
 conveyed by a single structure with long, unbroken roof lines.
- Building units and heights are sized to provide greater "independent" living space.
 - Market research has shown that larger units with usable balconies are most desired. The square footage that can fit into the Town's residential or commercial height limit(s) would either result in one long uninterrupted building mass, or far fewer units. We believe that the view of one continuous building when viewed from the Town or from neighboring properties does not fit the spirit of the Hillside Development Standards and Guidelines or the character of Los Gatos. In senior living communities, a minimum number of units are necessary to provide operational efficiencies, programming, and a sense of community; the project is at the lower end of this critical number. Reducing the number of units neither works operationally or socially, nor does it meet with the intent of providing a similar number of units that existed prior to closure.
 - Unit configurations and corresponding heights allow for appropriate COVID-19 protective measures. The smaller, but taller buildings (with fewer units in each building) vs a long continuous shorter building are better suited in a post-COVID world for several reasons:
 - Fewer residents using the same common elevators: the design includes an elevator for every building. This allows buildings to be separated functionally, providing for fewer residents in any single building and allows the units to become the place where residents can self-quarantine.
 - Most units have usable balconies, providing residents a place to be outside during a pandemic, thus providing natural ventilation and mental/emotional relief from quarantine restrictions.
 - The increased square footage of common space allows for multiple dining venues which are critical to allow for socially distanced dining.

- The most visible building from public view is at the corner of Wood Road and Farwell Lane. It is the shortest building on the site and is only 12 feet higher than the existing building in this location.
- Heights of buildings above the terrace level vary from 3 stories to 5 stories. The height
 of the new terrace is 7 feet lower than the existing terrace which reduces overall
 building heights.
- Buildings along the front of the site visible from the Town are the lower 3 and 4 story buildings on all front facades, (though some step up to 5 stories away from the front façade).
- To minimize the number of stories visible from Town, buildings step down a story in height on the side facing Town. This means that the upper floors of the buildings are hidden from the views below, and only the shorter side is visible from the Town.
- The buildings in the back of the site are nestled into the hillside. Three of these buildings have two stories benched into the hillside. The roofs of those buildings are effectively one story above the access road immediately behind them.
- With the buildings stepped into the hillside only the top three floors of many of the buildings are visible from Wood Road above. The hillside behind these buildings continues to slope up so the roofs of the buildings are only slightly higher than the level of the access road above.
- The corners of the buildings have balconies which serve to erode the mass of the buildings when viewed from the Town. This results in the front elevation appearing more narrow than actual dimensions.
- While the increased building height will affect what some neighbors will see, the buildings are not expected to cast shadows on neighbors nor materially affect their vistas.

[Refer to Project Application Plan Sheets A406-A408, Visual Simulations for exhibits specifically related to the above comments].

E. <u>Landscape Character</u>

The landscape character has been carefully articulated to highlight, enhance, and nurture a strong sense of community.

• The landscape builds on and celebrates the existing character of the site. The layout plan and corresponding plant palette have been carefully designed and selected to increase habitat benefits, improve water quality, and integrate with the existing horticultural character, creating a better environmental fit and fitness than exists today. It is what Covia has been referring to as "biophilia".

- The landscape creates a far superior environment for fire resistant conditions. Unlike existing conditions, the genus species, the location, and the landscape pattern will be designed for fire protection.
- The landscape offers experimental value for the resident such as seasonal color changes, shade from the sun, and opportunities to pick an orange from a citrus tree.

F. Distances to Immediate Neighbors

Buildings are placed further from the neighbors than current buildings.

- The buildings closest to the neighbors are now set back much further from the adjacent, neighboring buildings.
 - The building closest to Wood Road would be 18 feet further away from Wood Road than the current Los Gatos Meadows buildings, thereby reducing the effect of the increased height. Also, the distance from the neighboring townhouses to the north of the improvements is 30 feet further than to the existing Los Gatos Meadows buildings.
- The two buildings along the east side of Farwell Lane (closest to Town) are to be removed and are *not* being replaced.
- The building in the northeast corner that cantilevers over the hillside is being replaced by a building that sits 45 feet further from Broadway.
- The increased distance to the neighbors and the loss of the buildings along Farwell Lane will allow for planting of additional trees that will help shelter the building mass with a strong tree canopy. The combination of new trees and landscaping in the additional setback from the neighboring buildings will shield much of the new buildings when viewed from the neighboring properties.

G. LEED Certification

In 2008, CDAC indicated that the project should obtain Leadership in Energy and Environmental Design (LEED) certification. Since 2008, there have been many changes to environmental standards. As in many areas related to environmental regulation and stewardship, the State of California's environmental standards generally surpass those of many other regions of the country in terms of regulations, standards and practices related to sustainability. Notably, many of the policy goals of the California Green Building Code, as well as the mandatory code requirements, overlap with those of independent certification systems such as the LEED certification system. The project will be subject to the most recent and rigorous update to the Cal Green Code, the 2019 Cal Green Building Standards Code (effective Jan 1, 2020), or the standard code in effect at the time of project entitlement. The project is also subject to applicable communitywide greenhouse gas emission reduction measures in conformance with the Los Gatos Sustainability Plan.

The project has been designed to be highly responsive to site context and to some of the specific sustainability priorities of the Town.

- In line with the community wide goals of the Town Sustainability Plan, Green Building Certification may utilize either the GreenPoint Rating System or LEED. The GreenPoint Rating Checklist submitted with our development application package clearly demonstrates that the project comfortably exceeds the required point totals for all five of the rating categories, including: Community, Energy, IAQ/Health, Resources and Water.
- As detailed above, the project adheres to the spirit of the Hillside Development Standards & Guidelines by minimizing site disruption and vehicle impacts, and use of compact, energy efficient building forms demonstrates a heightened commitment to sustainability and environmental goals on this sensitive site.
- A commitment to sustainable innovation is woven into the project in ways both subtle
 and apparent including the electric autonomous vehicle supplemental transportation
 system that will connect the community to the Town, a state-of-the-art care model for
 greater resident and staff satisfaction and health, noncombustible construction
 materials, and enhanced fire access and life safety systems that benefit both residents
 and surrounding neighbors.

Based on the sustainability components integrated into the project design, coupled with those elements required as part of the Cal Green Building Code, providing LEED certification would be both redundant, and prohibitively costly given third-party requirements to verify and monitor LEED compliance. In discussions with neighbors and potential residents, strong interest was expressed for recycling, access to natural light and energy efficiency. Accordingly, the design team has prioritized sustainability attributes that are not only compliant with the California Green Building Code but are also highly responsive to site context and the specific priorities of the local community. We are confident that our sustainability approach to the site achieves the overarching goals of the LEED program without triggering a redundant and costly certification process.

H. Parking

Seventy-Eight (78) standard parking spaces as required by the Town Code are indicated on Sheets A100 and A101 (A-C) included in Covia's current application submittal package. If necessary, by employing a valet parking service approach, the current design readily permits Covia to park up to 220 cars on the parking level.

I. Height of Retaining Walls

Planning staff has requested that we provide greater justification for why our retaining walls will need to be taller than 5 feet. We have added sheet C103.1 to our resubmittal that illustrates detailed site sections with wall heights up to 24 feet to show that we are using grading to the extent practical to reduce wall heights. The walls in excess of 5 feet in height are required to create flat areas to provide bioretention and in some cases are required for

the express purpose of reducing grading that would impact trees and otherwise undisturbed areas. Proposed walls are stepped with shorter walls under 5 feet adjacent to useable areas. The shorter walls incorporate planter pockets that will reduce the perceived scale of the taller walls and will include taller plants for additional screening.

J. <u>Fire Safety</u>

Covia has reviewed the Ad Hoc Wildfire Committee Report Action Items, as presented to Town Council on November 20, 2020. Fire safety and minimizing fire risk are one of the primary goals of the project as expressed in our Project Description, dated January 21, 2020. Based on the Ad Hoc Wildfire Committee Report Action items, the project is consistent with the five goals identified in the Ad Hoc Committee's Report related to minimizing the wildfire risks and impacts associated with those risks to the Los Gatos community, including:

- Emergency Communication
- Emergency Evacuation
- Roadside Fuel Reduction
- Open Space and Residential Land Management
- Emergency Partnerships

In furtherance of the above Wildfire Ad Hoc Committee goals, the Project Applicant has committed to assisting the Town in achieving its prioritization of the following action items:

- Maximizing the use of an emergency alert system to ensure that communication systems are fully utilized; the project would utilize technology platforms to ensure Los Gatos Meadows stays connected during possible emergencies.
- Increasing the use of social media platforms for emergency communications.
- Exploring additional non-cell/internet reliant emergency communication onsite (such as a siren system) in furtherance of enhanced emergency communication.
- Assisting SCCFD with their Ready, Set, Go Programs in Town.
- Assisting the Town by providing an additional alternative evacuation route via Farwell Lane and provision of a continuous loop road around the project site.
- Incorporating annually simulated evacuations within the Emergency Evacuation Plan once operational.
- Mapping private roadways within the project pursuant to the Roadside Fuel Reduction goal.
- Utilizing appropriate planting including fire retardant xeriscape plant species, particularly in recommended defensible spaces.
- In conjunction with residents, implement an appropriate vegetation management plan.

- Assisting the Town with exploring partnerships with SCCFD fuels crews and defensible space inspectors.
- Assisting the Town with pursuing Firewise USA® site status to satisfy homeowner insurance requirements.

While the Project Applicant recognizes that the actions noted above have not yet been memorialized in Town policy, but rather, are being considered as part of the General Plan Update process, the above action items have been contemplated as part of the overall project design, site layout, project features and elements and/or overall Project operations.

V. Benefits to the Community

We believe the benefits of the project to the Los Gatos community are substantial, and critical in meeting the needs of the broader senior community.

The project would further the Town's **Human Services Element** by revitalizing Los Gatos Meadows and continuing its role as a healthy, contemporary independent senior living community that connects seniors with existing resources in the community, encourages social interaction, improves mobility, and ensures a safe environment for Los Gatos seniors. The project would provide a mix of different unit sizes and varying levels of care that respond to the needs of an active, aging community. The project would incorporate outstanding health care services, recycled and sustainable building materials, and energy efficient operational systems.

The proximity to nearby stores and services, such as the US Postal Service, Old Town Los Gatos Shopping Center, and Los Gatos Theatre, provides residents with opportunities to participate in social, recreational, educational, and shopping activities all within a close distance. The dining area would include a demonstration kitchen for local restaurants to showcase their offerings on a rotating basis, facilitating greater **Town integration** with the Los Gatos Meadows community.

The project would result in no increase in the number of total units currently entitled or occupied up through September 2019. As a result, the project would not generate substantial new vehicle trips. There would be a modest redistribution of trips from Farwell Lane to Wood Road and Santa Cruz Avenue, though even with this redistribution, level of service would remain at an acceptable level of service (LOS B). Furthermore, the project would **improve on-site circulation** and alleviate spillover parking experienced under the prior site plan by creating additional parking spaces and decreasing the need for on-street parking in nearby neighborhoods. Importantly, the project would **provide enhanced fire access** in the area for fire personnel/equipment for fighting on-site and nearby fires **and enhanced emergency access** for neighbors living uphill of the Meadows in the event that Wood Road is closed to access.

The project would also improve the integration of the site with the broader Los Gatos community by closing Farwell Lane to through traffic and transitioning this pathway connecting Los Gatos Meadows and Broadway into a naturally landscaped, pedestrian-

friendly connection to downtown Los Gatos. The **conversion of Farwell Lane into a pedestrian and bicycle lane would improve safety for vehicle and pedestrian interaction at the intersection of Farwell Lane and Broadway.** The project would continue to use the existing driveway on Wood Road for access to the parking entrance, main entrance, and loading entrance, providing safe and efficient access to the site. The project would result in the construction of a parking structure that would include 78 standard parking spaces. If needed, by employing a valet parking service, the parking capacity in the parking structure could be increased to 220 parking spaces. Furthermore, the project would incorporate a dedicated area for fire access, which would be located on the western side of the property.

One of the extraordinary elements of the project is the planned implementation of an **autonomous vehicle alternative transportation solution along Farwell Lane** to enable a safe, convenient, and alternative means of transporting residents between the Meadows and Town retail, entertainment, and civil services. This element of the project will enable both safe and convenient access for residents to connect to Downtown Los Gatos. The project would consider Aurrigo, a vendor of autonomous vehicles, to provide this alternative transportation solution.

While difficult to gauge precisely, the combined effect of facilitating pedestrian, bicycle and self-driving vehicles on Farwell Lane is expected to materially **reduce the number of total vehicle trips to and from the community.**

From an environmental perspective, the building design would provide a **more energy efficient and healthy environment** for prospective residents. Upgraded and energy efficient buildings would assist in further reducing the current carbon footprint by minimizing energy load, enhancing the number of large shade trees, modernizing energy operations/systems, increasing the amount of landscaped space, and improving irrigation efficiency.

VI. Request for Planned Development (PD) Entitlement

This project request is for approval of a new Planned Development Overlay permit. The project complies with the Town's existing PD zoning for the property, as shown in Table 1. The project does not require any variance or exception to any rule, code, or regulation and meets the basic requirements under the existing zoning permit related to site coverage, density, open space, and parking.

The project would not impair the integrity or character of the zoning district and would not result in any additional independent residential apartments, additional supporting care units nor additional staff. The operations of the Project would have hours and staffing consistent with the most recent prior use and would result in an estimated 120 full time equivalent (FTE) employees. As noted above, proposed site coverage, unit count, open space and parking are all consistent with the current PD permit in place today (refer to Table 1). Project building heights have been articulated to protect views from adjacent properties ensuring compatibility with the neighborhood (refer to Visual Simulations, Section "C" of the project development application submittal).

The project would not be detrimental to the public health, safety, or general welfare. The project would provide state-of-the-art health care services for residents who would have access to health care facilities, open 24/7, to ensure consistent and reliable care. The project would have a dedicated fire access road, located on the western side of the property, improving fire access to the entire site, which would improve safety on-site. Because the project is a rebuild of the prior use, it will also include an updated Emergency Preparedness Plan (EPP) and evacuation plan to address the new facilities and ensure a safe environment for all residents and staff, commensurate with Covia's Risk Assessment Policy. In compliance with Covia's Risk Assessment Policy, these two plans already exist for the prior facility, but would be updated in accordance with the applicable federal, state, and local requirements in effect at the time of building occupancy.

The project would result in the reconfiguration of the existing "exit only" driveway, located on Broadway, and would convert the driveway into a pedestrian and bicycle lane, thereby creating safer conditions for pedestrians and bicyclists, as well as serve as the fixed route for an autonomous vehicle connection from the main entrance to the Broadway frontage. This would provide for safer modes of transportation between the project site and downtown Los Gatos. The project would ensure that seniors have convenient access to social and medical services, commercial areas, and transportation by providing on-demand shuttle and/or car service to the residents.

The proposed uses of the project would be in harmony with the various elements and objectives of the General Plan and the purposes of the zoning ordinance. As discussed above, the project is consistent with several of the aspects of the Los Gatos 2020 General Plan (refer to "Letter of Justification Appendix A"). The project is consistent with the Town's Sustainability element and would implement best practices both in design and operations through the adoption of biophilic design principles and sustainable design measures to best fit into the unique site while minimizing initial and ongoing environmental impacts. In addition to this, the site plan of the project incorporates environmentally appropriate design attributes, utilizing the site's topography and natural setting to create a synergy between the design and the hillside that does not exist today.

The project would allow seniors in the Town of Los Gatos to age in place with state-of-the-art health and living facilities. In addition, the proposed CCRC would continue to make a significant contribution to the Town, both as a major employer, as well as a vital resource for residents who want to remain a part of the community. We believe that the project will be a tremendous asset to the Town of Los Gatos, extending a historical legacy of quality residence and care to the broader senior community. In consideration of all the points outlined above, we welcome your review and appreciate your timely consideration of our request.

As per Town Planning Division Staff request, we have provided an analysis of how the project meets the findings required to grant a Planned Development Ordinance request as detailed in Section 29.80.095 of the Town Code. Given its length, this analysis is included as Appendix B to this letter.

VII. Justification

For all the many reasons articulated in detail throughout this letter (and appendices hereto), the rebuild project would be both essential and desirable to the Los Gatos community.

The rebuild project furthers the Town's General Plan by revitalizing the existing site and continuing provision of a healthy, contemporary independent senior living community that connects seniors with existing resources in the community, encourages social interaction, improves mobility, and ensures a safe environment for Los Gatos seniors. The project would result in the construction and/or provision of many service facilities including, but not limited to, a health center, dining venues, fitness services, and supplemental transportation services that would be located throughout the property. These services and amenities would help provide social interaction for the residents. The project would provide a wide variety of senior services and programs, including daily opportunity for health care, physical activity and recreation, and mental stimulation. In addition, the project would provide coordinated health care services, specializing in assisted living care, memory care and respite care, meeting the wide range of needs for seniors as they age.

The feedback on the proposed uses of the project from local prospects and neighbors and local leadership has been very positive. The 174 independent residential apartments would assist in the implementation of the Town's 2015-2035 Goals for providing housing opportunities, lifestyle living, and assisted living facilities for seniors. The project would provide a mix of different size apartments and varying levels of care and amenities that respond to the needs of the active, aging community found in the Town of Los Gatos. The functional site layout, floor plans, and site architecture have been specifically designed to align with the local market, providing larger apartments and on-site amenities desired by seniors.

We are confident that you will find the proposed uses of the project to be in harmony with the various elements and objectives of the General Plan, the purposes of the zoning ordinance and in concert with the feedback we have received from our extensive outreach to the Community. The project would implement best practices both in design and operations through the adoption of biophilic and sustainable design measures to best fit into the unique environs of the site while reducing environmental impacts. Our rebuild project incorporates environmentally appropriate design attributes, utilizing the site's topography and natural setting to create a synergy between the design and the hillside that does not exist today and would not exist in the absence of the project.

Finally, the project would allow seniors in the Town of Los Gatos to age in place with state-of-the-art health and living facilities. The rebuild project would continue to make a significant contribution to the Town, both as a major employer, as well as a vital resource for residents who want to remain an integrated and valued part of the community. We believe that the project will be a tremendous and valuable asset to the Town of Los Gatos, extending a historical legacy of quality residence and care to the broader senior community.

Respectfully,

Francesco J. Rockwood Rockwood Pacific Inc.

Applicant

Appendix A Los Gatos 2020 General Plan Related to Project

Housing Element:

<u>HOU-5.3</u> Work with existing senior lifestyle living and assisted living facilities in Los Gatos and support the development of new senior housing that includes continuum of care facilities within the Town.

Land Use Element:

- LU-1.3 To preserve existing trees, natural vegetation, natural topography, riparian corridors and wildlife habitats, and promote high quality, well-designed, environmentally sensitive, and diverse landscaping in new and existing developments.
- LU-1.4 Infill projects shall be designed in context with the neighborhood and surrounding zoning with respect to the existing scale and character of surrounding structures and should blend rather than compete with the established character of the area.
- <u>LU-6.7</u> Continue to encourage a variety of housing types and sizes that is balanced throughout the Town and within neighborhoods, and that is also compatible with the character of the surrounding neighborhood.

Community Design Element:

- CD-1 Preserve and enhance Los Gatos' character through exceptional community design.
- CD-1.1 Building elements shall be in conformance with those traditionally in the neighborhood.
- CD-1.2 New structures, remodels, landscapes and hardscapes shall be designed to harmonize and blend with the scale and rhythm of the neighborhood and natural features in the area.
- CD-1.3 Buildings, landscapes, and hardscapes shall follow the natural contours of the property.
- <u>CD-1.4</u> Development on all elevations shall be of high equality design and construction, a positive addition to and compatible with the Town's ambiance. Development shall enhance the character and unique identity of existing commercial and/or residential neighborhoods.
- <u>CD-2</u> To limit the intensity of new development to a level that is consistent with surrounding development and with the Town at large.

CD-3.2 Street and structural lighting shall be required to minimize its visual impacts by preventing glare, limiting the amount of light that falls on neighboring properties, and avoiding light pollution of the night sky. CD-3.5 All landscaping shall be carefully reviewed to ensure that it is aesthetically pleasing, compatible with its neighborhood and natural environment, and water conserving. CD-4 To preserve existing trees, natural vegetation, natural topography, riparian corridors and wildlife habitats, and promote high quality, well designed, environmentally sensitive, and diverse landscaping in new and existing developments. CD-4.5 New development shall promote visual continuity through tree planting, consistent use of low shrubs and ground cover. CD-4.7 Landscaping plans should maximize the use of trees for energy efficiency, climate control, screening, shading (especially of parking lots), and aesthetics. CD-7 To preserve the quality of the private open space throughout Los Gatos. Maximize quality usable open space in all new developments. CD-7.1 CD-7.3 All residential developments shall include private open space in proportion to the building size. CD-15 To preserve the natural topography and ecosystems within the hillside area by regulating grading, landscaping, and lighting. CD-15.4 Hillside landscaping shall be designed with the following goals in mind: a. Minimizing formal landscaping and hardscape. b. Siting formal landscaping and hardscape close to the house. c. Following the natural topography. d. Preserving native trees, native plant and wildlife habitats, and migration corridors. CD-16 Promote and protect view sheds and scenic resources. **Human Services Element:** HS-8 To ensure programs and facilities for social interaction for senior citizens. HS-8.3 Encourage the Los Gatos-Saratoga Recreation District and other service providers to provide a wide variety of senior services and programs, including daily opportunities for

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seniors to have physical activity, social interaction, and mental stimulation.

Encourage new development to include intergenerational spaces, such as cafés or family-

HS-8.5

oriented outdoor spaces.

HS-8.6	Encourage the establishment and operation of a dedicated space for seniors.			
HS-8.5	Connect seniors with existing resources in the community.			
<u>HS-9</u>	To improve mobility and access to care and services for seniors.			
<u>HS-9.1</u>	Ensure that seniors have convenient access to social and medical services, commercial areas, and transportation by coordinating with senior shuttle service providers.			
HS-9.2	Encourage all new senior housing developments to provide transportation services.			
<u>HS-10</u>	To encourage a wide variety of types of senior housing, including independent living, residential care facilities, and affordable housing within the Town.			
<u>HS-10.1</u>	Encourage new development or substantial remodels to incorporate barrier-free design principles to ensure access for people of all ages and abilities.			
<u>HS-10.1</u>	Identify incentives for the development of a variety of types of senior housing, including independent living and residential care facilities.			
<u>HS-11</u>	To ensure safe environments for Los Gatos seniors.			
Transportation Element:				
<u>TRA-2.6</u>	Street improvements such as curb cuts, sidewalks, bus stop turnouts, bus shelters, light poles, traffic signals, benches, and trash container shall be planned as an integral part of development projects to ensure safe movement of people and vehicles and minimize disruption to the streetscape.			

TRA-3 To prevent and mitigate traffic impacts from new development (all policies under Goal TRA-3).

<u>TRA-5</u> To ensure that Los Gatos streets are safe for all users, including drivers, cyclists and pedestrians.

<u>TRA-8.4</u> Coordinate with appropriate agencies to provide transit service in the Town for seniors, school children, low-income people, the physically disabled, and other groups with special needs.

- Require development proposals to include amenities that encourage alternate forms of transportation that reduce pollution or traffic congestion as a benefit to the community (e.g., bicycle lockers/racks, showers, dedicated vanpool or car-pool parking areas, dedicated shuttle services, innovative bus shelter designs).
- TRA-13 To provide adequate parking for existing and proposed uses, and to minimize impacts on surrounding residential neighborhoods.

Environmental and Sustainability Element:

- ENV-1 To preserve and protect native plants and plant communities in the Town, and promote the appropriate use of local, native plants in habitat restoration and landscaping.
- ENV-9 To minimize the amount of storm water runoff, as well as to protect and improve the water quality of runoff.
- ENV-10 To promote recycling and reuse as well as reduction in demand.
- ENV-12 To conserve the air resources of the Town and maintain and improve acceptable air quality in Los Gatos.
- ENV-13 To promote a sustainable community that protects environmental resources and the climate to prevent negative impacts to future generations.
- ENV-14 To reduce overall greenhouse gas (GHG) emissions to 1990 levels by 2020.
- ENV-17 To promote green buildings that minimize consumption of energy and natural resources

Los Gatos Sustainability Plan (2012):

- TR-1 Support for Pedestrians, Bicyclists and Transit. Promote walking, bicycling, and transit through the following:
 - a. Require all new buildings, excluding single-family homes, to include a principal functional entry that faces a public space such as a street, square, park, paseo or plaza, in addition to any entrance from a parking lot, to encourage pedestrian foot traffic.
 - Require new projects, excluding single-family homes, to include pedestrian or bicycle through-connections to existing sidewalks and existing or future bicycle facilities, unless prohibited by topographical conditions.
 - c. Seek grant funding to establish a Safe Routes to School (SR2S) Program to increase more student walking and biking trips.
 - d. Design and implement affordable traffic-calming measures on specific streets to

- dissuade Highway 17 cut-through traffic and attract pedestrian and bicycle traffic.
- e. Implement transit access improvements through sidewalk/crosswalk safety enhancement and bus shelter improvements.
- GB-4 Solar Orientation. Require measures that reduce energy use through solar orientation by taking advantage of shade, prevailing winds, landscaping and sunscreens.
- Solar Ready Features. Where feasible, require that all new buildings be constructed to allow for the easy, cost-effective installation of future solar energy systems. "Solar ready" features should include proper solar orientation (i.e., south facing roof area sloped at 20 to 55 degrees from the horizontal); clear access on the south sloped roof (i.e., no chimneys, heating vents, or plumbing vents); electrical conduit installed for solar electric system wiring; plumbing installed for solar hot water system; and space provided for a solar hot water storage tank.
- <u>EC-1</u> Energy-Efficient Appliances and Lighting. Require new development to use energy-efficient appliances that meet Energy-Star standards and energy-efficient lighting technologies that exceed Title 24 standards by 30 percent.
- EC-3 Energy-Efficient Outdoor Lighting. Require outdoor lighting fixtures to be energy-efficient. Require parking lot light fixtures and light fixtures on buildings to be on full cut-off- fixtures, except emergency exit or safety lighting, and all permanently installed exterior lighting shall be controlled by either a photocell or an astronomical time switch. Prohibit continuous all night outdoor lighting in construction sites unless required for security reasons. Revise the Town Code to include these requirements.
- EC-10 Heat Gain Reduction. Require all new development and major rehabilitation (i.e. additions or remodels of 20,000 square feet of office/retail commercial or 100,000 square feet of industrial floor area) projects to incorporate any combination of the following strategies to reduce heat gain for 50 percent of the non-roof impervious site landscape, which includes roads, sidewalks, courtyards, parking lots, and driveways: shade within five years of occupancy; paving materials with a Solar Reflectance Index (SRI) of at least 29, open grid pavement system; and parking spaces underground, under deck, under roof, or under a building. Any roof used to shade or cover parking must have an SRI of at least 29.
- WW-1 Water Use and Efficiency Requirements. For new development, require all water use and efficiency measures identified as voluntary in the California Green Building Standards Code, and consider more stringent targets. California Green Building Standards Code requirements include: 1) reduce indoor potable water use by 20 percent after meeting the Energy Policy Act of 1992 fixture performance requirements, and 2) reduce outdoor potable water use by 50 percent from a calibrated mid-summer baseline

case, for example, through irrigation efficiency, plant species, recycled wastewater, and captured rainwater.

- WW-3 Bay Friendly Landscaping. Require new development to use native plants or other appropriate non-invasive plants that are drought-tolerant, as described in the Bay Friendly Landscaping Guidelines, available at StopWaste.Org and BayFriendlyCoalition.Org.
- Salvage, Recycled-Content and Local Construction Materials. Encourage the use of salvaged and recycled-content materials and other materials that have low production energy costs for building materials, hard surfaces, and non-plant landscaping. Require sourcing of construction materials locally, as feasible.

Appendix B Planned Development Ordinance Findings

In the Planning Division Staff Technical Review Comment letter dated May 22, 2020, Planning staff requested the following:

1) Address in the letter of justification for the project how the project meets the findings required to grant a Planned Development Ordinance as detailed in Section 29.80.095 of the Town Code.

While the main body of this Justification Letter provides significant detail as to how the project meets the requirements of the PD Ordinance (refer to Section IV of this Letter of Justification), the following describes how the project meets the findings required to grant a Planned Development Ordinance as detailed in Section 29.80.095 of the Town Code, as requested.

- Sec. 29.80.095. Findings.
 - (1) The proposed PD is in compliance with all sections of this division.

The proposed rebuild project (or "project") is in compliance with section 29.80.075 as it clearly meets the purpose and intent of the PD zone by enhancing and promoting the Town's natural resources, maximizing open space and providing a public benefit to the citizens of the Town. The project will result in a slight reduction in the overall development pad, increasing the amount of common open space available for all to enjoy, consistent with the Community Design Goal - 7. The project would further the Community Design Goal CD- 1, CD-4 and CD - 15, by preserving and enhancing Los Gatos' character through exceptional community design features including, but not limited to: buildings that shall follow the natural contour of the surrounding hillside; promoting visual continuity through tree planting; and designing new structures to harmonize and blend with the natural features of the area.

The project is in compliance with section, 29.80.080 of this division as it meets both the purpose and intent of this division and meets the following criteria: it provides a public benefit to the citizens of the Town, and is a property that has a current PD zone based on the combination of uses not otherwise permitted under the Town's existing zoning Ordinance.

The project similarly is consistent with section 29.80.085 as it does not seek to deviate from general plan provisions, guidelines adopted by the Town Council, standards contained in any existing land use regulation or any other provision of the Town Code

otherwise applicable to the property except as otherwise provided for in section 29.080.095.

Finally, the project is in compliance with all the requirements set forth in section 29.080.090 as the PD application includes text and plans/figures and/or diagrams that demonstrate (1) compliance with all sections of this division; (2) conformity of the PD to the goals, policies, applicable land use designations(s) and standards of the general plan; (3) includes the characteristics existing on the property which warrant application of the PD overlay zone; (4) shows the distribution, location and extent of the land uses on the site, including open space; (5) includes the proposed standards and criteria by which development will proceed; (6) includes proposed deviations from the land use regulations and development standards applicable to the underlying zoning district; and (7) describes the public benefit of the proposal. Further, as noted in our Letter of Justification, the project site is zoned as Residential Planned Development (R:PD) which is typically applied to areas where residential development is planned in the future.

However as noted earlier, this project site <u>secured its Planned Development permit</u> <u>entitlements in 1968 and has operated under this permit until late September 2019</u>. The project has been designed in conformance with the Town of Los Gatos zoning requirements for Planned Development (PD) overlay zones as described further below. As per the Municipal Code, Development in a PD zone must be in accordance with the approved "development plan". The Town of Los Gatos Municipal Code provides that the development plan must contain:

- _ a land use plan locating all proposed uses, a tentative site plan,
- _ schematic architectural elevations of all buildings and structures in relationship to each other,
- a schedule for any phasing of development,
- _ a tabulation of land area including the entire planned development,
- _ the floor area of each occupancy,
- _ the proposed number of off-street parking, and grading, soils and geologic information

Our project application includes each of these "development plan" requirements as documented in the full project application submittal.

(2) The proposed PD is in conformance with the goals, policies, and applicable land use designation(s) and standards of the Town's general plan.

The project is in conformance with the applicable goals, policies and applicable land use designations(s) and standards of the Town's general plan as described in this Letter of Justification and the Design Principles section of the Project Description.

This project request is for approval of a new Planned Development Overlay permit. The project complies with the Town's existing PD zoning for the property, as shown in Table 1 of the Letter of Justification. The project does not require any variance or exception to any rule, code, or regulation and meets the basic requirements under the existing zoning permit related to site coverage, density, open space, and parking.

Further, though the project is <u>not</u> located within the boundaries of the Hillside Zone, we have made every attempt to meet the spirit and intent of the Hillside Design Standards and Guidelines as identified in Section IV. A of this Letter of Justification.

Where we do not meet the spirit of the guidelines (e.g. retaining wall height), we have identified why and how our deviations to this non-applicable standard are needed for this site (see Section IV. I of this Letter of Justification).

(3) The proposed PD is in conformance with all other applicable land use regulations, including but not limited to Town Council adopted guidelines, except as otherwise provided in section 29.80.095(4).

The proposed PD is in full conformance with all other applicable land use regulations, including but not limited to Town Council adopted guidelines. The project seeks no exceptions, variances or deviations/modifications from any Town goals, policies, regulations, standards or guidelines applicable to the project site.

- (4) Any proposed use or development standards that deviate from the underlying zoning district(s) result in innovative and creative site planning to develop:
- a. Housing with a minimum of forty (40) percent of the units affordable to households of very low, low, or moderate income; or
- b. Mixed commercial, or mixed residential, or mixed commercial and residential development; or
- c. A development designed and sited to protect, preserve and enhance conservation and enrichment of hillsides, natural and/or historic resources, ridgelines, a tree or stand of trees, creek and riparian corridors, geologic hazard or fault zone, and open space; or
- d. A project that maximizes open space

Approximately 77.5% of the site would be open space, contributing to the visual compatibility of the surrounding hillsides as well as to create a natural environment for residents (see Section IV. B for additional discussion related to open space). The project results in a slight *decrease* in the overall development pad, increasing the amount of common open space available for all to enjoy.

e. The proposed PD provides a public benefit to the citizens of the Town.

The project would allow seniors in the Town of Los Gatos to age in place with state-of-the-art health and living facilities.

The project would further the Town's General Plan by revitalizing the existing site and continuing provision of a healthy, contemporary independent senior living community that connects seniors with existing resources in the community, encourages social interaction, improves mobility and ensures a safe environment for Los Gatos seniors. The proposed uses of the project would be essential and desirable to the community. The project would result in the construction and/or provision of many service facilities including, but not limited to, a health center, dining venues, fitness services, and supplemental transportation services that would be located throughout the property. These services and amenities would help provide social interaction for the residents. The project would provide a wide variety of senior services and programs, including daily opportunity for health care, physical activity and recreation, and mental stimulation. In addition, the project would provide coordinated health care services, including 17 supporting care units with sections specializing in assisted living care, memory care and respite care, meeting the wide range of needs for seniors as they age.

The project would also improve the integration of the site with the broader Los Gatos community by closing Farwell Lane to through traffic and transitioning this pathway connecting Los Gatos Meadows and Broadway into a naturally landscaped, pedestrian friendly connection to downtown Los Gatos. The conversion of Farwell Lane into a pedestrian and bicycle lane would improve safety for vehicle and pedestrian interaction at the intersection of Farwell Lane and Broadway. The project would continue to use the existing driveway on Wood Road for access to the parking entrance, main entrance, and loading entrance, providing safe and efficient access to the site.

One of the extraordinary elements of the project is the integration of one or more autonomous vehicles and control systems deployed along Farwell Lane to enable a safe, convenient and alternative means of transporting residents between the project and Town retail, entertainment, and civil services. This element of the project will enable both safe and convenient access for residents to connect to Downtown Los Gatos. The project would consider Aurrigo, a vendor of autonomous vehicles, to provide this alternative transportation.

As consistently stated in our Project Application submittal and responses to Town staff comments thereto, the project would continue to make a significant contribution to the Town, both as a major employer, as well as a vital resource for residents who want to remain an integrated and valued part of the community. We believe that the project will be a tremendous and valuable asset to the Town of Los Gatos, extending a historical legacy of quality residence and care to the broader senior community.

Appendix C Project Compatibility with General Plan and Zoning Code

Project Compatibility with Los Gatos 2020 General Plan

The project site has a General Plan land use designation of Medium Density Residential. The Medium Density Residential designation allows for multi-family residential, duplex, and/or small single-family homes and a maximum density of 12 dwelling units per acre. The proposed project would result in 16 dwelling units per acre, which is above the 12 dwelling units permitted for the Medium Density Residential land use designation. However, consistent with density bonus laws in the State of California, General Plan Action HOU-1.3 provides up to a 100 percent density bonus for developments that include housing for elderly households. Since the proposed project's residential uses would be restricted to seniors 62 years and older, it qualifies for the density bonus up to 100 percent. Therefore, the proposed 16 dwelling units per acre would be well within the 24 dwelling units per acre allowed for by the land use designation.

In accordance with the Town's General Plan 2020 Land Use recommendations, the project would also promote the appropriate use of local, native plants in its landscaping. The project would promote the efficient use of water and would minimize the amount of storm water runoff. Energy systems would be new, and thus offer the benefit of far more efficient systems than those currently in place. The project would result in a slight reduction in the overall development pad and would include tree replacement and retention/preservation of mature onsite trees, a Village Green area, and passive gardens to ensure aesthetic consistency with the surrounding hillside area. Finally, there are a number of features incorporated into the project design, including provision of a new loop road that will serve to improve fire safety and minimize fire risk.

Among other benefits noted above, the project would further the Town's General Plan by revitalizing the existing site into a healthy, contemporary independent senior living community that connects seniors with existing resources in the community, encourages social interaction, improves mobility, and ensures a safe environment for Los Gatos seniors. In addition, the project would provide seniors with an alternative mode of transportation by incorporating autonomous vehicle technology into the project to assist in enhanced connectivity between Los Gatos Meadows and proximate Town services such as the Library, Civic Center, and entertainment and retail establishments.

A more detailed description of how these goals/policies are incorporated into the project is included in below.

Housing and Health Services Elements

The project furthers many of the Housing and Health Services plan element goals. The project would be consistent with Goal HS-8, by providing a wide variety of senior services and programs, including daily opportunities for seniors to have physical activity, social interaction, and mental stimulation. The project would further Policy HOU-5.3, to work with existing senior lifestyle living and assisted living facilities in Los Gatos and support the building of Los Gatos Meadows in a manner that includes a continuum of care facilities within the Town. The project would bring a new state-of-the-art CCRC, incorporating outstanding health care services, recycled and sustainable building materials, and energy efficient operational systems. The project would further Health Services Goal HS – 9,

providing seniors with an alternative mode of transportation by incorporating autonomous vehicle technology into the project to assist in enhanced connectivity between Los Gatos Meadows and proximate Town services such as the Library, Civic Center, and retail and entertainment establishments.

Open Space, Parks and Recreation Element

The current architecture, with its substantial concrete façades, is not harmonious with its surroundings, nor does it provide an inviting or healthy environment sought by the senior community. The site plan of the project incorporates environmentally appropriate design attributes, utilizing the site's topography and natural setting to create a synergy between the design and the hillside that does not exist today. This attention to design detail is consistent with Goal OSP-6 to consider the provision of open space in all development decisions, and both supports and reinforces Policies OSP 6.1, 6.3 and 6.4 which are all focused on consideration of health, welfare and public safety in the design of open spaces, including the effects on watershed areas, plant and wildlife habitat. The project will result in a slight reduction in the overall development pad, increasing the amount of common open space available for all to enjoy. The proposed residential buildings would be arranged around shared courtyards. They would be oriented to blend into the hillside and natural landscape to minimize the impact of views to the site while also maximizing views from the site to surrounding hillsides and across the valley. The peer review by the Town Architect was generally favorable and the project team has or will incorporate the design recommendations of this report into the project design. In addition, the project will include generous tree replacement and use of mature trees and a Village Green area, to ensure consistency with the surrounding hillside area.

Transportation Element

The project would improve bicycle and pedestrian access for seniors to downtown Los Gatos and would improve vehicular traffic circulation at the project site. As a part of the project, Farwell Lane at Broadway, the exit-only driveway, would be closed to through traffic. Farwell Lane would be constructed into an improved pedestrian and bicycle connection, as well as serve as the fixed route for an autonomous vehicle connection from the main entrance to the Broadway frontage. This reconfiguration of Farwell Lane will further Transportation Policy TRA-5 by ensuring that project streets are safe for all uses, including drivers, cyclists, and pedestrians. The project is consistent with General Plan Policy TRA-13 and would provide adequate parking for the proposed uses, thereby minimizing impacts on surrounding residential neighborhoods. Previously, many staff members were forced to park on nearby residential streets due to the lack of on-site parking, which is a less than ideal situation for the neighborhood residents. Further, the project would provide seniors with an alternative mode of transportation by incorporating autonomous vehicle technology that will facilitate safe and reliable connections to Downtown Los Gatos. As such, the project would further the Transportation goal to provide transit services in the Town for seniors by incorporating autonomous vehicle technology for residents.

Community Design and Land Use Elements

The project will result in a slight reduction in the overall development pad, increasing the amount of common open space available for all to enjoy, consistent with the Community Design Goal - 7. The project would further the Community Design Goal CD-1, CD-4 and CD - 15, by preserving and enhancing Los Gatos' character through exceptional community design features including, but not limited to: buildings that shall follow the natural contour of the surrounding hillside; promoting

visual continuity through tree planting; and designing new structures to harmonize and blend with the natural features of the area. In addition, the proposed residential buildings would be arranged around shared courtyards. They would be oriented to blend into the hillside and natural landscape to minimize the impact of views to the site, while also maximizing views from the site to surrounding hillsides and across the valley, furthering the Town's Land Use Element. In addition, the project would be consistent with Policy LU – 1.3, and would incorporate high quality, well-designed, environmentally sensitive, and diverse landscaping.

<u>Project Consistency with Zoning Code</u>

The proposed project site is zoned as Residential Planned Development (R:PD) which is typically applied to areas where residential development is planned in the future. However as noted earlier, this project site secured its Planned Development permit entitlements in 1968 and has operated under this permit until late September 2019. The project has been designed in conformance with the Town of Los Gatos zoning requirements for Planned Development (PD) overlay zones as described further below. As per the Municipal Code, Development in a PD zone must be in accordance with the approved "development plan". The Town of Los Gatos Municipal Code provides that the development plan must contain:

- a land use plan locating all proposed uses,
- a tentative site plan,
- schematic architectural elevations of all buildings and structures in relationship to each other.
- a schedule for any phasing of development,
- a tabulation of land area including the entire planned development,
- the floor area of each occupancy,
- the proposed number of off-street parking spaces, and
- grading, soils, and geologic information.¹

Our project application includes each of these "development plan" requirements.

As per the intent of the PD Ordinance, the PD zoning allows uses not ordinarily possible, only if the use and development are in compliance with the complete development plan. Further, all uses in the PD zone are permitted to the extent specified in the development plan². All uses identified in the rebuild project, are in compliance with the current PD zoning permit approved by Ordinance NO. 938 in 1968.

As per the Municipal Code, any ordinance that would rezone land to a PD zone must incorporate the development plan³. In addition, changes in the approved development plan must be made by ordinance⁴. Planned Development overlay zones also include projects that i) provide a public benefit to the citizens of the Town, ii) are designed to preserve and enhance conservation and enrichment of hillsides and ridgelines, iii) produce affordable housing and iv) maximize open space.

The proposed project would also increase the amount of onsite open space from 75.4% to 77.5%, consistent with the prevailing Planned Development zoning overlay requirement, of maximizing

¹ Section 29.80.080 of the Town Municipal Code

² Section 29.80.110 of the Town Municipal Code

 $^{^{\}mathrm{3}}$ Section 29.80.125 of the Town Municipal Code

⁴ Section 29.80.145 of the Town Municipal Code

open space⁵. The open space would be controlled by topography, use of underground parking, and specific building location, in order to preserve and enhance the hillsides and ridgeline. The proposed project will also include a development plan that includes all the requirements provided.

The project would provide seniors with care housing that is subject to comprehensive statewide regulatory controls and oversite. The California Community Care Facilities Act and associated regulations establish a robust regulatory system relating to matters such as rates and refunds, personnel and administration, financing, admission agreements, and eviction proceedings. The project would not be subject to the Town's inclusionary housing requirements because state law prohibits local agencies from imposing rent controls on licensed residential care facilities for the elderly. (Health & Safety Code § 1569.147(b).) As a practical matter, it is not possible to operate a facility such as this under two different regulatory systems affecting rent and pricing. (*See Ocean House Corp. v. Permanent Rent Control Board of the City of Santa Monica*, 147 Cal. App. 3d 395 (1983).) However, the project would provide intrinsic housing benefits and it would not result in any housing impacts. Onsite employment and indirect demand for professional and other services is expected to be consistent with that of the existing care facility. Thus, the project would not contribute to any increased need for affordable housing in the community.

⁵ Section 29.80.075 of the Town Municipal Code

Appendix D

Listing of Meetings with Neighbors and Community

Type of Meeting	Date	Time	Location	Attendee	Notes from Meeting	Outcome
Open House 1	03/08/18	7:30-9PM	Los Gatos	Maria Ristow, Irving & Evelyn	General introduction of intent to rebuild	Kicked-off neighborhood
			Meadows	Mitsunaga, Robert Mullan(Toll House)	Los Gatos Meadows	communications plan
Open House 2	04/18/18	7-8PM	Los Gatos	Julie Ritter Southern, Maria Ristow,	General introduction of intent to rebuild	Kicked-off neighborhood
			Meadows	Claire Leclaire, Cathy Colgan	Los Gatos Meadows; similar material to first	communications plan
					meeting	
Open House 3	05/03/18	7-8PM	Los Gatos	Karen Kurtz, Linda Iversen, Sue Fairley	Attendees interested in architecture and	Design team elevated analysis of
			Meadows		supplemental transportation options	supplemental transportation
						alternatives
Open House 4	05/20/18	3-4PM	Los Gatos	John and Jean Richardson, Stanford	Questions related to timeline, storm	Resolved current storm drain issue
			Meadows	Stickney and 3 other family members	drainage, and fire risk	and initiated planning to mitigate
						fire risk through brush removal
Focus Groups	10/2/2018 -	Varies	Toll House	36 older adults participated in 3	Sensitive to how various attributes or	Design team made applicable
(3 Sessions)	10/3/2018			sessions. Participants were drawn from	requirements may drive cost, supplemental	refinements to concept plan
				the local area. Participants were	transportation system very important,	
				promised confidentiality.	limited enthusiasm for LEED certification	
					but recycling and energy efficiency	
					important, limited enthusiasm for	
					facilitating non-residents/non-guests on	
					campus, preference for larger, more	
					spacious units, recommendation to	
					minimize long corridors, preference for	
					multiple dining venues and ample on-site	
					amenities such as fitness center, walking	
					trails, access to town, casual dining, library,	
					coffee shop, and access to on-site support	
					care.	
Open House 5	12/06/18	7-8PM	Los Gatos	Julie Ritter Southern, Matt and Marlena	Question about timing, policy related to	Feedback informed further
			Meadows	Hood and friend, Mike Wasserman	relocation of existing residents, impact on	refinement to concept plan. With
					visibility to neighbors above, use of solar	regard to Wood Road traffic
					panels and roof color, impacts on traffic	impacts, design team is prioritizing
					(with specific concerns about summer	minimizing errant trips up Wood
					traffic), site security during closure,	Road past the main entrance, and
					parking, noise impacts and construction	more importantly, further
					parking. Requested advance notifications	prioritizing the supplemental
					of all construction work that could affect	transportation system to convert
					access. Some residents on Wood Road	more trips to autonomous vehicle,
					would prefer that Farwell Lane continue to	pedestrian or bike trips. Also,
					support regular vehicle traffic. A video	currently planning to include solar
					summary of the meeting was posted at:	panels.
Onen Haves C	10/10/10	7 0014	Tell Herres	Iulia Dittar Cauthara Maria Distau	https://vimeo.com/278024461	Confirmed that project not
Open House 6	10/10/19	7-8PM	Toll House	Julie Ritter Southern, Maria Ristow, Jamie Garcia & Friend, Irving & Evelyn	Questions about Wood Road traffic, availability of Wood Road for evacuation,	Confirmed that project not expected to affect housing
				Mitsunaga	potential impact of project on housing	element. Planning to deploy goats
				Witsunaga	element, and recommendation to deploy	on property this spring; planning to
					goats to further reduce fire risk. Request	make commitment to make Wood
					for copy of facts and figures table.	Road available for evacuation
					.s. copy of facts and figures table.	during emergencies.
Open House 7	03/05/20	7-8PM	Los Gatos United	None	General heightened sensitivity due to	Produced and circulated video
open nouse /	00,00,20	, 0	Methodist Church		COVID-19 may have been a factor in	update; available at Covia/Los
			meenouse charen		suppressing turnout.	Gatos Meadows website
						https://covia.org/los-gatos-
						meadows/
						III Eau OWS/
Onen House 8	12/03/20	7-8PM	Zoom Meeting	Julie Ritter Southern Fred Lester Matt	Green roof (Fred), Solar (Julie), incline	
Open House 8	12/03/20	7-8PM	Zoom Meeting	Julie Ritter Southern, Fred Lester, Matt	Green roof (Fred), Solar (Julie), incline	Provided advance notice of intent
Open House 8	12/03/20	7-8PM	Zoom Meeting	Wood, Zane Rowe, Gary/Jamie Garcia,	elevator (Fred), security current through	Provided advance notice of intent to seek modification to Town's
Open House 8	12/03/20	7-8PM	Zoom Meeting	Wood, Zane Rowe, Gary/Jamie Garcia, Clair LaClair, Evelyn/Irving Mitsunaga,	elevator (Fred), security current through construction (Matt), views from 135 Wood	Provided advance notice of intent
Open House 8	12/03/20	7-8PM	Zoom Meeting	Wood, Zane Rowe, Gary/Jamie Garcia,	elevator (Fred), security current through construction (Matt), views from 135 Wood and story pole modification request (Julie),	Provided advance notice of intent to seek modification to Town's
Open House 8	12/03/20	7-8PM	Zoom Meeting	Wood, Zane Rowe, Gary/Jamie Garcia, Clair LaClair, Evelyn/Irving Mitsunaga,	elevator (Fred), security current through construction (Matt), views from 135 Wood and story pole modification request (Julie), visualization from 100 Wood Rd (Matt),	Provided advance notice of intent to seek modification to Town's
Open House 8	12/03/20	7-8PM	Zoom Meeting	Wood, Zane Rowe, Gary/Jamie Garcia, Clair LaClair, Evelyn/Irving Mitsunaga,	elevator (Fred), security current through construction (Matt), views from 135 Wood and story pole modification request (Julie),	Provided advance notice of intent to seek modification to Town's

Appendix D

Listing of Meetings with Neighbors and Community

Type of Meeting	Date	Time	Location	Attendee	Notes from Meeting	Outcome
Public Hearing -	01/19/21	7-9PM	Zoom Meeting	Town Council and Town Staff (in	No public comments; council members	Consideration for request
Story Pole				advance of meeting, staff received	discussed merits and concerns regarding	continued to future council
Exception				letters from Claire Southern, Matthew	proposal	meeting
Request				Southern and Mark Rigoli (via Council		
				Member Maria Ristow)		
NOP Meeting	02/25/21	7-7:15PM	Zoom Meeting	Presenters: Joel Paulson, Jocelyn	Matt Hood inquired about availability of	
				Shoopman, Sean Mullin, Terri Wissler	video recording of the NOP meeting	
				Adam (EMC Planning).		
				Public Attendees: Matt Hood		
Open House 9	08/09/21	7-8PM	TBD			
(Future Meeting)						

Appendix E	
Listing of Co	mmunications

2/7/2018	DESCRIPTION	CONSTITUENCY	COMM_TYPE	INDIVIDUALS	COVIA_TEAM_REPRESENTATIVES
2/27/2018	Meeting with Town Attorney and Planning	i e e e e e e e e e e e e e e e e e e e	In-Person Meeting	Laurel Prevetti, Joel Paulson, Robert Schultz	Frank Rockwood, Laura Worthington-Forbes, Barbara Schussman
	Meeting with Fire Department	Town	In-Person Meeting	Fardean Amadhani, Tracy Staiger	Frank Rockwood, Mark Falgout
3/8/2018	Open House 1 Invitation	Neighbors	Letter	[Sent to neighborhood distribution list]	Letter from Kevin Gerber
	Tour with Town Staff	Town	Tour	Laurel Prevetti, Joel Paulson	Frank Rockwood, Kevin Gerber, Chris Ichien, Eric
3/8/2018	Open House 1 meeting	Neighbors	In-Person Meeting	Maria Ristow, Irving & Evelyn Mitsunaga, Robert	Morley Frank Rockwood, Chris Ichien, Eric Morley, Kevin
3/8/2018	Resident Council 1 Meeting	Residents	In-Person Meeting	Mullan (Toll House) [Los Gatos Meadows residents]	Gerber, Ron Schaefer Frank Rockwood, Chris Ichien, Eric Morley, Kevin
	_		_		Gerber, Ron Schaefer
4/2/2018	Open House 2 Invitation	Neighbors	Letter/Email	[Sent to neighborhood distribution list]	Letter from Chris Ichien
4/8/2018	Ristow	Neighbors	NextDoor		
	Meeting with Toll House Hotel	Organizations	In-Person Meeting	Jason Bogan, Robert Mullan	Frank Rockwood
4/18/2018	Open House 2 meeting	Neighbors	In-Person Meeting	Julie Ritter Southern, Maria Ristow, Claire LeClair, Cathy Colgan	Chris Ichien, Frank Rockwood, Mark Falgout, Eric Morley
4/18/2018	Resident Council 2 Meeting	Residents	In-Person Meeting	[Los Gatos Meadows residents]	Chris Ichien, Frank Rockwood, Mark Falgout, Eric Morley
4/23/2018	Tour with Council Member	Town	Tour	Barbara Spector	Chris Ichien, Frank Rockwood, Mary McMullin, Eric Morley
4/23/2018	Meeting with Town Attorney	Town	In-Person Meeting	Robert Schultz, Joel Paulson	Bill Tobin, Frank Rockwood, Eric Morley, Barbara Schussman
4/24/2018	Open House 3 & 4 Invitation	Neighbors	Letter/Email	[Sent to neighborhood & local businesses distribution	Letter from Chris Ichien; email from Frank Rockwood
	Meeting with Toll House	Organizations	In-Person Meeting	list] Jason Bogan	Frank Rockwood
	Meeting with Town Official	Town	In-Person Meeting	Monica Renn	Frank Rockwood
4/30/2018	Tour with Council Member	Town	Tour	Marico Sayoc	Chris Ichien, Frank Rockwood, Diana Jamison, Eric Morley
5/1/2018	Open House 3 Next Door Posting by Ristow	Neighbors	NextDoor		
5/3/2018	Meeting with Toll House business	Organizations	In-Person Meeting	Fred Lester, Dave Lazzarini (at the beginning)	Frank Rockwood, Eric Morley
5/3/2018	Open House 3 meeting	Neighbors	In-Person Meeting	Kurtz, Fairey, Iversen (and Mike Vrevich resident)	David Gates, Chris Ichien, Ron Schaefer, F Rockwood, Mark Falgout, E Morley
5/3/2018	Resident Council 3 Meeting	Residents	In-Person Meeting	[Los Gatos Meadows residents]	David Gates, Chris Ichien, Ron Schaefer, Frank Rockwood
5/3/2018	Meeting with Fire	Town	In-Person Meeting	Fardean Amadhani, Tracy Staiger	Frank Rockwood, Mark Falgout, Eric Morley
5/3/2018	Meeting with Planning	Town	In-Person Meeting	Joel Paulson	Frank Rockwood, Mark Falgout
5/4/2018	Tour with Council Member	Town	Tour	Rob Rennie	Chris Ichien, Frank Rockwood, Kevin Gerber, Eric
5/3/2018	Tour with Council Member	Town	Tour	Marcia Jensen	Morley Chris Ichien, Frank Rockwood, Mary McMullin, Eric
5/4/2018	Meeting with Public Works	Town	In-Person Meeting	Jessy Pu, Lisa Pedersen	Morley Frank Rockwood, Mark Falgout, Eric Morley
5/4/2018	Tour with Mayor	Town	Tour	Rob Rennie	Chris Ichien, Frank Rockwood, Kevin Gerber, Eric
5/10/2018	Open House 4 Invitation	Neighbors/Organizations	Letter/Email	[Sent to neighborhood & local businesses distribution list]	Morley Letter from Chris Ichien; email from Frank Rockwood
5/17/2018	Emailed Director of Chamber of	Organizations	Email	Joe Pirzynski	Email from Frank Rockwood
	Open House 4 meeting	Neighbors	In-Person Meeting	John and Jean Richardson, Stanford Stickney and 3 other family members	David Gates, Chris Ichien, Bill Tobin, F Rockwood, Mark Falgout
5/22/2018	Emailed Julie Ritter Southern	Neighbors	Email	Julie Ritter Southern	Email from Frank Rockwood
	Emailed Los Gatos Roasting Company	Organizations	Email	Teri Hope	Email from Frank Rockwood
	Emailed McCarthy Ranch	Organizations	Email	Joey McCarthy	Email from Frank Rockwood
		Organizations	Email	Ginger Rowe	Email from Frank Rockwood
	Emailed Julie Ritter Southern	Neighbors	Email	Julie Ritter Southern	Email from Frank Rockwood
6/11/2018	Emailed Time Out Clothing	Organizations	Email	Ginger Rowe	Email from Frank Rockwood
	Meeting with Los Gatos Roasting	Organizations	In-Person Meeting	Teri Hope	Frank and Susan Rockwood
	Meeting with McCarthy Ranch	Organizations	In-Person Meeting	Joey McCarthy	Frank and Susan Rockwood
6/15/2018	Stopped Rural Supply Hardware	Organizations	In-Person Meeting	Ken Nelson	Frank and Susan Rockwood
6/15/2018 6/15/2018				Met with receptionist (Izzy)	Frank and Susan Rockwood
6/15/2018 6/15/2018 6/15/2018	Stopped by Cucina Bambina	Organizations	In-Person Meeting		
6/15/2018 6/15/2018 6/15/2018 6/15/2018	Stopped by The Spa - Los Gatos	Organizations	In-Person Meeting	Met with receptionist	Frank and Susan Rockwood
6/15/2018 6/15/2018 6/15/2018 6/15/2018 6/25/2018	Stopped by The Spa - Los Gatos Meeting with Time Out Clothing	Organizations Organizations	In-Person Meeting In-Person Meeting	Met with receptionist Ginger Rowe	Frank and Susan Rockwood Frank and Susan Rockwood
6/15/2018 6/15/2018 6/15/2018 6/15/2018 6/25/2018 6/25/2018	Stopped by The Spa - Los Gatos Meeting with Time Out Clothing Meeting to review views of neighbor	Organizations Organizations Neighbors	In-Person Meeting In-Person Meeting In-Person Meeting	Met with receptionist Ginger Rowe Julie Ritter Southern	Frank and Susan Rockwood Frank and Susan Rockwood Frank Rockwood and Chris Ichien
6/15/2018 6/15/2018 6/15/2018 6/15/2018 6/25/2018 6/25/2018 6/26/2018	Stopped by The Spa - Los Gatos Meeting with Time Out Clothing Meeting to review views of neighbor Call with Town Not City Representative	Organizations Organizations Neighbors Organizations	In-Person Meeting In-Person Meeting In-Person Meeting Call	Met with receptionist Ginger Rowe Julie Ritter Southern Rod Teague	Frank and Susan Rockwood Frank and Susan Rockwood Frank Rockwood and Chris Ichien Frank Rockwood
6/15/2018 6/15/2018 6/15/2018 6/15/2018 6/25/2018 6/25/2018 6/26/2018 6/27/2018	Stopped by The Spa - Los Gatos Meeting with Time Out Clothing Meeting to review views of neighbor Call with Town Not City Representative Emailed UMC and Live Oak	Organizations Organizations Neighbors Organizations Organizations Organizations	In-Person Meeting In-Person Meeting In-Person Meeting Call Email	Met with receptionist Ginger Rowe Julie Ritter Southern Rod Teague Jennifer Murdock, Trudy Burling	Frank and Susan Rockwood Frank and Susan Rockwood Frank Rockwood and Chris Ichien Frank Rockwood Email from Frank Rockwood
6/15/2018 6/15/2018 6/15/2018 6/15/2018 6/25/2018 6/25/2018 6/25/2018 6/26/2018 6/27/2018 7/13/2018	Stopped by The Spa - Los Gatos Meeting with Time Out Clothing Meeting to review views of neighbor Call with Town Not City Representative Emailed UMC and Live Oak Meeting with Chamber	Organizations Organizations Neighbors Organizations	In-Person Meeting In-Person Meeting In-Person Meeting Call	Met with receptionist Ginger Rowe Julie Ritter Southern Rod Teague	Frank and Susan Rockwood Frank and Susan Rockwood Frank Rockwood and Chris Ichien Frank Rockwood
6/15/2018 6/15/2018 6/15/2018 6/15/2018 6/15/2018 6/25/2018 6/25/2018 6/26/2018 6/27/2018 7/13/2018 7/13/2018	Stopped by The Spa - Los Gatos Meeting with Time Out Clothing Meeting to review views of neighbor Call with Town Not City Representative Emailed UMC and Live Oak Meeting with Chamber Meeting with The Spa - Los Gatos	Organizations Organizations Neighbors Organizations Organizations Organizations Organizations	In-Person Meeting In-Person Meeting In-Person Meeting Call Email In-Person Meeting	Met with receptionist Ginger Rowe Julie Ritter Southern Rod Teague Jennifer Murdock, Trudy Burling Joe Pirzynski	Frank and Susan Rockwood Frank and Susan Rockwood Frank Rockwood and Chris Ichien Frank Rockwood Email from Frank Rockwood Frank Rockwood, Chris Ichien Frank Rockwood
6/15/2018 6/15/2018 6/15/2018 6/15/2018 6/25/2018 6/25/2018 6/25/2018 6/26/2018 6/27/2018 7/13/2018 7/13/2018 7/17/2018	Stopped by The Spa - Los Gatos Meeting with Time Out Clothing Meeting to review views of neighbor Call with Town Not City Representative Emailed UMC and Live Oak Meeting with Chamber Meeting with The Spa - Los Gatos Open House 5 & 6 Invitation and Open	Organizations Organizations Neighbors Organizations Organizations Organizations Organizations Organizations	In-Person Meeting In-Person Meeting In-Person Meeting Call Email In-Person Meeting In-Person Meeting	Met with receptionist Ginger Rowe Julie Ritter Southern Rod Teague Jennifer Murdock, Trudy Burling Joe Pirzynski Patti Rice [Sent to neighborhood & local businesses distribution	Frank and Susan Rockwood Frank and Susan Rockwood Frank Rockwood and Chris Ichien Frank Rockwood Email from Frank Rockwood Frank Rockwood, Chris Ichien Frank Rockwood
6/15/2018 6/15/2018 6/15/2018 6/15/2018 6/25/2018 6/25/2018 6/25/2018 6/26/2018 6/27/2018 7/13/2018 7/13/2018 7/17/2018	Stopped by The Spa - Los Gatos Meeting with Time Out Clothing Meeting to review views of neighbor Call with Town Not City Representative Emailed UMC and Live Oak Meeting with Chamber Meeting with The Spa - Los Gatos Open House 5 & 6 Invitation and Open House 4 Video Link	Organizations Organizations Neighbors Organizations Organizations Organizations Organizations Organizations Organizations Neighbors/Organizations	In-Person Meeting In-Person Meeting In-Person Meeting Call Email In-Person Meeting In-Person Meeting Letter/Email	Met with receptionist Ginger Rowe Julie Ritter Southern Rod Teague Jennifer Murdock, Trudy Burling Joe Pirzynski Patti Rice [Sent to neighborhood & local businesses distribution	Frank and Susan Rockwood Frank and Susan Rockwood Frank Rockwood and Chris Ichien Frank Rockwood Email from Frank Rockwood Frank Rockwood, Chris Ichien Frank Rockwood
6/15/2018 6/15/2018 6/15/2018 6/15/2018 6/15/2018 6/25/2018 6/25/2018 6/25/2018 6/27/2018 7/13/2018 7/13/2018 7/17/2018 7/18/2018 7/18/2018	Stopped by The Spa - Los Gatos Meeting with Time Out Clothing Meeting to review views of neighbor Call with Town Not City Representative Emailed UMC and Live Oak Meeting with Chamber Meeting with The Spa - Los Gatos Open House 5 & 6 Invitation and Open House 4 Video Link NextDoor Posting about video	Organizations Organizations Neighbors Organizations Organizations Organizations Organizations Organizations Organizations Neighbors/Organizations Neighbors/Organizations	In-Person Meeting In-Person Meeting In-Person Meeting Call Email In-Person Meeting In-Person Meeting Letter/Email NextDoor	Met with receptionist Ginger Rowe Julie Ritter Southern Rod Teague Jennifer Murdock, Trudy Burling Joe Pirzynski Patti Rice [Sent to neighborhood & local businesses distribution list]	Frank and Susan Rockwood Frank and Susan Rockwood Frank Rockwood and Chris Ichien Frank Rockwood Email from Frank Rockwood Frank Rockwood, Chris Ichien Frank Rockwood Letter from Chris Ichien; email from Frank Rockwood
6/15/2018 6/15/2018 6/15/2018 6/15/2018 6/25/2018 6/25/2018 6/25/2018 6/26/2018 6/27/2018 7/13/2018 7/13/2018 7/17/2018 7/18/2018 7/19/2018	Stopped by The Spa - Los Gatos Meeting with Time Out Clothing Meeting to review views of neighbor Call with Town Not City Representative Emailed UMC and Live Oak Meeting with Chamber Meeting with The Spa - Los Gatos Open House 5 & 6 Invitation and Open House 4 Video Link NextDoor Posting about video Meeting with Live Oak and LGUMC Emailed neighbor who reached out	Organizations Organizations Neighbors Organizations Organizations Organizations Organizations Organizations Neighbors/Organizations Neighbors/Organizations Organizations	In-Person Meeting In-Person Meeting In-Person Meeting Call Email In-Person Meeting In-Person Meeting Letter/Email NextDoor In-Person Meeting	Met with receptionist Ginger Rowe Julie Ritter Southern Rod Teague Jennifer Murdock, Trudy Burling Joe Pirzynski Patti Rice [Sent to neighborhood & local businesses distribution list] Jennifer Murdock, Trudy Burling, Kathy Mlinarich	Frank and Susan Rockwood Frank and Susan Rockwood Frank Rockwood and Chris Ichien Frank Rockwood Email from Frank Rockwood Frank Rockwood, Chris Ichien Frank Rockwood Letter from Chris Ichien; email from Frank Rockwood
6/15/2018 6/15/2018 6/15/2018 6/15/2018 6/25/2018 6/25/2018 6/25/2018 6/26/2018 6/27/2018 7/13/2018 7/13/2018 7/19/2018 7/19/2018 7/20/2018 7/20/2018	Stopped by The Spa - Los Gatos Meeting with Time Out Clothing Meeting to review views of neighbor Call with Town Not City Representative Emailed UMC and Live Oak Meeting with Chamber Meeting with The Spa - Los Gatos Open House 5 & 6 Invitation and Open House 4 Video Link NextDoor Posting about video Meeting with Live Oak and LGUMC Emailed neighbor who reached out	Organizations Organizations Neighbors Organizations Organizations Organizations Organizations Organizations Neighbors/Organizations Neighbors/Organizations Organizations Neighbors/Organizations Organizations Neighbors	In-Person Meeting In-Person Meeting In-Person Meeting Call Email In-Person Meeting In-Person Meeting In-Person Meeting Letter/Email NextDoor In-Person Meeting Email	Met with receptionist Ginger Rowe Julie Ritter Southern Rod Teague Jennifer Murdock, Trudy Burling Joe Pirzynski Patti Rice [Sent to neighborhood & local businesses distribution list] Jennifer Murdock, Trudy Burling, Kathy Mlinarich James Holtz	Frank and Susan Rockwood Frank and Susan Rockwood Frank Rockwood and Chris Ichien Frank Rockwood Email from Frank Rockwood Frank Rockwood, Chris Ichien Frank Rockwood Letter from Chris Ichien; email from Frank Rockwood Frank Rockwood Letter from Chris Ichien; email from Frank Rockwood Frank Rockwood and Laura Worthington-Forbes Email from Frank Rockwood
6/15/2018 6/15/2018 6/15/2018 6/15/2018 6/25/2018 6/25/2018 6/25/2018 6/26/2018 6/27/2018 7/13/2018 7/13/2018 7/19/2018 7/19/2018 7/20/2018 7/20/2018 7/23/2018 7/23/2018 7/23/2018	Stopped by The Spa - Los Gatos Meeting with Time Out Clothing Meeting to review views of neighbor Call with Town Not City Representative Emailed UMC and Live Oak Meeting with Chamber Meeting with The Spa - Los Gatos Open House 5 & 6 Invitation and Open House 4 Video Link NextDoor Posting about video Meeting with Live Oak and LGUMC Emailed neighbor who reached out Emailed meeting invitation Emailed meeting invitation Call with Shelly Blanchard	Organizations Organizations Neighbors Organizations Organizations Organizations Organizations Organizations Neighbors/Organizations Neighbors/Organizations Neighbors Organizations Organizations Organizations Organizations Organizations Organizations Organizations Organizations	In-Person Meeting In-Person Meeting In-Person Meeting Call Email In-Person Meeting In-Person Meeting Letter/Email NextDoor In-Person Meeting Email Email	Met with receptionist Ginger Rowe Julie Ritter Southern Rod Teague Jennifer Murdock, Trudy Burling Joe Pirzynski Patti Rice [Sent to neighborhood & local businesses distribution list] Jennifer Murdock, Trudy Burling, Kathy Mlinarich James Holtz Ron Tate	Frank and Susan Rockwood Frank and Susan Rockwood Frank Rockwood and Chris Ichien Frank Rockwood Email from Frank Rockwood Frank Rockwood, Chris Ichien Frank Rockwood Letter from Chris Ichien; email from Frank Rockwood Frank Rockwood and Laura Worthington-Forbes Email from Frank Rockwood Email from Frank Rockwood
6/15/2018 6/15/2018 6/15/2018 6/15/2018 6/25/2018 6/25/2018 6/25/2018 6/26/2018 6/27/2018 7/13/2018 7/13/2018 7/17/2018 7/18/2018 7/20/2018 7/23/2018 7/23/2018 7/24/2018	Stopped by The Spa - Los Gatos Meeting with Time Out Clothing Meeting to review views of neighbor Call with Town Not City Representative Emailed UMC and Live Oak Meeting with Chamber Meeting with The Spa - Los Gatos Open House 5 & 6 Invitation and Open House 4 Video Link NextDoor Posting about video Meeting with Live Oak and LGUMC Emailed neighbor who reached out Emailed meeting invitation Emailed meeting invitation	Organizations Organizations Neighbors Organizations Organizations Organizations Organizations Organizations Neighbors/Organizations Neighbors/Organizations Neighbors Organizations Organizations Organizations Organizations Organizations Organizations	In-Person Meeting In-Person Meeting In-Person Meeting Call Email In-Person Meeting In-Person Meeting In-Person Meeting Letter/Email NextDoor In-Person Meeting Email Email Email	Met with receptionist Ginger Rowe Julie Ritter Southern Rod Teague Jennifer Murdock, Trudy Burling Joe Pirzynski Patti Rice [Sent to neighborhood & local businesses distribution list] Jennifer Murdock, Trudy Burling, Kathy Mlinarich James Holtz Ron Tate Shelly Blanchard	Frank and Susan Rockwood Frank and Susan Rockwood Frank Rockwood and Chris Ichien Frank Rockwood Email from Frank Rockwood Frank Rockwood, Chris Ichien Frank Rockwood Letter from Chris Ichien; email from Frank Rockwood Frank Rockwood and Laura Worthington-Forbes Email from Frank Rockwood Email from Frank Rockwood Email from Frank Rockwood

Appendix E Listing of Communications

DATE	DESCRIPTION	CONSTITUENCY	COMM_TYPE	INDIVIDUALS	COVIA_TEAM_REPRESENTATIVES
	Email from Maria Ristow	Neighbors	Email	Maria Ristow	Email from Frank Rockwood
	Email from Joe Pirzynski	Organizations	Email	Joe Pirzynski	Email from Frank Rockwood
8/28/2018	Announcement re: rescheduling Open House 5 & 6 and commencement of focus groups	Neighbors/Organizations	Letter/Email	[Sent to neighborhood & local businesses distribution list]	Letter from Chris Ichien; email from Frank Rockwood
8/30/2018	James Holtz emailed re: focus group	Neighbors	Email	James Holtz	Email from Frank Rockwood
	Survey mailed to people in Town and vicinity	Neighbors/Vicinity	Letter	[Sent to neighborhood distribution list + mailing list for vicinity]	Brook Adams
10/2/2018; 10/3/2018	Focus Groups	Neighbors/Vicinity	In-Person Meeting	3 focus groups of about 12 each	Brook Adams
	Meeting with Town Staff	Town	In-Person Meeting	Laurel Prevetti, Joel Paulson, Robert Schultz	Frank Rockwood, Laura Worthington-Forbes, Eric Morley, Chris Ichien, Barbara Schussman
11/9/2018	Open House 5 Invitation	Neighbors	Letter/Email	[Sent to neighborhood & local businesses distribution list]	Letter from Chris Ichien; email from Frank Rockwood
12/6/2018	Open House 5	Neighbors	In-Person Meeting	Julie Southern, Matt and Marlena Hood and friend, Mike Wasserman	D Gates, C Ichien, A Pelley, F Rockwood, M Falgout, E Morley, M McMullin, L Darling
12/6/2018	Resident Council #5 Meeting	Residents	In-Person Meeting	[Los Gatos Meadows residents]	D Gates, C Ichien, A Pelley, F Rockwood, M Falgout, E Morley, K Gerber, M McMullin, L Darling
12/7/2018	Public Works Meeting	Town	In-Person Meeting	Jessy Pu, Lisa Pedersen	Frank Rockwood, Susan Rockwood, Mark Falgout
12/11/2018	Meeting with Town Staff	Town	In-Person Meeting	Laurel Prevetti, Joel Paulson	Frank Rockwood, Eric Morley, Chris Ichien, Mark Falgout
12/11/2018	Meeting w/Town Not City	Organizations	In-Person Meeting	Rod Teague	Frank and Susan Rockwood, Eric Morley, Chris Ichien
	Meeting with Council Member Marico Sayoc	Town	In-Person Meeting	Marico Sayoc	Frank Rockwood, Eric Morley, Chris Ichien
12/12/2018	Meeting with Council Member Steve Leonardis	Town	In-Person Meeting	Steve Leonardis	Frank Rockwood, Eric Morley, Chris Ichien
	Meeting with Chamber	Organizations	In-Person Meeting	Joe Pirzynski, Catherine Somers	Frank Rockwood, Eric Morley, Chris Ichien
	Meeting with Toll House	Organizations	In-Person Meeting	Jason Bogan	Frank and Susan Rockwood, Victor Ceron
	Meeting with Council Member Rob	Town	In-Person Meeting	Rob Rennie	Frank Rockwood, Eric Morley, Kiran Kaur
	Meeting with Council Member Barbara Spector	Town	In-Person Meeting	Barbara Spector	Frank Rockwood, Mary McMullin
	Emailed link to Open House 5 Video	Town/Org/Neighbors	Email	[sent to email distribution list]	Frank Rockwood
1/29/2019	Meeting with Council Member Marcia Jensen	Town	In-Person Meeting	Marcia Jensen	Frank Rockwood, Mary McMullin, Chris Ichien
		Neighbors	Email	Maria Ristow, Matt Hood	Frank Rockwood
	Phone Conversation with Rod Teague	Organizations	Call	Rod Teague	Frank Rockwood
	Emails with Fred Lester re: Oak Trees	Organizations	Email	Fred Lester	Frank Rockwood
	Meeting with Caroline and Marc Philippe	Neighbors	In-Person Meeting	Caroline and Marc Philippe	Frank Rockwood, Victor Ceron
	Meeting with Julie Ritter Julie Ritter Emailed re: project status	Neighbors	In-Person Meeting Email	Julie Ritter Southern Julie Ritter Southern	Frank Rockwood, Victor Ceron Email from Frank Rockwood
7/8/2019	Email with Caroline Phillippe re:	Neighbors Neighbors	Email	Caroline and Marc Philippe	Frank Rockwood
	ADU/vineyard	-		· ·	
8/5/2019 8/5/2019	Meeting with Toll House Hotel Conversation with John Richardson re:	Organizations Neighbors	In-Person Meeting Call	Jason Bogan John Richardson	Frank Rockwood Frank Rockwood
	status				
	Meeting with Joel Paulson and Laurel Prevetti	Town	In-Person Meeting	Joel Paulson, Laurel Prevetti	Frank Rockwood, Laura Worthington-Forbes, David Gates, Chris Ichien
	Meeting with Catherine Somers from Chamber	Organizations	In-Person Meeting	Catherine Somers	Frank Rockwood, Chris Ichien
8/15/2019; 8/17/2019	Open House 6 Invitation and FAQ's	Neighbors/Organizations	Letter/Email	[Sent to neighborhood & local businesses distribution list]	Letter from Chris Ichien; email from Frank Rockwood
9/24/2019	Meeting with Toll House Hotel	Organizations	-	Abel Veloz	Frank Rockwood, Victor Ceron
	Meeting with Fred Lester	Organizations	In-Person Meeting	Fred Lester and his wife	Frank Rockwood, Victor Ceron
	Meeting with Senior Commission	Town	In-Person Meeting	Arn Andrews, Commission Members Julio Hernandez, SDA Church	Frank and Susan Rockwood Victor Ceron
	Meeting with Julio Hernandez, SDA Open House 6 at Toll House Hotel	Town Neighbors	In-Person Meeting In-Person Meeting	Julie Ritter Southern, Jaime Garcia & friend, Irving &	F Rockwood, M Falgout, D Gates, C Ichien, V Ceron, V
10/14/2019	Response re: OH 6 Questions re: schedule and security and goats	Neighbors	Email	Evelyn Mitsunaga, Maria Ristow Maria Ristow, Julie Ritter Southern, Irving and Evelyn Mitsunaga, Jaime Garcia	Troncosco, P Hillan Frank Rockwood
10/25/2019	Email Intro to New Neighbor	Neighbors	Email	Zane Rowe (bought Phillipe property)	Frank Rockwood
	Meeting with Town	Town	In-Person Meeting	Joel Paulson, Sally Zarnowitz, Jocelyn Shoopman	Frank Rockwood, Laura Worthington-Forbes, David
2/6/2020	Site Visit with Town Staff	Town	In-Person Meeting	Jocelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Gray, Corvell Sparks	Hance Frank Rockwood, Victor Ceron, Chris Ichien, Vincent Troncoso
2/11/2020	Letter from Neighbor to Town Staff re: Broadway	Neighbor/Town	Letter	Julie Ritter Southern	NA NA
2/12/2020	Technical Review	Town	In-Person Meeting	Jocelyn Shoopman, Sally Zarnowitz, Bob Gray, Tracy	Frank Rockwood, Arch Pelley, Mark Falgout, Kimmy
2/13/2020	Open House 7 Invitation and FAQ's	Neighbors/Organizations	Letter/Email	Staiger [Sent to neighborhood & local businesses distribution liet]	Chen Letter from Chris Ichien; email from Frank Rockwood
3/5/2020	Open House 7 at Los Gatos United Methodist Church	Neighbors	In-Person Meeting	list] None	Frank Rockwood, Chris Ichien, Victor Ceron, Mark Falgout, David Gates
	in caroust church	<u> </u>	I .	<u>I</u>	r argour, David Gates

Append	ix E	
Listing o	of Commu	nications

DATE	DESCRIPTION	CONSTITUENCY	COMM_TYPE	INDIVIDUALS	COVIA_TEAM_REPRESENTATIVES
3/10/2020	Maria Ristow inquired re: Open House 7; response addressed possible alternatives to in-person meetings; communicated that Covia is targeting distribution of video summary in May; appreciative of	Neighbors	Email	Maria Ristow	Emails to/from Frank Rockwood
4/2/2020	goats John Richardson inquired re: status;	Neighbors	Email	John Richardson	Emails to/from Frank Rockwood
4/4 4/2020	resent February FAQ; communicated that Covia is targeting distribution of video	No. to be to a second	Essell.	L. P. Diver Co. allows	Fuellet Key Food Bade and
	Julie Ritter Southern inquired re: status; complained re: unsightly trash bin; appreciative of goats; responded that Covia is targeting distribution of video summary; committed to removal of unsightly trash bin	Neighbors	Email	Julie Ritter Southern	Emails to/from Frank Rockwood
5/31/2020	Sent link to summary video to neighbors; updated Covia website with link to summary video	Neighbors	Email	[Sent to neighborhood]	Frank Rockwood
	Meeting with Town Staff	Town	Video Meeting	Jocelyn Shoopman	Frank Rockwood, Arch Pelley, Melissa Destout
	Meeting with Fire Department Zane Rowe acknowledged receipt of May 31st email; interested in meeting in person when things return to normal	Town Neighbors	Video Meeting	Tracy Staiger, Kathy Baker Zane Rowe	Frank Rockwood, Mark Falgout, Matt Lissak Emails to/from Frank Rockwood
6/10/2020	Meeting with Town Staff re: Land Use CEQA Path	Town	Video Meeting	Jocelyn Shoopman, Sally Zarnowitz, Joel Paulson, Robert Schultz	Frank Rockwood, Barbara Schussman, Laura Worthington-Forbes
	Julie Ritter Southern forwarded link to video to Justin Draa and Brend Neudecker; requested consideration of another in-person presentation	Neighbors	Email	Julie Ritter Southern	Emails to/from Frank Rockwood
6/12/2020	Meeting with Town Staff re: Story Pole Visualization	Town	Video Meeting	Jocelyn Shoopman, Sally Zarnowitz, Joel Paulson	Frank Rockwood, Mark Falgout, David Gates, Melissa Destout
6/29/2020	Maria Ristow inquired re: status general and tagged trees behind 65 Broadway; tagged trees related to trimming project	Neighbors	Email	Maria Ristow	Emails to/from Frank Rockwood
6/29/2020	Margaret Bielski called about trees at 19 Clifton that appear to be marked for removal; understands that there is a proposal to add two units	Neighbors	Phone Call	Margaret Bielski	Call to/from Frank Rockwood
11/17/2020	Open House 8 Invitation	Neighbors/Organizations	Letter/Email	[Sent to neighborhood & local businesses distribution list]	Letter from Chris Ichien; email from Frank Rockwood
12/2/2020	Meeting with Council Member-Elect Maria Ristow	Town	Video Meeting	Maria Ristow	Frank Rockwood, Chris Ichien, Laura Worthington- Forbes
12/3/2020	Open House 8	Neighbors	Video Meeting	Julie Ritter Southern, Fred Lester, Matt Wood, Zane Rowe, Gary/Jamie Garcia, Claire LeClair, Evelyn/Irving Mitsunaga, Robert Macartney, Matthew Bigge	Frank Rockwood, Chris Ichien, David Gates, Victor Ceron, Laura Worthington-Forbes, Mark Falgout, Laura Darling
12/3/2020	Meeting with Council Member Marico Sayoc	Town	Video Meeting	Marico Sayoc	Frank Rockwood, Chris Ichien, Laura Worthington- Forbes
	Meeting with Jocelyn Shoopman	Town	Video Meeting	Jocelyn Shoopman	Frank Rockwood, Mark Falgout, Laura Worthington- Forbes
	Rennie	Town	Video Meeting	Rob Rennie	Frank Rockwood, Mary McMullin, Laura Worthington Forbes
	Story Poles and Fire Evacuation	Neighbor/Town	Letter_to_Town	Matthew Southern	N/A
	Story Poles	Neighbor/Town	Letter_to_Town	Clare Southern	N/A
	Meeting with Council Member Matthew Hudes	Town	Video Meeting	Mart Padama	Frank Rockwood, Chris Ichien, Laura Worthington- Forbes
	Meeting with Council Member Mary Badame	Town	Video Meeting	Mary Badame Mark Regoli	Frank Rockwood, Chris Ichien, Laura Worthington- Forbes
	Story Poles and Farwell Lane	Neighbor/Town Neighbor/Town	Letter_to_Town Letter to Town	Julie Ritter Southern	N/A
	Story Poles and View Town Council Hearing re: Story Pole	Town/Neighbors	Video Meeting	Matthew Hudes, Mary Badame, Jocelyn Shoopman,	Frank Rockwood, Mark Falgout, David Gates, Laura
2/1/2021	- '	Neighbor/Town	Letter_to_Town	Rob Rennie, Marico Sayoc, Maria Ristow (recused) Bernd Neudecker	Worthington-Forbes N/A
2/1/2021	Story Poles	Neighbors	In-Person Meeting	Julie Ritter Southern (123/135 Wood Rd) and Andrew	Frank Rockwood, Chris Ichien, David Gates
	Andrew Ghofrani Julie Ritter Southern and Julie Ritter Southern conveyed that Bernd		Email	Ghofrani (121 Wood Rd) Julie Ritter Southern (123/135 Wood Rd) and Andrew Julie Ritter Southern (123/135 Wood Rd) and Berne	Emails to/from Frank Rockwood
	Neudecker would be sending letter to staff			Neudecker (109 Wood Rd)	
2/8/2021	View and Building Height	Neighbor/Town	Letter_to_Town	Andrew Ghofrani	N/A
2/8/2021	Tour with Council Member	Town	Tour	Matthew Hudes	Frank Rockwood, Chris Ichien

Appendix E
Listing of Communications

DATE	DESCRIPTION	CONSTITUENCY	COMM TYPE	INDIVIDUALS	COVIA_TEAM_REPRESENTATIVES
	Letter recap of meeting with Arn Andrews regarding Ad Hoc Wildfire Committee; Jocelyn Scoopman directed project team to incorporate contents of letter in updated Justification Letter		Email	Arn Andrews	Laura Worthington Forbes
3/14/2021	Neighbor reached out about people cutting plants on property	Neighbors	Email	Cathy Colgan	Frank Rockwood, Alex Gerasimov
3/18/2021	Owner of business located at the corner of Wood Rd and S. Santa Cruz Ave reached out about construction start and length - concern of holistic tenant	Neighbor/Town	Email	Shayna Orr, Exec Asst for Owner of business located at the corner of Wood Rd and S. Santa Cruz Ave	Frank Rockwood
4/22/2021	Letter to Neighbor re: Visualizations	Neighbor	Letter	Andrew Ghofrani	Frank Rockwood
4/28/2021	Emailed Visualizations from Ghofrani Property	Neighbor	Email	Andrew Ghofrani, Julie Ritter	Frank Rockwood
5/3/2021	Email to Neighbor re: project status and tree	Neighbor	Email	John Richardson	Frank Rockwood
5/12/2021	Communication with Neighbor about Trees - to be taken down 5/15/21	Neighbor	Email	John Richardson	Alex Gerasimov
5/15/2021	Communication with Town Council Member Who Reached Out For Update	Town	Email	Maria Ristow	Frank Rockwood
5/17/2021	Communication with Neighbor about Tree Taken Down - Neighbor Said Looked Great	_	Email	John Richardson	Alex Gerasimov
5/24/2021	Communication with Neighbor re: Visualizations from House	Neighbor	Email	Andrew Ghofrani	Frank Rockwood
6/5/2021	Neighbor Reached Out Regarding Annual Clearing of Brush by 50 Clifton Ave.	Neighbor	Email	Michael Walton	Alex Gerasimov
6/14/2021	Communicate with Neighbor re: Request for Project Update	Neighbor	Email	Julie Ritter Southern	Frank Rockwood
6/14/2021	Communication with Neighbor re: Upcoming DEIR Meeting 6/23/21	Neighbor	Email	Julie Ritter Southern and Andrew Ghofrani	Frank Rockwood
7/6/2021	Communication with Neighbor re: Upcoming Open House - Checking on Aug 9 Date	Neighbor	Email	Julie Ritter Southern	Frank Rockwood

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May 8, 2020

Ms. Jocelyn Shoopman Community Development Department Town of Los Gatos 110 E. Main Street Los Gatos, CA 95031

RE: 110 Wood Road

Dear Jocelyn:

I reviewed the drawings and evaluated the site context. My comments and recommendations are as follows:

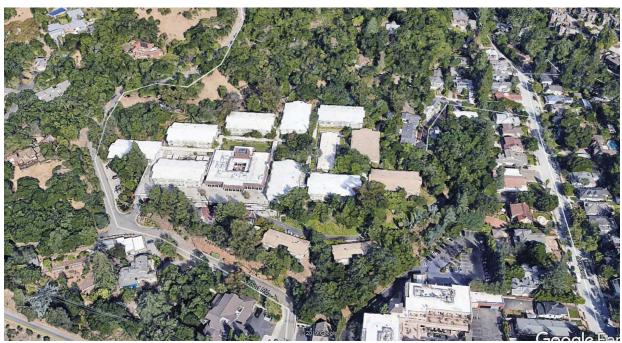
Neighborhood Context

The site is located on a hillside parcel near Downtown Los Gatos. The proposed Los Gatos Meadows continuing retirement care facility is similar in use to the existing care facility on the site. The site is surrounded by substantial mature landscaping. A single family residential neighborhood bounds the site to the north, and a hotel and retail structures are also nearby on South Santa Cruz Avenue. Otherwise, the remainder of the site perimeter is less developed. Additional aerial photos are shown on the following page for further site context.





Aerial view of site from the south

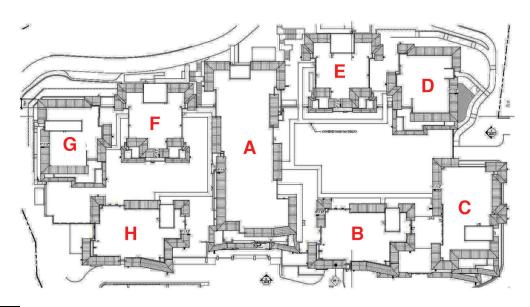


Aerial view of site from the east

ISSUES AND RECOMMENDATIONS

The proposed project would largely be developed within the same plan area as the existing care facility on the site - See site plan over aerial photo and the building layout plan with individual building identification letters below.

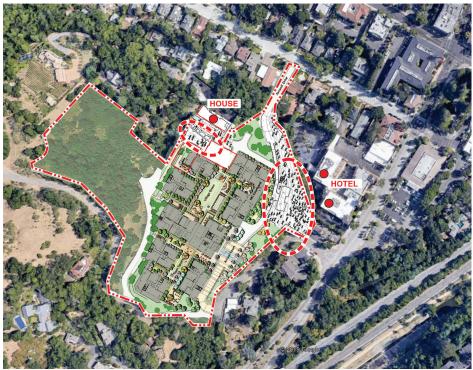


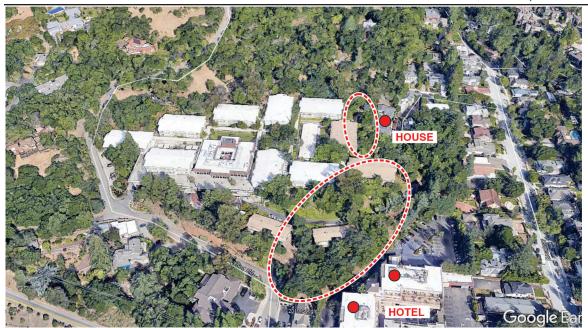


Potential visual impacts largely relate to height and proximity of a few new structures to the adjacent residential and commercial areas to the north and east and to the broader downtown area.

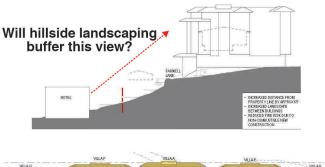


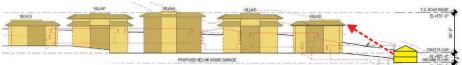
1. There are two specific areas where the removal of substantial mature landscaping and the increase in nearby building heights might create some visual impacts - adjacent to the Toll House Hotel and some of the adjacent residential neighborhood.





Tree removal areas of concern





There was not enough usable information regarding location and size of the trees that are proposed for retainion to be able to visualize for sure their potential visual impacts on adjacent properties or public spaces. However, the simulation photo below suggests that without adequate tree buffering, the building height and bulk might seem very much out of character with the Town. While there are no specific guidelines which I can apply to this unique project, I would note the both the Town's Commercial and Residential Guidelines emphasize a respect for and adherence to designing to fit into the Town's small scale character.





Existing

Proposed

Note that the photo simulation above is located at the Farwell Lane secondary exit street at Broadway which is about 300 feet east of Clifton Avenue where the single family home closest to this site is located.

Recommendation: Request the applicant to provide additional plan and section drawings to clarify the location and scale of both the trees to be retained and any proposed new buffer landscaping.

2. Since the proposed buildings would be substantially taller than those currently on the site, more of the project would be seen from East Main Street in the vicinity of Town Hall - see applicant's simulation photos below.



Existing Proposed

The evaluation of this potential impact will require a judgment as to whether the larger scale and increased building visibility is consistent with the Town's past emphasis on small scale character throughout the community.

The applicant's design team has been sensitive in designing the buildings to blend into the hillside as much as they can given their height. Deep roof overhangs, set back upper floors and the separation of individual Villa structures are intended to reduce the visual impact.

Recommendation: As noted above, this will be a community expectation issue. However, if the Town is comfortable the project scale and massing, my only recommendation would be to assure that the metal roofing selected is similar to the subdued color shown on the simulation and not the bright silver shown on the materials sheet.

ARCHITECTURAL EVALUATION

The project is well designed with a lot of thought given to the facilities' layout and building design. Some features are shown below on the partial east elevation and sketches showing the exterior and interior courtyard scale and character.





ENTRY SKETCH



COURTYARD SKETCH

Recommendations:

I have no recommendations for changes to the building designs. Staff, however, may wish to discuss the materials palette with the applicant. The materials are of high quality, but they are largely, with the exception of the stone veneer, metal and concrete faux simulations of natural materials. In the Town's Commercial and Residential Design Guidelines, natural materials are strongly encouraged although provisions are made in the Residential Design Guidelines for use of synthetic materials under some circumstances (Guideline 3.8.1: Use high quality materials).

Jocelyn, please let me know if you have any questions, or if there are other issues that I did not address.

Sincerely,

CANNON DESIGN GROUP

Larry L. Cannon

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RESPONSE TO TOWN OF LOS GATOS STAFF TECHNICAL REVIEW

Department: PLANNING DIVISION

Community Development Department

Item: 110 Wood Road

Planned Development Application PD-20-001

Project Name: Los Gatos Meadows Covia Community

Property Owner: Covia Communities
Applicant: Rockwood Pacific Inc.

Description: Requesting approval of a Planned Development for a senior living community

on property zoned R:PD. APN 510-47-038.

Date of Staff Review Comments: May 22, 2020 (Second Review)

Project Planner: Jocelyn Shoopman

Perkins Eastman Architects DPC

This letter is the response to the comments submitted to the Town by the consulting architect, Larry L. Cannon in his letter of May 8, 2020.

Tree Removal Area of Concern, (page 5)

Response: This view on sheet A303 is missing landscape, we have revised this section to include landscaping as part of our resubmission.

Recommendation: Request the applicant to provide additional plan and section drawings to clarify the location and scale of both the trees to be retained and any proposed new buffer landscaping. (page 5)

Response: We have coordinated with the landscape architect and have revised this view to clarify the location and scale of both the trees to be retained and proposed new buffer landscaping as shown on Sheet A406 as part of the resubmission.

Recommendation: As noted above, this will be a community expectation issue. However, if the Town is comfortable the project scale and massing, my only recommendation would be to assure that the metal roofing selected is similar to the subdued color shown on the simulation and not the bright silver shown on the materials sheet. (page 6)

Response: As recommended, we have revised the color of the roof on the material sheet A204 as part of the resubmission to the subdued color shown in the visualization.

Recommendations: I have no recommendations for changes to the building designs. Staff, however, may wish to discuss the materials palette with the applicant. The materials are of high quality, but they are largely, with the exception of the stone veneer, metal and concrete faux simulations of natural materials. (page 7)

Response: Due to building occupancy type and current building code requirements, certain natural materials, especially wood or other combustible materials, are not permitted. Therefore high quality alternatives with similar qualities were selected. These materials were chosen to keep within the spirit of the Town's Commercial and Residential Design Guidelines as well as to conform to the current building codes.

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Boston

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Dubai

Guayaquil

Los Angeles

Mumbai

New York

Oakland

Pittsburgh

San Francisco

Shanghai

Stamford

Toronto

Washington DC



We believe we have answered all of the recommendations and concerns in the letter of May 8, 2020. Please let us know if any concerns remain.

Sincerely,

Arch Pelley AIA Associate Principal T: 412 894 8306

E: a.pelley@perkinseastman.com



Arborist Report Update

Los Gatos Meadows Los Gatos, CA

PREPARED FOR Covia 2185 N. California Blvd. Suite 215 Walnut Creek, CA 94596

PREPARED BY: HortScience | Bartlett Consulting 325 Ray St. Pleasanton, CA 94566

October 12, 2020



Arborist Report Update Los Gatos Meadows Los Gatos, CA

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Arborist Report Update Los Gatos Meadows Los Gatos, CA

Executive Summary

Covia is planning to re-develop the Los Gatos Meadows property in Los Gatos, CA. Trees were assessed on June 26 and 27, 2018. The assessment included all trees 4" and greater in diameter, located within and adjacent to the project area.

Three hundred seventy-five (375) trees representing 57 species were evaluated (Table 1). For all species combined, trees were in fair (42% of population) to poor (36% of population) condition with 22% of trees in good condition. One off-site tree (#251) was included in the assessment. No street trees had canopies over the project area.

The Town of Los Gatos protects all trees 4" and larger on sites being developed (Municipal Code Section 29.10). Certain species of designated sizes are excepted per Section 29.10.0970. Based on this definition, 338 of the original 375 trees were protected. These trees cannot be removed or pruned more than 25% without a permit.

Based on my evaluation of the plans:

- Two hundred twelve (213) trees will be removed (205 Protected, 8 Large Protected).
- One hundred eighteen (118) trees will be preserved (109 Protected, 9 Large Protected)

In 2019, selected trees were removed in response to a Wildland Urban Interface fire management review and the resulting Tree Management Plan prepared by HortScience | Bartlett Consulting (3/27/19). This Arborist Report incorporates the data on trees removed and responds to a Arborist's Review letter prepared by Monarch Consulting Arborists (July 6, 2020). Forty-four (44) trees were removed and three hundred thirty-one (331) trees remain.

The primary impacts of the proposed project to trees were expected to be from re-grading the slopes, reorienting and creating new roads, and re-configuring the buildings. I recommend carefully considering how future landscapes will be used before retaining trees with a low suitability for preservation. Impacts to trees being preserved can be minimized by following the **Tree Preservation Guidelines** (below).

Introduction and Overview

Covia is planning to re-develop the Los Gatos Meadows property in Los Gatos, CA. Currently the property is a senior living community with associated landscapes and natural areas. HortScience | Bartlett Consulting was asked to prepare an **Arborist Report** for the site as part of the application to the City of Los Gatos.

This report provides the following information:

- 1. Assessment of the health and structural condition of the trees within the proposed project area based on a visual inspection from the ground.
- 2. Evaluation of the impacts to trees based on development plans.
- 3. Appraisal of value of each tree using the Council of Tree and Landscape Appraisal methodology.
- 4. Guidelines for tree preservation during the design, construction and maintenance phases of development.

Tree Assessment Methods

Trees were assessed on June 26 and 27, 2018. The assessment included all trees 4" and greater in diameter, located within and adjacent to the project area. Off-site trees with canopies extending over the property line were included in the assessment and viewed from the subject property. The assessment procedure consisted of the following steps:

- 1. Identifying the tree as to species;
- 2. Tagging each tree with an identifying number and recording its location on a map; offsite trees were not tagged;
- 3. Measuring the trunk diameter at a point 54" above grade; for off-site trees diameters were estimated.
- 4. Evaluating the health and structural condition using a scale of 10%-90% based on a visual inspection from the ground:
 - 90% A healthy, vigorous tree, reasonably free of signs and symptom of disease, with good structure and form typical of the species.
 - 70%- Tree with slight decline in vigor, small amount of twig dieback, minor structural defects that could be corrected.
 - 50%- Tree with moderate vigor, moderate twig and small branch dieback, thinning of crown, poor leaf color, moderate structural defects that might be mitigated with regular care.
 - 30% Tree in decline, epicormic growth, extensive dieback of medium to large branches, significant structural defects that cannot be abated.
 - 10% Tree in severe decline, dieback of scaffold branches and/or trunk; most of foliage from epicormics; extensive structural defects that cannot be abated.
- 5. Rating the suitability for preservation as "high", "moderate" or "low". Suitability for preservation considers the health, age and structural condition of the tree, and its potential to remain an asset to the site for years to come.

High: Trees with good health and structural stability that have the potential

for longevity at the site.

Moderate: Trees with somewhat declining health and/or structural defects that can be abated with treatment. The tree will require more intense management and monitoring, and may have shorter life span than

those in 'high' category.

Tree in poor health or with significant structural defects that cannot Low: be mitigated. Tree is expected to continue to decline, regardless of treatment. The species or individual may have characteristics that are undesirable for landscapes and generally are unsuited for use

areas.

Description of Trees

Three hundred seventy-five (375) trees representing 57 species were evaluated (Table 1). For all species combined, trees were in fair (42% of population) to poor (36% of population) condition with 22% of trees in good condition. One off-site tree (#251) was included in the assessment, and no street trees had canopies over the project area. Descriptions of each tree are found in the Tree Assessment, and approximate locations are plotted on the Tree Assessment Plan (see Exhibits).

The site was notable for several reasons. The site was on the edge of Los Gatos downtown area where it transitioned into forest. Tree species diversity was high (57 species). Over half of the trees (53%, 7 species) were locally native species generally growing in natural conditions. In addition to the locally native species were:

- California species that are not native to the site such as coast redwood, Monterey pine and incense cedar;
- Common ornamental trees such as purpleleaf plum, eucalyptus and Italian cypress and,
- Less common ornamental trees such as blue blossom, Sitka spruce and white willow.

Table 1. Condition ratings and frequency of occurrence of trees Los Gatos Meadows, Los Gatos, CA

Common Name	Scientific Name	(Condition			
		Poor (10- 30%)	Fair (50%)	Good (70- 90%)		
Bailey acacia	Acacia baileyana	5	-	-	5	
Blackwood acacia	Acacia melanoxylon	4	1	2	7	
Bigleaf maple	Acer macrophyllum	1	-	-	1	
Japanese maple	Acer palmatum	-	1	-	1	
Red maple	Acer rubrum	-	-	1	1	
California buckeye	Aesculus californica	-	2	-	2	
Red horsechestnut	Aesculus x carnea	2	1	1	4	
African fern-pine	Afrocarpus falcatus	3	-	1	4	
Marina madrone	Arbutus 'Marina'	-	-	1	1	
Incense cedar	Calocedrus decurrens	-	-	1	1	
Blue blossom	Ceanothus thyrsiflorus	1	-	_	1	
Deodar cedar	Cedrus deodara	-	-	1	1	
Hackberry	Celtis occidentalis	2	-	_	2	
New Zealand cabbage palm	Cordyline australis	1	-	_	1	
Flowering dogwood	Cornus florida	_	_	1	1	
Italian cypress	Cupressus sempervirens	-	1	10	11	
Bronze loquat	Eriobotrya deflexa	2	1	_	3	
Loquat	Eriobotrya japonica	-	-	1	1	
Sugar gum	Eucalyptus cladocalyx	3	1	_	4	
Blue gum	Eucalyptus globulus	7	5	_	12	
Red ironbark	Eucalyptus sideroxylon	5	1	_	6	
Ginkgo	Ginkgo biloba	-	1	_	1	
Silk oak	Grevillea robusta	-	1	-	1	
Toyon	Heteromeles arbutifolia	-	1	-	1	
Jacaranda	Jacaranda mimosifolia	-	1	-	1	
California black walnut	Juglans hindsii	1	-	-	1	
Hollywood juniper	Juniperus chinensis 'Kaizuka'	-	9	2	11	
Grecian laurel	Laurus nobilis	3	-	-	3	
Glossy privet	Ligustrum lucidum	-	1	-	1	
Sweetgum	Liquidambar styraciflua	_	1	1	2	

Common Name	Scientific Name	(Condition			
		Poor (10- 30%)	Fair (50%)	Good (70- 90%)		
Crabapple	Malus sylvestris	2	5	4	11	
Mayten	Maytenus boaria	1	-	-	1	
Bottlebrush	Melaleuca citrina	-	-	1	1	
Olive	Olea europaea	1	7	-	8	
Sitka spruce	Picea sitchensis	-	-	1	1	
Canary Island pine	Pinus canariensis	1	1	10	12	
Aleppo pine	Pinus halepensis	1	-	-	1	
Italian stone pine	Pinus pinea	-	2	-	2	
Monterey pine	Pinus radiata	-	5	1	6	
Victorian box	Pittosporus undulatum	1	2	-	3	
Cherry	Prunus avium	1	-	-	1	
Purpleleaf plum	Prunus cerasifera	2	-	-	2	
Plum	Prunus domestica	1	1	-	2	
Portugal laurel	Prunus Iusitanica	1	-	-	1	
Japanese flowering cherry	Prunus serrulata	-	1	-	1	
Douglas fir	Pseudotsuga menziesii	2	3	2	7	
Coast live oak	Quercus agrifolia	25	40	14	79	
Blue oak	Quercus douglasii	1	1	-	2	
Valley oak	Quercus lobata	8	10	6	24	
African sumac	Rhus lancea	3	1	-	4	
White willow	Salix alba	-	-	1	1	
Arroyo willow	Salix lasiolepis	1	-	-	1	
Brazilian pepper	Schinus terebinthifolius	-	1	-	1	
Coast redwood	Sequoia sempervirens	2	2	13	17	
Windmill palm	Trachycarpus fortunei	-	-	1	1	
California bay	Umbellularia californica	38	46	5	89	
Sawleaf zelkova	Zelkova serrata	3	1	-	4	
Total		135	158	82	375	

The most common species was California bay (89 trees, 24% of population). The bays were in fair (46 trees) to poor (38 trees) condition with five trees in good condition. They varied in development from young (4" trunk diameter) to mature (22, 12" trunk diameter). Twenty-eight (28) California bays had multiple trunks (31%). The single stem trees had an average trunk diameter of 9". The bays were generally growing in dense stands with oaks in undeveloped natural areas (Photo 1).

Seventy-nine (79) coast live oaks were assessed (21% of population). The coast live oaks were in fair condition (40 trees) with 25 trees in poor condition and 14 trees in good condition. They ranged from young (4" trunk diameter) to mature (26, 25, 17" trunk diameter). Thirteen (13) of the coast live oaks had multiple trunks (16%). The single stem trees had an average trunk diameter

of 15". Several of the oaks were declining in health. I have provided additional information on Sudden Oak Death which is somewhat of a concern in this area.

Twenty-four (24) valley oaks were assessed (6% of population). The valley oaks were in poor (8 trees) to good (6 trees) condition with 10 trees in fair condition. They ranged from relatively young (11" trunk diameter) to mature (37" trunk diameter) with an average trunk diameter of 22". Valley oaks were growing both in the natural areas and in the planted landscape. Some of the more important trees on the site were valley oaks. Valley oaks #30 and 72 were large trees in good condition growing on the eastern slope. Valley oak #206 was a mature tree in good health growing in the courtyard. Valley oak #350 was in decline and had broken two of the 6 cables installed (Photo 2). Tree #349 was a mature oak preserved in a 15x15' raised planter at the edge of a courtyard.

Seventeen (17) coast redwoods were assessed (5% of population). The redwoods were in good condition (13 trees) with two trees in fair condition and two trees in poor condition. The coast redwoods were predominantly young (average trunk diameter 11") and ranged from 4" to 40" in trunk diameter. The majority of the young redwoods still had staking which should be removed before it girdles the trees.

Twelve (12) Canary Island pines were assessed (3% of population). The pines were in good condition (10 trees) with one tree in fair condition and one in poor condition. They were mature with an average trunk diameter of 23". Most of the Canary Island pines were located just east of the road that cuts through the lower half of the property.

Twelve (12) blue gum eucalyptus trees were assessed (3% of population). The blue gums were in poor (7 trees) to fair (5 trees) condition with no trees in good condition. They were the largest trees assessed with an average trunk diameter of 44". Blue gum #62 was the largest tree assessed with a trunk diameter of 62". Blue gums #7-12 had been harshly topped with poorly attached regrowth (Photo 3).

Eleven (11) crab apples were assessed (3% of population). The crabapples were in good (4 trees) to poor (2 trees) condition with five trees in fair condition. Crabapples are typically small trees; an average trunk diameter of 10" is relatively mature for the species. Crabapple #203 was an iconic piece of the landscape.

Eleven (11) Hollywood junipers were assessed (3% of population). The junipers were in fair condition (9 trees) with two trees in good condition and no trees in poor condition. The junipers had their typical chaotic, bushy form. They were planted in a narrow location high above the walkway providing minimal benefits to the landscape (Photo 4).

Eleven (11) Italian cypresses were assessed (3% of population). The cypresses were in good condition (10 trees) with one tree in fair condition. They had the typical dense, narrow crown of their species.

The remaining 29% of trees included 48 species. Some particularly notable trees or groups of trees were:

- Douglas firs #147-153 had an 18" average trunk diameter and were growing on the southern edge of the property (Photo 5).
- Four sawleaf zelkovas were growing in the central courtyard and were declining in health.
- Sugar gums #309 and 310 were mature trees in decline with large trunk wounds.
- White willow #288 was a large mature single-stemmed tree in good condition growing in the courtyard.
- Bailey acacia seed production was impressive along the northern property boundary (Photo 6).

The Town of Los Gatos protects all trees 4" and larger on sites being developed (Municipal Code Section 29.10). Certain species of designated sizes are excepted per Section 29.10.0970. Based on this definition, 338 of the original 375 trees were protected. Some Protected trees of certain species and sizes are designated Large Protected. Protected trees cannot be removed or pruned more than 25% without a permit. Designations for individual trees are provided in the *Tree Assessment* (see *Exhibits*).



Photo 1 (upper left) – California bays and native oaks were the dominant species especially across the natural areas within the site.

Photo 2 (upper right) – Valley oak #250 was declining and had been over-pruned. Two of the six cables in the tree had broken.

Photo 3 (lower left) – Blue gums #7-12 had been topped with poorly attached regrowth. **Photo 4 (lower right)** – The Hollywood junipers (#197 shown) were growing in raised planter beds next to covered sidewalks.







Photo 5 – Douglas firs #147 and 148 were growing near the southern boundary of the site.

Photo 6 – Bailey acacias #366-370 were growing near the northern boundary of the property and produced an extreme amount of seed.

Suitability for Preservation

Before evaluating the impacts that will occur during development, it is important to consider the quality of the tree resource itself, and the potential for individual trees to function well over an extended length of time. Trees that are preserved on development sites must be carefully selected to make sure that they may survive development impacts, adapt to a new environment and perform well in the landscape.

Our goal is to identify trees that have the potential for long-term health, structural stability and longevity. For trees growing in open fields, away from areas where people and property are present, structural defects and/or poor health presents a low risk of damage or injury if they fail. However, we must be concerned about safety in use areas. Therefore, where development encroaches into existing plantings, we must consider their structural stability as well as their potential to grow and thrive in a new environment. Where development will not occur, the normal life cycles of decline, structural failure and death should be allowed to continue.

Evaluation of suitability for preservation considers several factors:

Tree health

Healthy, vigorous trees are better able to tolerate impacts such as root injury, demolition of existing structures, changes in soil grade and moisture, and soil compaction than are non-vigorous trees. For example, sawleaf zelkova #208 was declining and unlikely to survive regardless of construction impact.

Structural integrity

Trees with significant amounts of wood decay and other structural defects that cannot be corrected are likely to fail. Such trees should not be preserved in areas where damage to people or property is likely. For example, Valley oak #350 had a large decaying cavity and had broken cables.

Species response

There is a wide variation in the response of individual species to construction impacts and changes in the environment. For instance, coast live oaks are more tolerant of root pruning than valley oak.

• Tree age and longevity

Old trees, while having significant emotional and aesthetic appeal, have limited physiological capacity to adjust to an altered environment. Young trees are better able to generate new tissue and respond to change.

• Species invasiveness

Species that spread across a site and displace desired vegetation are not always appropriate for retention. This is particularly true when indigenous species are displaced. The California Invasive Plant Inventory Database http://www.cal-ipc.org/plants/inventory/ lists species identified as being invasive. Los Gatos is part of the Central West Floristic Province. Blackwood acacia, New Zealand cabbage palm, blue gum, glossy privet, olive and purpleleaf plum are listed as limited invasiveness, and Brazilian pepper is listed as moderate invasiveness.

Each tree was rated for suitability for preservation based upon its age, health, structural condition and ability to safely coexist within a development environment (see *Tree Assessment* in Exhibits, and Table 2). We consider trees with high suitability for preservation to be the best candidates for preservation. We do not recommend retention of trees with low suitability for preservation in areas where people or property will be present. Retention of trees with moderate suitability for preservation depends upon the intensity of proposed site changes.

Table 2. Tree suitability for preservation Los Gatos Meadows, Los Gatos, CA

High

These are trees with good health and structural stability that have the potential for longevity at the site. Fifty-three (53) trees had high suitability for preservation.

Moderate

Trees in this category have fair health and/or structural defects that may be abated with treatment. These trees require more intense management and monitoring, and may have shorter life-spans than those in the "high" category. Ninety-seven (97) trees had moderate suitability for preservation.

Low

Trees in this category are in poor health or have significant defects in structure that cannot be abated with treatment. These trees can be expected to decline regardless of management. The species or individual tree may possess either characteristics that are undesirable in landscape settings or be unsuited for use areas. Two hundred twenty-five (225) trees had low suitability for preservation.

Evaluation of Impacts and Recommendations

In 2019, selected trees were removed in response to a Wildland Urban Interface fire management review and the resulting Tree Management Plan prepared by HortScience | Bartlett Consulting (3/27/19). This Arborist Report incorporates the data on trees removed, and responds to a Arborist's Review letter prepared by Monarch Consulting Arborists (July 6, 2020). Forty-four (44) trees were removed and 331 trees remain.

The *Tree Assessment* was the reference point for tree health, condition, and suitability for preservation. I used the *Planning Submittal* set (10/8/20) created by Gates + Associates and the *Preliminary Grading and Drainage Plan* (6/30/20) created by Kimley-Horn to estimate impacts to trees. The plans show a nearly complete demolition of the site within between the two roads and additional grading outside of the roads in some areas.

The disposition of each tree is shown in **Tree Disposition** Exhibit. Based on my evaluation of the plans:

- Two hundred twelve (213) trees will be removed (205 Protected, 8 Large Protected).
- One hundred eighteen (118) trees will be preserved (109 Protected, 9 Large Protected)

The primary impacts of the proposed project to trees were expected to be from re-grading the slopes, reorienting and creating new roads, and re-configuring the buildings. Impacts to trees being preserved can be minimized by following the **Tree Preservation Guidelines** (below).

I estimate that 118 trees can be preserved because construction would not be occurring in their area, all of them around the perimeter of the site, and many of these on the east slope of the property downhill of the project area. Of all the trees recommended for preservation, approximately 37% have low suitability for preservation. I generally do not recommend preserving trees with low suitability for preservation in use areas. I consider the trees being preserved to be in non-use areas, but the occupancy rates may increase post construction. If current non-use areas change after development, I recommend carefully considering how future landscapes will be used before retaining trees with a low suitability for preservation. Impacts to trees being preserved can be minimized by following the **Tree Preservation Guidelines** (below).

Appraisal of Value

The Town of Los Gatos requires establishing the value of all assessed trees. To accomplish this, I used the standard methods found in *Guide for Plant Appraisal*, 9th edition (published in 2000 by the International Society of Arboriculture, Champaign IL). In addition, I referred to *Species Classification and Group Assignment* (2004), a publication of the Western Chapter of the International Society of Arboriculture. These two documents outline the methods employed in the tree appraisal.

In 2019, the ISA published a new (10th) edition of the *Guide for Plant Appraisal*, which revised the methods for estimating tree values using the reproduction cost and specifically the trunk formula technique. For the sake of consistency, I have not updated the estimated the value of the trees in this report to the 10th edition. This report estimates values using the 9th edition, which was the most recently published at the time.

The value of landscape trees is based upon four factors: size, species, condition and location. Size is measured as trunk diameter, normally 54" above grade. The species factor considers the adaptability and appropriateness of the plant in the south bay area. The *Species Classification and Group Assignment* lists recommended species ratings and evaluations. Condition reflects the health and structural integrity of the individual, as noted in the *Tree Assessment*. Location considers the site, placement and contribution of the tree in its surrounding landscape.

The appraised value of the 375 trees assessed in this report is **\$991,050**. The appraised value of each tree is shown in the **Tree Appraisal** attachment. The appraised value of the:

- 44 trees already removed is \$129,650.
- 213 trees to be removed is \$483,750.
- 118 trees to be preserved is \$377,650.

Sudden Oak Death

Sudden Oak Death (SOD) is caused by *Phytophthora ramorum*, a fungal pathogen (actually a water mold) affecting oaks in the red oak group, including coast live oak. Valley oak, in the white oak group, is not affected.

The disease was first recognized in Santa Cruz and Marin counties in the mid 1990's. Research indicates it was likely introduced through the nursery industry and may have been in the environment for many years before it 'escaped' into the forest.

The disease requires water to grow and spread and has many host species that are not affected by the disease but play a critical role in its spread. The disease has been shown to move from plant to plant via wind-driven rain, water, plant material and human activities. The disease typically lands on the foliage of a susceptible plant and migrates with water movement onto the trunk. Trunk lesions and foliar dieback ensue, eventually girdling the trunk, but the tree may remain green for several months or even years before it suddenly turns brown (hence the name).

Bleeding cankers and dieback are not sufficient to make a positive SOD identification. Lab analysis of plant material is required before the suspected case can be confirmed. There are thousands of confirmed cases of SOD in Santa Clara County (mostly in the forested areas). I did not see any indications of SOD on any trees being preserved, but I consider this a relatively high likelihood of outbreak area. Several precautions are recommended to help limit the possibility of infection. A detailed list of susceptible and host species, management and monitoring guidelines and prophylactic treatments are provided on the California Oak Mortality Task Force website (http://www.suddenoakdeath.org/). Of particular concern in this situation is the combined effect of construction impact and SOD on mature oak trees.

Tree Preservation Guidelines

The goal of tree preservation is not merely tree survival during development but maintenance of tree health and beauty for many years. Trees retained on sites that are either subject to extensive injury during construction or are inadequately maintained become a liability rather than an asset. The response of individual trees will depend on the amount of excavation and grading, the care with which demolition is undertaken, and the construction methods. Coordinating any construction activity inside the **TREE PROTECTION ZONE** can minimize these impacts.

The following recommendations will help reduce impacts to trees from development and maintain and improve their health and vitality through the clearing, grading and construction phases. All tree protection measures to comply with Town of Los Gatos Municipal Code Sec.29.10.1005-Protection of Trees During Construction.

Tree Protection Zone

- A TREE PROTECTION ZONE shall be identified for each tree to be preserved. The TREE
 PROTECTION ZONE for each tree shall be the dripline of the tree. In most cases, groups of
 trees can be protected collectively.
- 2. Fence all trees to be retained to completely enclose the TREE PROTECTION ZONE prior to demolition, grubbing or grading. Fences shall be 6 ft. chain link with 2-inch diameter galvanized iron posts driven into the ground to a depth of at least 2 feet at no more than 10-foot spacing, or equivalent as approved by the Town. Tree #75 shall be fenced at the edge of construction. Trees to remain in the sequences of #19-102 and 101-127 can be fenced along the western edge of their collective dripline. All other trees to remain can be protected by the perimeter fencing at their collective driplines at the limit of grading on the northern, eastern, and southern edges of the project.
- 3. Fences must be installed before demolition, grading or construction permits are issued and must remain in place until construction is complete. Contractor shall first obtain the approval of the Consulting Arborist on record prior to removing a tree protection fence.
- 4. No grading, excavation, construction or storage or dumping of materials shall occur within the **TREE PROTECTION ZONE**. Excavation within the dripline of tree #75 shall be approved by and monitored by the Consulting Arborist.
- No underground services including utilities, sub-drains, water or sewer shall be placed in the TREE PROTECTION ZONE.
- 6. Warning sign. Each tree fence shall have prominently displayed an 8.5 x 11-inch sign stating: "Warning—Tree Protection Zone-this fence shall not be removed and is subject to penalty according to Town Code 29.10.1025".
- 7. The attachment of wires, signs or ropes to any protected tree is prohibited.

Design recommendations

- Any changes to the plans affecting the trees should be reviewed by the consulting arborist with regard to tree impacts. These include, but are not limited to, site plans, improvement plans, utility and drainage plans, grading plans, landscape and irrigation plans, and demolition plans.
- 2. Plan for tree preservation by designing adequate space around trees to be preserved. This is the **TREE PROTECTION ZONE:** No grading, excavation, construction or storage of materials should occur within that zone. Route underground services including utilities, sub-drains, water or sewer around the **TREE PROTECTION ZONE**.
- 3. Consider the vertical clearance requirements near trees during design. Avoid designs that would require pruning more than 20% of a tree's canopy.

- 4. All plans affecting trees shall be reviewed by the Consulting Arborist with regard to tree impacts. These include, but are not limited to, demolition plans, grading plans, drainage plans, utility plans, and landscape and irrigation plans.
- 5. Irrigation systems must be designed so that no trenching severs roots larger than 1" in diameter will occur within the **Tree Protection Zone**.
- 6. **Tree Preservation Guidelines** prepared by the Consulting Arborist, which include specifications for tree protection during demolition and construction, should be included on all plans.
- 7. Any herbicides placed under paving materials must be safe for use around trees and labeled for that use.
- 8. Do not lime the subsoil within 50' of any tree. Lime is toxic to tree roots.
- As trees withdraw water from the soil, expansive soils may shrink within the root area.
 Therefore, foundations, footings and pavements on expansive soils near trees should be designed to withstand differential displacement.
- 10. Ensure adequate but not excessive water is supplied to trees; in some cases occasional irrigation will be required. Avoid directing runoff toward trees.

Pre-demolition and pre-construction treatments and recommendations

- The demolition and construction superintendents shall meet with the Consulting Arborist before beginning work to review all work procedures, access routes, storage areas, and tree protection measures.
- 2. Prior to the commencement of construction, install the fence at the dripline, or **TREE PROTECTION ZONE** around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the **TREE PROTECTION ZONE**. The dripline shall not be altered in any way so as to increase the encroachment of the construction.
- 3. Branches extending into the work area that can remain following demolition shall be tied back and protected from damage.
- 4. Fences are to remain until all grading and construction is completed. Where demolition must occur close to trees, such as removing curb and pavement, install trunk protection devices such as winding silt sock wattling around trunks or stacking hay bales around tree trunks.
- 5. Prune trees to be preserved to clean the crown of dead branches 1" and larger in diameter, raise canopies as needed for construction activities.
 - a. All pruning shall be done by a State of California Licensed Tree Contractor (C61/D49). All pruning shall be done by Certified Arborist or Certified Tree Worker in accordance with the Best Management Practices for Pruning (International Society of Arboriculture, 2002) and adhere to the most recent editions of the American National Standard for Tree Care Operations (Z133.1) and Pruning (A300).
 - b. The Consulting Arborist will provide pruning specifications prior to site demolition.
 - Branches extending into the work area that can remain following demolition shall be tied back and protected from damage.
 - d. While in the tree the arborist shall perform an aerial inspection to identify any defects, weak branch and trunk attachments and decay not visible from the ground. Any additional work needed to mitigate defects shall be reported to the property owner.
- 6. Tree(s) to be removed that have branches extending into the canopy of tree(s) or located within the TREE PROTECTION ZONE of tree(s) to remain shall be removed by a Certified Arborist or Certified Tree Worker and not by the demolition contractor. The Certified Arborist or Certified Tree Worker shall remove the trees in a manner that causes no damage to the tree(s) and understory to remain. Stumps shall be ground below grade.

- 7. Trees to be removed shall be felled so as to fall away from TREE PROTECTION ZONE and avoid pulling and breaking of roots of trees to remain. If roots are entwined, the Consulting Arborist may require first severing the major woody root mass before extracting the trees, or grinding the stump below ground.
- 8. All down brush and trees shall be removed from the **TREE PROTECTION ZONE** either by hand, or with equipment sitting outside the **TREE PROTECTION ZONE**. Extraction shall occur by lifting the material out, not by skidding across the ground. Brush shall be chipped and spread beneath the trees within the **TREE PROTECTION ZONE**
- 9. Structures and underground features to be removed within the TREE PROTECTION ZONE shall use equipment that will minimize damage to trees above and below ground, and operate from outside the TREE PROTECTION ZONE. Tie back branches and wrap trunks with protective materials to protect from injury as directed by the Project arborist. The Project arborist shall be on-site during all operations within the TREE PROTECTION ZONE to monitor demolition activity.
- 10. All tree work shall comply with the Migratory Bird Treaty Act as well as California Fish and Wildlife code 3503-3513 to not disturb nesting birds. To the extent feasible tree pruning and removal should be scheduled outside of the breeding season. Breeding bird surveys should be conducted prior to tree work. Qualified biologists should be involved in establishing work buffers for active nests.

Recommendations for tree protection during construction

- 1. Any approved grading, construction, demolition or other work within the TREE PROTECTION ZONE should be monitored by the Consulting Arborist. The Consulting arborist shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project Consulting Arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
- 2. All contractors shall conduct operations in a manner that will prevent damage to trees to be preserved.
- Tree protection devices are to remain until all site work has been completed within the work area. Fences or other protection devices may not be relocated or removed without permission of the Consulting Arborist.
- 4. Construction trailers, traffic and storage areas must remain outside **TREE PROTECTION ZONE** at all times.
- 5. Construction activities within the **Tree Protection Zone**, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree are prohibited, unless approved by the Director, per Sec.10.29.1005.
- Any root pruning required for construction purposes shall receive the prior approval of and be supervised by the Project Arborist. Roots should be cut with a saw to provide a flat and smooth cut. Removal of roots larger than 2" in diameter should be avoided.
- 7. If roots 2" and greater in diameter are encountered during site work and must be cut to complete the construction, the Project Arborist must be consulted to evaluate effects on the health and stability of the tree and recommend treatment.
- 8. Any brush clearing required within the **TREE PROTECTION ZONE** shall be accomplished with hand-operated equipment.
- 9. All down brush and trees shall be removed from the **TREE PROTECTION ZONE** either by hand, or with equipment sitting outside the **TREE PROTECTION ZONE**. Extraction shall occur by lifting the material out, not by skidding across the ground.

- 10. Prior to grading or trenching, trees may require root pruning outside the **TREE PROTECTION ZONE.** Any root pruning required for construction purposes shall receive the prior approval of, and be supervised by, the Project Arborist.
- 11. Spoil from trench, footing, utility or other excavation shall not be placed within the **TREE PROTECTION ZONE**, neither temporarily nor permanently.
- 12. All grading within the dripline of trees shall be done using the smallest equipment possible. The equipment shall operate perpendicular to the tree and operate from outside the **TREE PROTECTION ZONE**. Any modifications must be approved and monitored by the Consulting Arborist.
- 13. All trees shall be irrigated on a schedule to be determined by the Consulting Arborist (every 3 to 6 weeks is typical). Each irrigation shall wet the soil within the **Tree Protection Zone** to a depth of 30".
- 14. If injury should occur to any tree during construction, it should be evaluated as soon as possible by the Consulting Arborist so that appropriate treatments can be applied. The Director and Consulting Arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.
- 15. No excess soil, chemicals, debris, equipment or other materials shall be dumped or stored within the **Tree Protection Zone**. Disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree are prohibited.
- 16. Any additional tree pruning needed for clearance during construction must be performed by a Certified Arborist and not by construction personnel.
- 17. Trees that accumulate a sufficient quantity of dust on their leaves, limbs and trunk as judged by the Consulting Arborist shall be spray-washed at the direction of the Project Arborist.

Maintenance of impacted trees

Our procedures included assessing trees for observable defects in structure. This is not to say that trees without significant defects will not fail. Failure of apparently defect-free trees does occur, especially during storm events. Wind forces, for example, can exceed the strength of defect-free wood causing branches and trunks to break. Wind forces coupled with rain can saturate soils, reducing their ability to hold roots, and blow over defect-free trees. Although we cannot predict all failures, identifying those trees with observable defects is a critical component of enhancing public safety.

Furthermore, trees change over time. Our inspections represent the condition of the tree at the time of inspection. As trees age, the likelihood of failure of branches or entire trees increases. Annual tree inspections are recommended to identify changes to tree health and structure. In addition, trees should be inspected after storms of unusual severity to evaluate damage and structural changes. Initiating these inspections is the responsibility of the client and/or tree owner.

Preserved trees will experience a physical environment different from that pre-development. As a result, tree health and structural stability should be monitored. Occasional pruning, fertilization, mulch, pest management, replanting and irrigation may be required. In addition, provisions for monitoring both tree health and structural stability following construction must be made a priority.

If you have any questions about my observations or recommendations, please contact me.

HortScience | Bartlett Consulting

Ryan Gilpin, M.S.

Rem Nogle

Certified Arborist #WE-10268A

Pam Nagle

Consulting Arborist and Urban Forester

Certified Arborist #WE-9617A

ISA Tree Risk Assessment Qualified



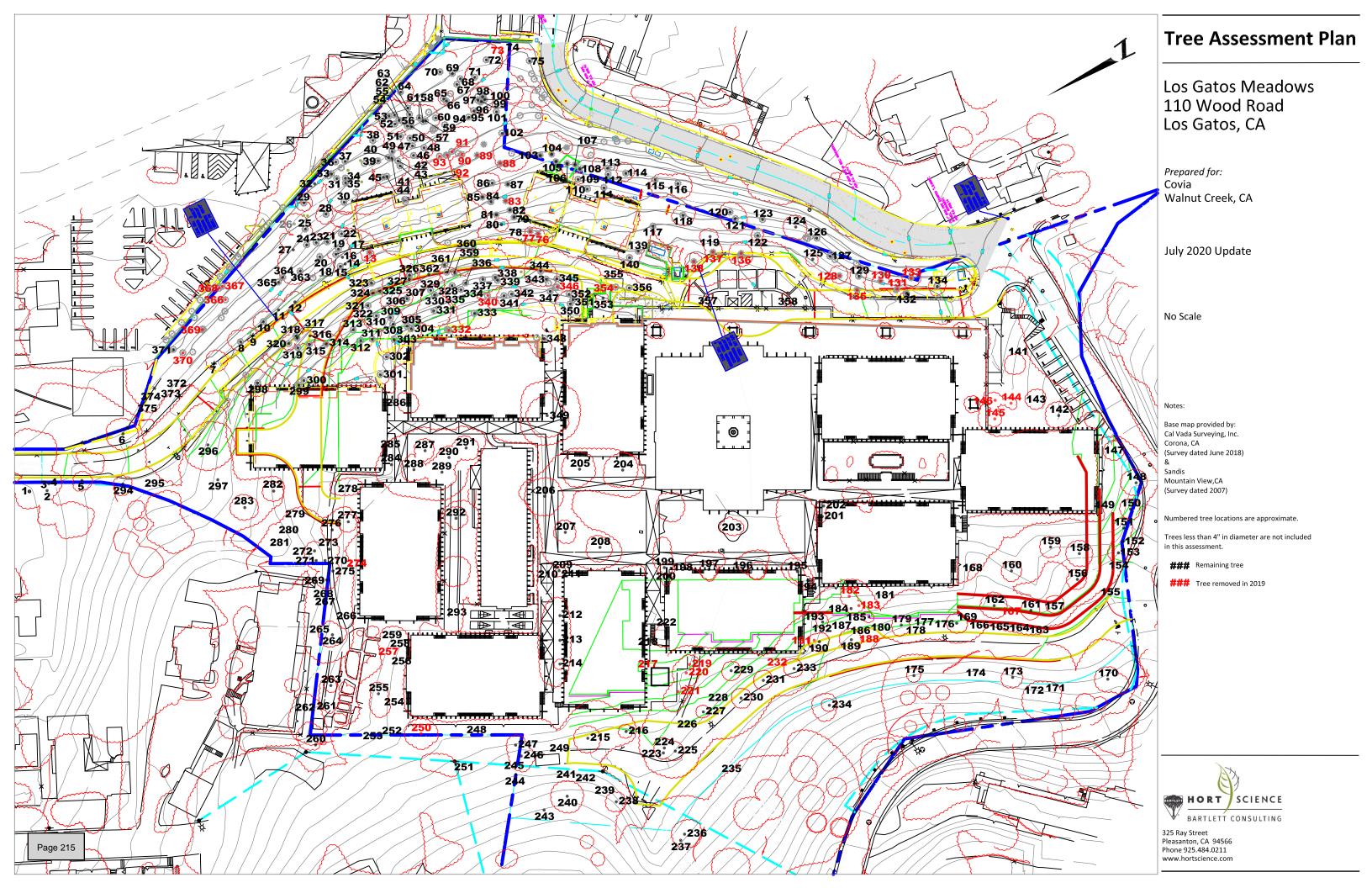
Exhibits

Tree Assessment Plan

Tree Assessment

Tree Disposition

Tree Appraisal



Tree Assessment

Los Gatos Meadows Los Gatos, CA July 2020 update



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
1	Coast redwood	40	Protected	50%	Moderate	Slight sweep in lower trunk; poor color; water stressed.
2	California bay	8,8,7	Protected	50%	Low	Multiple trunks arise from base; bushy form; decay in stem; crown one sided west.
3	California bay	6,5	Protected	30%	Low	Multiple trunks arise from base; bushy form; crown one sided east; covered in ivy.
4	Valley oak	17	Protected	50%	Moderate	Leaning south; crown one sided west; covered in ivy and another vine.
5	Valley oak	14	Protected	30%	Low	Poor form and structure; small crown; crown one sided south.
6	Coast live oak	23	Protected	70%	High	Codominant trunks arise from 12 feet with seam; dense crown; pruning wound at 5 feet; trunk wound at 2 feet; both healed.
7	Blue gum	40	Protected	30%	Low	Multiple trunks arise from 15 feet; topped at 20 feet; tall, narrow poorly attached regrowth; yellow jacket at base.
8	Blue gum	38	Protected	30%	Low	Multiple trunks arise from 15 feet; topped at 20 feet; tall, narrow poorly attached regrowth.
9	Blue gum	20,7	Exception	30%	Low	Multiple trunks arise from base; topped at 20 feet; tall, narrow poorly attached regrowth; old retaining wall at base; decay in base.
10	Blue gum	54	Protected	30%	Low	Codominant trunks arise from 15 feet; topped at 20 feet; tall, narrow poorly attached regrowth; base at old retaining wall.
11	Blue gum	28	Protected	30%	Low	Codominant trunks arise from 20 feet with dead main stem decaying into attachment; topped at 20 feet; tall, narrow poorly attached regrowth; base at old retaining wall.
12	Blue gum	39	Protected	30%	Low	Codominant trunks arise from 15 feet; topped at 20 feet; tall, narrow poorly attached regrowth; base at old retaining wall; curb bumps out around base.
13	Canary Island pine	21	Protected	70%	High	Strong central leader; crown one sided east; minor dieback.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
14	Coast live oak	15	Protected	50%	Low	Crook in trunk at 3 feet; crown one sided south; dense crown; supporting retaining wall.
15	California bay	10	Protected	50%	Moderate	Lower trunk sweeps east; holding up retaining wall; minor dieback.
16	California bay	10	Protected	50%	Moderate	Narrow upright form; sinuous trunk; interior tree.
17	California bay	9,9	Protected	30%	Low	Codominant trunks arise from base with decay running up inside of trunks; narrow upright form; small crown.
18	California bay	5	Protected	10%	Low	Main stem dead.
19	California bay	13,8	Protected	50%	Moderate	Codominant trunks arise from 3 feet; one stem bowed east; larger stem upright, narrow form.
20	California bay	11	Protected	30%	Low	Codom in upper crown; thin crown; narrow form.
21	California bay	13	Protected	30%	Low	Multiple trunks arise in upper crown; poor form and structure; dense chaotic crown.
22	California buckeye	9	Protected	50%	Moderate	Leans heavily east; suppressed by neighboring trees.
23	California bay	7	Protected	30%	Low	Main stem bowed heavily east with vertical epicormic stems.
24	California bay	17,16	Protected	70%	High	Codominant trunks arise from base; wide spreading crown; dominant tree.
25	California bay	11	Protected	30%	Low	Narrow form; sinuous trunk; cavity in base.
26	California bay	12	Protected	50%	Low	Leaning heavily east; codominant trunks arise from 10 feet; small dense crown.
27	California bay	7	Protected	10%	Low	Leaning east, closer to horizontal than vertical; epicormic sprouts.
28	California bay	8	Protected	10%	Low	Main stem totally hollow.
29	California bay	12,7,6	Protected	10%	Low	Stump sprout; can see through base.
30	Valley oak	34	Large Protected	70%	High	Codominant trunks arise from 25 feet; minor dieback; dominant tree; crown above building.
31	California bay	16	Protected	50%	Low	Leaning east; narrow upright form cabled wrapped around tree; 8 inch trunk wound on south side.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
32	California bay	8	Protected	50%	Low	Leaning east; narrow upright form; edge tree.
33	California bay	14,6	Protected	50%	Low	Codominant trunks arise from 3 feet; leaning east; wrapped around coast live oak.
34	California bay	8	Protected	30%	Low	Bowed heavily east; epicormic growing vertically.
35	California bay	11,10,7	Protected	50%	Low	Multiple trunks arise from base; sinuous trunks; minor dieback.
36	Coast live oak	19	Protected	50%	Moderate	Codominant trunks arise from 10 feet; dense crown one sided east; edge tree.
37	California bay	10	Protected	30%	Low	Leaning heavily east; topped; dense epicormic growth.
38	Blue oak	19	Protected	30%	Low	Sinuous trunk; low live crown ratio; thin, small crown; bark peeling off base.
39	Coast live oak	27	Large Protected	50%	Low	Codominant trunks arise from 20 feet; leaning east; swollen, bleeding base.
40	Valley oak	17	Protected	30%	Low	Codominant trunks arise from 15 feet with dead stem; other stem bowed over other trees, difficult to see.
41	California bay	8,5,4	Protected	50%	Moderate	Multiple trunks arise from base; bushy, interior tree.
42	California bay	5	Protected	50%	Low	Young interior tree searching for light.
43	Valley oak	14	Protected	50%	Moderate	Multiple trunks arise from 30 feet; difficult to see crown above other canopy.
44	Coast live oak	22	Protected	50%	Low	Lost codominant trunks arise from 5 feet decaying into trunk; dense wide spreading crown.
45	California bay	6,5	Protected	50%	Low	Bushy interior tree.
46	California bay	6	Protected	50%	Low	Young interior tree searching for light.
47	Valley oak	17,13	Protected	50%	Moderate	Codominant trunks arise from 2 feet; trunks bow away form each other; wide spreading crown, difficult to see.
48	California bay	22,12	Protected	10%	Low	Dead stump resprouting.
49	California bay	7	Protected	50%	Low	Young interior tree searching for light; swollen base.
50	California bay	7	Protected	50%	Low	Young interior tree searching for light; swollen base.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
51	California bay	7	Protected	30%	Low	Bowed horizontal to east; epicormic growing vertical.
52	California bay	9	Protected	30%	Low	Bowed horizontal to east; epicormic growing vertical; topped at property line.
53	California bay	10	Protected	50%	Low	Narrow upright form; cavities at base; edge tree.
54	California bay	13,9	Protected	50%	Low	Codominant trunks arise from 3 feet; swollen base; leaning east; headed at property line.
55	California bay	6,5,5,4	Protected	50%	Low	Bushy interior tree bowed to east.
56	California bay	7	Protected	30%	Low	Bowed horizontal to east; epicormic growing vertical; topped at property line.
57	California bay	9,8	Protected	30%	Low	Codominant trunks arise from base; sinuous trunks; interior tree.
58	California bay	12	Protected	30%	Low	Cavities in base; bowed horizontal east; vertical epicormic sprouting.
59	Coast live oak	27,16	Large Protected	50%	Moderate	Codominant trunks arise from base; all stems bowed east; dense chaotic crown; base at 2 bay trees.
60	California bay	14	Protected	10%	Low	Cavities in base; broken top with epicormic resprouting.
61	California bay	15	Protected	30%	Low	Bowed to east; epicormic growing vertical.
62	California bay	13	Protected	30%	Low	Bowed to east; epicormic growing vertical; headed at property line.
63	California bay	6	Protected	50%	Low	Young interior tree searching for light.
64	California bay	10,9	Protected	50%	Low	Codominant trunks arise from base; trunk sweeping east; edge tree; headed at property line.
65	California bay	9	Protected	30%	Low	Bowed horizontally to east; epicormic growing vertical.
66	California bay	11	Protected	30%	Low	Multiple trunks arise from 20 feet where it perfectly props coast live oak stem.
67	Olive	5,4,3,2	Exception	30%	Low	Multiple trunks arise from base; volunteer; thin crown; interior tree.
68	California bay	6	Protected	50%	Low	Young interior tree searching for light.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
69	California bay	7	Protected	30%	Low	Narrow form; thin crown; dieback.
70	Coast live oak	6	Protected	50%	Moderate	Codominant trunks arise from 7 feet; dense crown, one sided east.
71	California bay	17,8	Protected	50%	Moderate	Codominant trunks arise from base; swollen base; dense chaotic crown.
72	Valley oak	33	Large Protected	70%	High	Dominant tree; codominant trunks arise from 6 feet with seam; wide spreading crown.
73	Olive	5	Exception	50%	Moderate	Multiple trunks arise from 7 feet; narrow crown.
74	Coast live oak	6	Protected	50%	Moderate	Codominant trunks arise from 7 feet; dense crown, one sided south.
75	Coast live oak	30	Large Protected	50%	Moderate	Multiple trunks arise from 7 feet crown one sided south; dense crown; minor dieback.
76	Monterey pine	15	Protected	50%	Low	Sinuous trunk; thin crown; gray blue color.
77	Monterey pine	17	Protected	50%	Low	Sinuous trunk; thin crown; gray blue color.
78	Coast redwood	7	Protected	90%	High	Good young tree; remove staking.
79	Coast redwood	13	Protected	90%	High	Good form and structure; dense crown.
80	Blue oak	12	Protected	50%	Moderate	Multiple trunks arise from 10 feet; thin crown; upright form.
81	Coast redwood	5	Protected	90%	High	Good young tree; remove staking.
82	Coast redwood	7	Protected	30%	Low	Dead top.
83	Monterey pine	14	Protected	50%	Low	Sinuous trunk; thin crown; gray blue color.
84	Bigleaf maple	9	Protected	30%	Low	2 foot basal wound with decay; good form and structure; dense crown.
85	Coast redwood	7	Protected	90%	High	Good young tree; remove staking.
86	Valley oak	19	Protected	70%	Moderate	Dominant tree; codominant trunks arise from 15 feet; crown one sided east.
87	Coast redwood	10	Protected	90%	High	Good form and structure; dense crown.
88	Monterey pine	8	Protected	50%	Low	Sinuous trunk; leaning south; thin crown; gray blue color.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
89	Monterey pine	8	Protected	50%	Moderate	Strong central leader; crown one sided south; thin crown.
90	Blackwood acacia	10,6	Exception	30%	Low	Poor form and structure; invasive.
91	Blackwood acacia	5	Exception	30%	Low	Poor form and structure; invasive.
92	Blackwood acacia	8,7,4	Exception	30%	Low	Poor form and structure; invasive.
93	Blackwood acacia	5,5,5,4	Exception	30%	Low	Poor form and structure; invasive.
94	California bay	10	Protected	30%	Low	Huge basal cavity; lost half of tree.
95	California bay	16	Protected	30%	Low	Lost top; epicormic resprouting; dieback.
96	California bay	5	Protected	10%	Low	Base decayed and failed; leaning on neighboring tree.
97	California bay	10,6,5,4,4	Protected	50%	Low	Multiple trunks arise from base; base at valley oak; bushy, wrapping around valley oak.
98	Valley oak	17,16	Protected	50%	Moderate	Codominant trunks arise from base; surrounded by bays; crown one sided south; dieback throughout crown.
99	California bay	7,6,6,5	Protected	50%	Low	Multiple trunks arise from base; base at valley oak; bushy, wrapping around valley oak.
100	California bay	6	Protected	50%	Low	Base at valley oak; bushy, wrapping around valley oak.
101	California bay	5	Protected	70%	High	Good young tree.
102	California bay	5,5,5,4,4,3 ,3,2,2	Protected	70%	Moderate	Multiple trunks arise from base; short wide spreading bushy form.
103	Coast redwood	9	Protected	50%	Moderate	Lost top; remove staking.
104	Coast redwood	8	Protected	90%	High	Good young tree.
105	Coast redwood	9	Protected	90%	High	Good young tree.
106	Coast redwood	10	Protected	90%	High	Good young tree.
107	Coast redwood	8	Protected	90%	High	Good young tree.
108	Coast redwood	4	Protected	90%	High	Good young tree; remove staking.
109	Grecian laurel	10,9,9	Protected	30%	Low	Multiple trunks arise from base; upright form; thin crown; previously topped.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
110	Grecian laurel	6,6,5,5,4,3 ,3,2	Protected	30%	Low	Multiple trunks arise from base; upright form; thin crown; previously topped.
111	Grecian laurel	5,4,4,4,4,4 ,3,3,3	Protected	30%	Low	Multiple trunks arise from base; upright form; thin crown; previously topped.
112	Olive	6	Exception	50%	Moderate	Sinuous trunk; small crown; interior tree; healing trunk wound.
113	Olive	12,7	Exception	50%	Moderate	Codominant trunks arise from base; sinuous trunk; dieback; interior tree; healing trunk wound.
114	Olive	10,6,5,4,3, 2,2,2	Exception	50%	Moderate	Multiple trunks arise from base; sinuous trunk; dieback; interior tree.
115	Valley oak	21	Protected	50%	Low	Multiple trunks arise from 12 feet; chaotic form; thin crown; weeping.
116	Blue gum	47,32,17	Large Protected	50%	Low	Multiple trunks arise from 2 feet; dominant tree; history of branch failure; growing on slope; previously topped.
117	Bronze loquat	6	Protected	30%	Low	Multiple trunks arise from 5 feet; half of crown dead.
118	Coast live oak	19,15	Protected	70%	High	Codominant trunks arise from base; dense crown; growing on slope.
119	Coast live oak	19	Protected	70%	High	Multiple trunks arise from 12 feet with seam; crown bowed south; dense crown.
120	Valley oak	14	Protected	50%	Moderate	Crook in trunk at 5 feet; crown one sided east.
121	Valley oak	19	Protected	50%	Low	Dominant tree; dieback to 5 inches; declining.
122	Coast live oak	11	Protected	50%	Moderate	Multiple trunks arise from 12 feet with wide attachment; chaotic form.
123	Olive	7,7,5,4,4,3	Exception	50%	Moderate	Multiple trunks arise from 1 foot; dense crown; 3 foot long trunk wound.
124	Coast live oak	25	Large Protected	10%	Low	Mostly dead.
125	Coast redwood	19	Protected	10%	Low	Mostly dead.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
126	Coast live oak	7,7	Protected	10%	Low	Mostly dead.
127	Coast live oak	8	Protected	10%	Low	Mostly dead.
128	Canary Island pine	28	Protected	70%	Moderate	Strong central leader; heavy sap flow; difficult to see top.
129	Coast live oak	15	Protected	50%	Low	Codominant trunks arise from 10 feet with seam; bowed south, on slope.
130	Canary Island pine	23	Protected	70%	High	Strong central leader; difficult to see top.
131	Canary Island pine	26	Protected	30%	Low	Sinuous trunk difficult to see top.
132	Coast redwood	7	Protected	90%	Moderate	Good young tree; growing into pines crown.
133	Canary Island pine	22	Protected	70%	High	Good form and structure; dense crown; difficult to see top.
134	Coast live oak	18	Protected	70%	Moderate	Multiple trunks arise from 12 feet; dense crown; minor dieback.
135	Canary Island pine	22	Protected	70%	Moderate	Codominant trunks arise in upper crown; dense crown; difficult to see top.
136	Canary Island pine	23	Protected	70%	High	Good form and structure; dense crown; difficult to see top; base 4 inches from curb.
137	Canary Island pine	21	Protected	70%	High	Good form and structure; dense crown; difficult to see top.
138	Canary Island pine	21	Protected	70%	High	Good form and structure; dense crown; difficult to see top; prune drooping branch.
139	Bronze loquat	5,3,3,3	Protected	50%	Moderate	Multiple trunks arise from 2 feet; growing in dense bushes.
140	Bronze loquat	6,4,2	Protected	30%	Low	Multiple trunks arise from 3 feet; declining
141	Crabapple	8	Exception	70%	High	Multiple trunks arise from 5 feet; wide spreading crown.
142	Coast live oak	18	Protected	70%	High	Multiple trunks arise from 8 feet; wide spreading crown; base covered in ivy.
143	Coast live oak	16	Protected	70%	High	Codominant trunks arise from 12 feet; wide spreading crown; base covered in ivy.
144	Canary Island pine	18	Protected	50%	Moderate	Lost top; dense crown; base in ivy.
145	Canary Island pine	22	Protected	70%	High	Good form and structure; dense crown; base in ivy.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
146	Canary Island pine	26	Protected	70%	Moderate	Codominant trunks arise in upper crown; dense crown; base in ivy.
147	Douglas fir	18	Protected	70%	Moderate	Good form and structure; minor dieback; epicormic growth.
148	Douglas fir	29	Protected	70%	Moderate	Good form and structure; dominant tree; root collar buried.
149	Hollywood juniper	9,5	Protected	70%	High	Codominant trunks arise from 3 feet; low branching dorm; dense crown.
150	Douglas fir	15	Protected	50%	Moderate	Good form and structure; minor dieback; thin crown.
151	Douglas fir	15	Protected	30%	Low	Multiple trunks arise from 10 feet where lost top; narrow form; dense crown.
152	Douglas fir	18	Protected	50%	Low	Good form and structure; minor dieback; lost top.
153	Douglas fir	14	Protected	50%	Moderate	Good form and structure; minor dieback; thin crown.
154	Valley oak	11	Protected	70%	High	Codominant trunks arise from 7 feet with seam; crown one sided south.
155	Silk oak	11	Protected	50%	Low	Multiple trunks arise from 25 feet; dense crown.
156	Coast live oak	17	Protected	70%	High	Multiple trunks arise from 10 feet; dense crown; buried root collar.
157	Coast live oak	15	Protected	30%	Low	Multiple trunks arise from 8 feet with seam; very non circular trunk; extensive dieback throughout crown.
158	Douglas fir	22	Protected	30%	Low	Topped at 25 feet; extensive surface roots.
159	Coast live oak	21	Protected	50%	Moderate	Codominant trunks arise from 8 feet; hose embedded in trunk at 6 feet; crown one sided west.
160	Valley oak	21	Protected	50%	Moderate	Trunk bows east; minor dieback.
161	Valley oak	16	Protected	30%	Low	Trunk bows horizontal to north; vertical branch becomes main stem; dieback throughout crown.
162	Coast live oak	20	Protected	50%	Moderate	Leaning west; dense crown.
163	Italian cypress	5	Protected	90%	High	Typical upright form; planted at edge of retaining wall.
164	Italian cypress	6	Protected	90%	High	Typical upright form; planted at edge of retaining wall.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
165	Italian cypress	6	Protected	90%	High	Typical upright form; planted at edge of retaining wall.
166	Italian cypress	5	Protected	90%	High	Typical upright form; planted at edge of retaining wall.
167	Monterey pine	4	Protected	90%	High	Good young tree.
168	Red horsechestnut	5,2	Protected	90%	High	Good young tree; prune codominant.
169	Coast live oak	7	Protected	50%	Low	Codominant trunks arise from 6 feet; crown one sided west over parking; dieback.
170	California bay	17,10,6	Protected	30%	Low	Multiple trunks arise from base; base totally hollow; wide spreading crown.
171	California bay	7,7,7,6,5,5 ,5,5	Protected	30%	Low	Stump sprout; decaying base.
172	California bay	8,5,5,4	Protected	30%	Low	Stump sprout; decaying base.
173	California bay	16	Protected	50%	Moderate	Upright form; thin crown; dieback.
174	Coast live oak	8	Protected	70%	Moderate	Codominant trunks arise from 15 feet; dense crown one sided east.
175	Coast live oak	15	Protected	30%	Low	Multiple trunks arise from 12 feet with bleeding seam; poor form and structure; dense crown one sided east.
176	Sugar gum	17,16	Protected	50%	Moderate	Codominant trunks arise from base; sinuous trunk; dense crown.
177	Sugar gum	12,11,11,1 1	Protected	30%	Low	Stump sprout; decaying base; long levers arms.
178	Deodar cedar	6	Protected	90%	High	Good young tree.
179	Coast live oak	14	Protected	50%	Moderate	Codominant trunks arise from 10 feet; dense crown; dieback throughout crown.
180	Italian cypress	5	Protected	90%	High	Typical upright form.
181	Sitka spruce	6	Protected	70%	High	Dense narrow weeping form; large surface roots.
182	Italian stone pine	22	Protected	50%	Moderate	Codominant trunks arise from 12 feet; crown one sided east over building; weeping.
183	Italian stone pine	19	Protected	50%	Moderate	Crown one sided east over building; weeping.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
184	Red ironbark	13	Exception	10%	Low	Mostly dead.
185	Incense cedar	11	Protected	90%	High	Good form and structure; dense crown.
186	Italian cypress	5	Protected	50%	Moderate	Typical upright form; grown around tie.
187	Italian cypress	5	Protected	90%	High	Typical upright form.
188	Blackwood acacia	4	Exception	70%	Low	Young invasive volunteer.
189	Coast live oak	19	Protected	50%	Moderate	Multiple trunks arise from 15 with awkward branching angles; dense flat topped crown.
190	Red ironbark	13	Exception	10%	Low	Mostly dead.
191	Blackwood acacia	17	Exception	50%	Low	Sinuous trunk; dense crown one sided north over building; invasive.
192	Red ironbark	14	Exception	10%	Low	Mostly dead.
193	Hollywood juniper	17	Protected	70%	High	Typical chaotic form; dense crown.
194	Hollywood juniper	5,5,4,3,3,3	Protected	50%	Low	Typical chaotic form; dense crown; decay at base.
195	Hollywood juniper	11,7	Protected	50%	Low	Typical chaotic form; dense crown; base 1 foot from building; crown one sided east.
196	Blue blossom	5,4,4	Protected	30%	Low	Multiple trunks arise from 1 foot with trunk wound; topped harshly.
197	Hollywood juniper	18	Protected	50%	Low	Typical chaotic form; dense crown; base 1 foot from building; crown one sided east.
198	Hollywood juniper	13	Protected	50%	Low	Typical chaotic form; dense crown; base 3 foot from building; crown one sided east.
199	Hollywood juniper	11	Protected	50%	Low	Typical chaotic form; dense crown; base 6 foot from building; crown one sided south.
200	Hollywood juniper	10	Protected	50%	Low	Typical chaotic form; dense crown; base 2 foot from building; crown one sided north.
201	Hollywood juniper	12	Protected	50%	Low	Typical chaotic form; dense crown; base 2 foot from building; crown one sided north.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
202	Hollywood juniper	13	Protected	50%	Low	Typical chaotic form; dense crown; base 1 foot from building; crown one sided east.
203	Crabapple	4,3	Exception	70%	High	Good young tree, iconic part of landscape.
204	Sawleaf zelkova	23	Protected	50%	Moderate	Multiple trunks arise from 7 feet with narrow attachment; wide spreading crown; northern half of tree declining; dieback.
205	Sawleaf zelkova	22	Protected	30%	Low	Multiple trunks arise from 7 feet with narrow attachment; wide spreading crown; tree declining; dieback.
206	Valley oak	24	Large Protected	70%	Moderate	Codominant trunks arise from 10 feet; growing in small space; vase shaped crown; minor dieback.
207	Sawleaf zelkova	19	Protected	30%	Low	Multiple trunks arise from 7 feet with narrow attachment; wide spreading crown; tree declining; dieback.
208	Sawleaf zelkova	18	Protected	30%	Low	Multiple trunks arise from 7 feet with narrow attachment; wide spreading crown; tree declining; dieback.
209	Mayten	7	Protected	30%	Low	Codominant trunks arise from 6 feet; thin crown; yellow foliage; declining.
210	Italian cypress	14	Protected	70%	Moderate	Typical upright form.
211	Italian cypress	14	Protected	70%	Low	Typical upright form; growing into buildings eve.
212	Crabapple	12	Exception	50%	Moderate	Multiple trunks arise from 6 feet; crown one sided north.
213	Crabapple	11	Exception	50%	Moderate	Multiple trunks arise from 6 feet; crown one sided north.
214	Crabapple	11	Exception	30%	Low	Multiple trunks arise from 6 feet with cavity; crown one sided north.
215	Coast live oak	22,22	Protected	50%	Low	Codominant trunks arise from 2 feet with seam; dense wide spreading crown; 2 cables in tree; significant growth around equipment.
216	California bay	10	Protected	50%	Moderate	Codominant trunks arise from 6 feet; dense crown; upright form.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
217	Brazilian pepper	5	Protected	50%	Low	Multiple trunks arise from 6 feet; bushy form; topped at 15 feet; base at deck.
218	Loquat	6	Protected	70%	Moderate	Narrow form; base 1 foot from retaining wall; dense crown.
219	Blue gum	36	Protected	50%	Moderate	Narrow form dense bushy growth; difficult to see upper crown.
220	Blue gum	62	Large Protected	50%	Moderate	Dense bushy growth; difficult to see upper crown.
221	Blue gum	36	Protected	50%	Moderate	Narrow form dense bushy growth; difficult to see upper crown; minor dieback.
222	African fern-pine	5	Protected	70%	Moderate	Good young tree; in narrow planting location.
223	California bay	13	Protected	50%	Moderate	Codominant trunks arise from 20 feet; dense crown; upright form; hole at base.
224	California bay	13,13	Protected	50%	Moderate	Codominant trunks arise from 2 feet; dense crown; upright form.
225	Coast live oak	20	Protected	70%	Moderate	Multiple trunks arise from 10 feet; crown one sided west; dense crown.
226	Red horsechestnut	8	Protected	30%	Low	Multiple trunks arise from 5 feet; thin crown; dieback.
227	Red horsechestnut	8	Protected	30%	Low	Multiple trunks arise from 3 feet; thin crown; dieback.
228	Red horsechestnut	5	Protected	50%	Moderate	Strong central leader; thin crown.
229	Coast live oak	23	Protected	70%	Moderate	Codominant trunks arise from 20 feet; crown one sided east; dense crown.
230	Red ironbark	22	Exception	30%	Low	Multiple trunks arise from 10 feet; poor form and structure; history of branch failure; dead branches.
231	Red ironbark	5,5,5,5,4	Exception	30%	Low	Stump sprout; long vertical stems from removed base.
232	Purpleleaf plum	4	Protected	30%	Low	Codominant trunks arise from 4 feet; thin small crown; low vigor; 4 foot long trunk wound.
233	Red ironbark	19	Exception	50%	Low	Codominant trunks arise from 10 feet; thin crown; wide spreading crown.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
234	Coast live oak	10,9	Protected	50%	Moderate	Codominant trunks arise from 1 foot with seam; twig dieback throughout dense crown.
235	Toyon	6,5,4,4	Protected	50%	Moderate	Multiple trunks arise from base; bushy.
236	California bay	12	Protected	50%	Low	Leaning east; codominant trunks arise from 10 feet; one stem vertical one horizontal.
237	California bay	11	Protected	50%	Moderate	Crook in trunk at 4 feet; narrow upright form.
238	Coast live oak	14	Protected	50%	Low	Codominant trunks arise from 7 feet; dense crown one sided south; under utility lines; at edge of slope.
239	Olive	10,5,5	Exception	50%	Moderate	Multiple trunks arise from 3 feet; dense crown one sided north.
240	Coast live oak	28	Large Protected	50%	Low	Multiple trunks arise from 5 feet; dead branch; pruned away from utility lines; dense two dimensional crown; exposed roots.
241	California bay	6	Protected	50%	Low	Young tree with exposed roots from eroding slope.
242	California bay	5	Protected	50%	Low	Young tree with exposed roots from eroding slope.
243	Coast live oak	27	Large Protected	10%	Low	Mostly dead.
244	Valley oak	15	Protected	30%	Low	Small crown pruned away from utilities; plastic attached to trunk to keep sprouts from growing towards utilities?
245	Coast live oak	4,4,4,3,3,2 ,2,2	Protected	30%	Low	Decaying stump sprout.
246	Valley oak	26	Large Protected	50%	Low	Leaning east over building; minor dieback; pruned away from; utilities.
247	Coast live oak	16	Protected	50%	Low	Trunk embedded in fence; multiple trunks arise from 10 feet; dense crown one sided east.
248	Coast live oak	6,5,3	Protected	30%	Low	Decaying stump sprout.
249	Victorian box	5,4,4,4,4,3 ,2	Protected	30%	Low	Multiple trunks arise from base; bushy; decaying stem at attachment.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
250	Blue gum	50	Large Protected	30%	Low	Multiple trunks arise from 15 feet; heading cuts; pruned harshly; dead branch decaying into branch; poorly attached regrowth.
251	Valley oak	28	Large Protected	70%	High	Off-site; base 15 feet from fence; overhangs fence by 20 feet.
252	Crabapple	5	Exception	50%	Low	Codominant trunks arise from 5 feet; crown one sided east; suppressed.
253	Plum	6,5,3	Exception	50%	Low	Multiple trunks arise from base; crown one sided east; suppressed.
254	Crabapple	7	Exception	30%	Low	Swollen base with cavity; thin two dimensional crown.
255	Crabapple	11	Exception	50%	Moderate	Multiple trunks arise from 3 feet; poorly pruned; dense wide spreading crown.
256	Bottlebrush	4,4	Protected	70%	Moderate	Codominant trunks arise from 1 foot; trunks wrapping; dense crown; close to building.
257	Aleppo pine	6	Protected	30%	Low	Poor form and structure; thin crown.
258	Victorian box	4,3	Protected	50%	Low	Codominant trunks arise from base; trunk wound; sweep at base; small crown.
259	Victorian box	6,5,2,2	Protected	50%	Moderate	Multiple trunks arise from base; basal sprouts; base in ivy; bushy.
260	Blue gum	52	Large Protected	50%	Low	Property line tree; no tag; cannot see base; lower 30 feet covered in ivy.
261	Jacaranda	7	Protected	50%	Moderate	Multiple trunks arise from 8 feet; sinuous trunk; attractive flowers.
262	Portugal laurel	6,5,4,4,4	Protected	30%	Low	Multiple trunks arise from base; bushy; declining; dieback.
263	Japanese flowering cherry	10	Protected	50%	Low	Multiple trunks arise from 4 feet; dieback; declining.
264	Coast live oak	20	Protected	70%	High	Codominant trunks arise from 15 feet; dense crown.
265	Cherry	12	Exception	30%	Low	Poorly attached codominant trunks arise from 5 feet; suppressed crown one sided north.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
266	California black walnut	8	Protected	30%	Low	Half dead.
267	Coast live oak	7	Protected	50%	Low	Sinuous trunk; leaning south over path; small crown.
268	California bay	5	Protected	50%	Low	Codominant trunks arise from 10 feet; interior tree; narrow upright form.
269	African sumac	12	Protected	10%	Low	Codominant trunks arise from 8 feet with 6 foot long trunk wound; poor form and structure; crown bowed south.
270	African sumac	9,9	Protected	10%	Low	Codominant trunks arise from 2 feet with 6 foot long trunk wound; poor form and structure; crown bowed south.
271	Coast live oak	11	Protected	50%	Low	Leaning north over neighboring property.
272	Coast live oak	13	Protected	50%	Moderate	Multiple trunks arise from 15 feet; partially covered in ivy; interior tree.
273	African sumac	13,11	Protected	50%	Low	Codominant trunks arise from 2 feet with 6 foot dead branch; crown bowed south.
274	Glossy privet	8,5	Exception	50%	Moderate	Codominant trunks arise from base; partially covered in ivy; dense crown.
275	African sumac	9,7	Protected	10%	Low	Codominant trunks arise from 2 feet with 6 foot long trunk wound; crown bowed south.
276	Crabapple	13	Exception	70%	Moderate	Multiple trunks arise from 6 feet; swollen base; dense crown.
277	Crabapple	13	Exception	70%	Moderate	Multiple trunks arise from 6 feet; base in ivy; dense crown.
278	California bay	6,5	Protected	70%	Moderate	Base covered in ivy; codominant trunks arise from base; dense crown.
279	Flowering dogwood	9,4	Protected	70%	High	Multiple trunks arise from 3 feet; chaotic structure; interior tree.
280	Coast live oak	12,10	Protected	50%	Low	Codominant trunks arise from base; interior tree; dieback; base covered in ivy.
281	California bay	6,4,3,2	Protected	50%	Low	Multiple trunks arise from base; base in ivy; suppressed to north.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
282	Coast live oak	15	Protected	70%	High	Codominant trunks arise from 7 feet; dense vase shaped crown.
283	Coast live oak	9	Protected	50%	Low	Covered in ivy; suppressed south.
284	Windmill palm		Exception	90%	Moderate	9 feet brown trunk height; growing in small space.
285	African fern-pine	4	Protected	30%	Low	Poor form and structure; bent top; planted against wall.
286	Hollywood juniper	12,6,5	Protected	50%	Low	Typical chaotic form; dense crown; base 4 foot from building; crown one sided north.
287	Red maple	12	Protected	70%	High	Codominant trunks arise from 12 feet; dense, spreading crown.
288	White willow	24	Protected	70%	Moderate	Codominant trunks arise from 8 feet; dense crown; basal sprout; branch headed.
289	Valley oak	28	Large Protected	30%	Low	Codominant trunks arise from 10 feet; narrow upright form; dieback; 12 inch cavity decaying into trunk.
290	Sweetgum	15	Protected	70%	High	Multiple trunks arise in upper crown; dense crown; slightly sinuous trunk; minor dieback.
291	Sweetgum	20	Protected	50%	Moderate	Multiple trunks arise from 4 feet with bulge; dense crown; slightly sinuous trunk; minor dieback.
292	Coast live oak	15	Protected	30%	Low	Codominant trunks arise from 12 feet; declining; extensive dieback.
293	Ginkgo	5	Protected	50%	Moderate	Competing with bush; narrow upright form.
294	Coast live oak	19	Protected	30%	Low	Poor form and structure; dead branch over road; dieback.
295	California bay	6	Protected	30%	Low	Bowed east; covered in ivy.
296	Coast live oak	26,25,17	Large Protected	50%	Moderate	Multiple trunks arise from base; wide spreading crown; reduced at perimeter.
297	Arroyo willow	18,16	Protected	30%	Low	Partial failure; dense bushy crown.
298	Coast live oak	18	Protected	50%	Low	Codominant trunks arise from 10 feet; crack and cavity in lowest branch; dense crown one sided east.
299	African fern-pine	8	Protected	30%	Low	Poor form and structure; crown touching building.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
300	African fern-pine	8	Protected	30%	Low	Poor form and structure; crown touching building; 8 inch trunk wound.
301	Japanese maple	5	Protected	50%	Moderate	Multiple trunks arise from 7 feet; narrow crown; growing in small
302	Crabapple	9	Exception	50%	Low	space. Codominant trunks arise from 3 feet; cavity with decay at 5 feet.
303	Coast live oak	19	Protected	50%	Moderate	Codominant trunks arise from 6 feet with seam; dense chaotic crown; headed back on east.
304	Coast live oak	13	Protected	50%	Low	Codominant trunks arise from 15; narrow upright form; crown one sided east.
305	Coast live oak	5	Protected	30%	Low	Codominant trunks arise from 4 feet; poor form and structure; suppressed.
306	Coast live oak	9	Protected	30%	Low	Bowed east to horizontal; suppressed.
307	Coast live oak	4	Protected	30%	Low	Small; stunted; suppressed; lost main stem.
308	Coast live oak	12	Protected	10%	Low	Leaning heavily on eucalyptus; declining; dieback.
309	Sugar gum	33	Protected	30%	Low	Dead main stem; 20 foot long trunk wound.
310	Sugar gum	33	Protected	30%	Low	Dead codominant at 30 foot; trunk wound spreading down from there.
311	Coast live oak	8	Protected	50%	Low	Codominant trunks arise from 4 feet; crown one sided west; narrow form; interior tree.
312	Coast live oak	12	Protected	50%	Low	Leaning west; crown one sided west; dense crown.
313	Coast live oak	17	Protected	50%	Low	Codominant trunk removed at 6 feet; upright form; thin crown; dieback.
314	California bay	18,14	Protected	70%	High	Codominant trunks arise from base; dense crown; growing in ivy.
315	California bay	9	Protected	50%	Moderate	Narrow upright form; leans west; dense crown.
316	California bay	11	Protected	50%	Moderate	Narrow upright form; leans west; dense crown.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
317	Valley oak	18	Protected	30%	Low	Extremely sinuous trunk; low live crown ratio; difficult to see crown.
318	Coast live oak	14	Protected	50%	Low	Codominant trunks arise from 5 feet; intertwined with valley oak; bushy.
319	California bay	9,6,5	Protected	50%	Moderate	Multiple trunks arise from base; base in ivy; leans west; dense crown.
320	California bay	9	Protected	50%	Low	Base in ivy; sinuous trunk crown one sided north.
321	Coast live oak	14	Protected	30%	Low	Codominant trunks arise from 10 feet with seam; narrow crown; leaning heavily east.
322	California bay	19	Protected	50%	Moderate	Codominant trunks arise from 20 feet; swollen base; yellow jacket nest at base.
323	Coast live oak	10	Protected	50%	Low	Codominant trunks arise from 12 feet; bushy growth; leaning east.
324	Valley oak	13	Protected	30%	Low	Poor form and structure; base flipped over root; small crown.
325	Coast live oak	8	Protected	30%	Low	Poor form and structure; small stunted.
326	Coast live oak	13	Protected	30%	Low	Poor form and structure; small crown; leaning east.
327	California bay	10	Protected	30%	Low	Crook in trunk at 20 feet; dense, narrow crown; decay at base.
328	California bay	12	Protected	30%	Low	Multiple trunks arise from 20 feet; dense, narrow crown; decay at base.
329	Coast live oak	8	Protected	30%	Low	Poor form and structure; small stunted; leaning east; tangled with 330.
330	California bay	10	Protected	30%	Low	Mostly dead; leaning east; tangled with 329.
331	Coast live oak	17,14	Protected	70%	Moderate	Codominant trunks arise from 3 feet; base in ivy; dense crown.
332	Purpleleaf plum	8	Protected	30%	Low	Codominant trunks arise from 5 feet; 1/4 dead, dieback.
333	Coast live oak	27	Protected	10%	Low	Only epicormic growth; cabled with no tension.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
334	California bay	12,11	Protected	30%	Low	Codominant trunks arise from 1 foot; swollen base; poor form and structure; basal decay.
335	Coast live oak	10	Protected	30%	Low	Bowed north to horizontal; suppressed.
336	California bay	10	Protected	50%	Low	Multiple trunks arise in upper crown; dense crown; dieback.
337	Coast live oak	22,10	Protected	30%	Low	Codominant trunks arise from 2 feet with unusual swelling; declining; cavities in all branches.
338	California bay	11	Protected	50%	Moderate	Narrow upright form; top bowed east; dense crown.
339	Coast live oak	15	Protected	50%	Low	Narrow upright form; epicormic growth; declining.
340	Blackwood acacia	5	Exception	70%	Low	Invasive volunteer; bushy upright form.
341	California bay	12	Protected	50%	Low	Narrow upright form; sinuous trunk; dieback.
342	California bay	12	Protected	50%	Low	Narrow upright form; sinuous trunk; dieback.
343	Coast live oak	14	Protected	50%	Moderate	Codominant trunks arise from 25 feet; top bowed east; dead branch.
344	Coast live oak	18	Protected	70%	Moderate	Upright form; crown one sided east; dense crown.
345	Coast live oak	8	Protected	10%	Low	Most of tree removed.
346	Olive	9,7	Protected	50%	Low	Codominant trunks arise from 1 foot; crown bowed east; two 4 foot long trunk wounds.
347	Coast live oak	5	Protected	30%	Low	Small stunted tree; small crown.
348	Marina madrone	14	Protected	90%	High	Nice tree; 5 feet from building.
349	Valley oak	34	Large Protected	30%	Low	In 15x15 raised planter; declining; cabled; pruned harshly.
350	Valley oak	37	Large Protected	50%	Low	Codominant trunks arise from 8 feet with 2 foot bleeding decaying cavity; thin crown; over pruned; 4 cables plus 2 failed to.
351	Coast live oak	9	Protected	50%	Low	Codominant trunks arise from 5 feet with wide attachment; dense crown one sided south.
352	Coast live oak	10	Protected	30%	Low	Codom poor form and structure; crown one sided west.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
353	Coast live oak	13	Protected	50%	Moderate	Bowed slightly south; dense crown; growing in ivy.
354	New Zealand cabbage palm	5	Exception	30%	Low	Poor form and structure; declining.
355	Hackberry	6	Protected	10%	Low	Mostly dead.
356	Hackberry	9	Protected	30%	Low	Half dead.
357	Italian cypress	6	Protected	90%	Moderate	Typical narrow form; growing in very small curb cutout.
358	Italian cypress	8	Protected	90%	Moderate	Typical narrow form; growing in very small curb cutout.
359	California bay	10	Protected	30%	Low	Upright form; bushy crown; dieback; declining; yellow jacket nest at base.
360	California bay	9	Protected	50%	Low	Sweep in lower trunk; dense crown; upright form.
361	California bay	8	Protected	30%	Low	Narrow upright form; bowed east over road; dieback; dead branches.
362	California buckeye	9	Protected	50%	Low	Multiple trunks arise from 7 feet; bowed east towards road; dense crown.
363	Coast live oak	5,4	Protected	10%	Low	Mostly dead.
364	Coast live oak	4	Protected	50%	Low	Small, stunted; searching for light; neighboring trees recently removed.
365	California bay	4	Protected	50%	Low	Small stunted; searching for light; neighboring trees recently removed.
366	Bailey acacia	5	Protected	10%	Low	Failed; topped.
367	Bailey acacia	7	Protected	30%	Low	Topped; dead branches and decay.
368	Bailey acacia	5	Protected	30%	Low	Topped; dead branches and decay.
369	Bailey acacia	7,7,7,6	Protected	30%	Low	Poor form and structure; multiple trunks arise from base with poorly attached connections.
370	Bailey acacia	10	Protected	30%	Low	Most of base removed; one stem remaining leaning heavily north.
371	Plum	5,4	Protected	30%	Low	Codominant trunks arise from 3 feet; bowed heavily east.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Suitability for Preservation	Comments
372	Coast live oak	9,8	Protected	50%	Low	Codominant trunks arise from 1 foot; partially covered in ivy; small crown; interior tree.
373	California bay	8	Protected	30%	Low	Completely covered in ivy.
374	Coast redwood	10	Protected	90%	High	Good young tree.
375	Coast redwood	14	Protected	90%	High	Good form and structure; dense crown.



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Disposition	Comment	Approx. crown diameter (feet)
1	Coast redwood	40	Protected	50%	Preserve	Outside of grading	~30
2	California bay	8,8,7	Protected	50%	Preserve	Outside of grading	~30
3	California bay	6,5	Protected	30%	Preserve	Outside of grading	~30
4	Valley oak	17	Protected	50%	Preserve	Outside of grading	~30
5	Valley oak	14	Protected	30%	Remove	Grading	~20
6	Coast live oak	23	Protected	70%	Preserve	Outside of grading	~30
7	Blue gum	40	Protected	30%	Remove	Road	~30
8	Blue gum	38	Protected	30%	Remove	Road	~30
9	Blue gum	20,7	Exception	30%	Remove	Road	~20
10	Blue gum	54	Protected	30%	Remove	Road	~50
11	Blue gum	28	Protected	30%	Remove	Road	~30
12	Blue gum	39	Protected	30%	Remove	Road	~30
13	Canary Island pine	21	Protected	70%	REMOVED	Removed 2019	~30
14	Coast live oak	15	Protected	50%	Remove	Road	~20
15	California bay	10	Protected	50%	Remove	Road	~20
16	California bay	10	Protected	50%	Remove	Grading	~20
17	California bay	9,9	Protected	30%	Remove	Grading	~20
18	California bay	5	Protected	10%	Remove	Grading	~20
19	California bay	13,8	Protected	50%	Preserve	Not developing slope	~30
20	California bay	11	Protected	30%	Remove	Grading	~20
21	California bay	13	Protected	30%	Preserve	Not developing slope	~30
22	California buckeye	9	Protected	50%	Preserve	Not developing slope	~30
23	California bay	7	Protected	30%	Preserve	Not developing slope	~50
24	California bay	17,16	Protected	70%	Preserve	Not developing slope	~50
25	California bay	11	Protected	30%	Preserve	Not developing slope	~20
26	California bay	12	Protected	50%	Preserve	Not developing slope	~20
27	California bay	7	Protected	10%	Preserve	Not developing slope	~20



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Disposition		Approx. crown diameter (feet)
28	California bay	8	Protected	10%	Preserve	Not developing slope	~20
29	California bay	12,7,6	Protected	10%	Preserve	Not developing slope	~50
30	Valley oak	34	Large Protected	70%	Preserve	Not developing slope	~60
31	California bay	16	Protected	50%	Preserve	Not developing slope	~30
32	California bay	8	Protected	50%	Preserve	Not developing slope	~20
33	California bay	14,6	Protected	50%	Preserve	Not developing slope	~20
34	California bay	8	Protected	30%	Preserve	Not developing slope	~20
35	California bay	11,10,7	Protected	50%	Preserve	Not developing slope	~30
36	Coast live oak	19	Protected	50%	Preserve	Not developing slope	~30
37	California bay	10	Protected	30%	Preserve	Not developing slope	~20
38	Blue oak	19	Protected	30%	Preserve	Not developing slope	~20
39	Coast live oak	27	Large Protected	50%	Preserve	Not developing slope	~30
40	Valley oak	17	Protected	30%	Preserve	Not developing slope	~20
41	California bay	8,5,4	Protected	50%	Preserve	Not developing slope	~20
42	California bay	5	Protected	50%	Preserve	Not developing slope	~20
43	Valley oak	14	Protected	50%	Preserve	Not developing slope	~30
44	Coast live oak	22	Protected	50%	Preserve	Not developing slope	~50
45	California bay	6,5	Protected	50%	Preserve	Not developing slope	~20
46	California bay	6	Protected	50%	Preserve	Not developing slope	~20
47	Valley oak	17,13	Protected	50%	Preserve	Not developing slope	~50
48	California bay	22,12	Protected	10%	Preserve	Not developing slope	~50
49	California bay	7	Protected	50%	Preserve	Not developing slope	~20
50	California bay	7	Protected	50%	Preserve	Not developing slope	~20
51	California bay	7	Protected	30%	Preserve	Not developing slope	~30
52	California bay	9	Protected	30%	Preserve	Not developing slope	~30
53	California bay	10	Protected	50%	Preserve	Not developing slope	~20
54	California bay	13,9	Protected	50%	Preserve	Not developing slope	~30



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Disposition		Approx. crown diameter (feet)
55	California bay	6,5,5,4	Protected	50%	Preserve	Not developing slope	~30
56	California bay	7	Protected	30%	Preserve	Not developing slope	~30
57	California bay	9,8	Protected	30%	Preserve	Not developing slope	~30
58	California bay	12	Protected	30%	Preserve	Not developing slope	~30
59	Coast live oak	27,16	Large Protected	50%	Preserve	Not developing slope	~60
60	California bay	14	Protected	10%	Preserve	Not developing slope	~20
61	California bay	15	Protected	30%	Preserve	Not developing slope	~30
62	California bay	13	Protected	30%	Preserve	Not developing slope	~30
63	California bay	6	Protected	50%	Preserve	Not developing slope	~20
64	California bay	10,9	Protected	50%	Preserve	Not developing slope	~30
65	California bay	9	Protected	30%	Preserve	Not developing slope	~30
66	California bay	11	Protected	30%	Preserve	Not developing slope	~20
67	Olive	5,4,3,2	Exception	30%	Preserve	Not developing slope	~20
68	California bay	6	Protected	50%	Preserve	Not developing slope	~20
69	California bay	7	Protected	30%	Preserve	Not developing slope	~20
70	Coast live oak	6	Protected	50%	Preserve	Not developing slope	~20
71	California bay	17,8	Protected	50%	Preserve	Not developing slope	~30
72	Valley oak	33	Large Protected	70%	Preserve	Not developing slope	~60
73	Olive	5	Exception	50%	REMOVED	Removed 2019	~10
74	Coast live oak	6	Protected	50%	Preserve	Not developing slope	~20
75	Coast live oak	30	Large Protected	50%	Preserve	Not developing slope	~50
76	Monterey pine	15	Protected	50%	REMOVED	Removed 2019	~20
77	Monterey pine	17	Protected	50%	REMOVED	Removed 2019	~20
78	Coast redwood	7	Protected	90%	Remove	Road	~10
79	Coast redwood	13	Protected	90%	Remove	Grading	~20
80	Blue oak	12	Protected	50%	Remove	Road	~20
81	Coast redwood	5	Protected	90%	Remove	Grading	~10



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Disposition	Comment	Approx. crown diameter (feet)
82	Coast redwood	7	Protected	30%	Preserve	Not developing slope	~20
83	Monterey pine	14	Protected	50%	REMOVED	Removed 2019	~20
84	Bigleaf maple	9	Protected	30%	Preserve	Not developing slope	~30
85	Coast redwood	7	Protected	90%	Preserve	Not developing slope	~10
86	Valley oak	19	Protected	70%	Preserve	Not developing slope	~50
87	Coast redwood	10	Protected	90%	Preserve	Not developing slope	~20
88	Monterey pine	8	Protected	50%	REMOVED	Removed 2019	~20
89	Monterey pine	8	Protected	50%	REMOVED	Removed 2019	~20
90	Blackwood acacia	10,6	Exception	30%	REMOVED	Removed 2019	~20
91	Blackwood acacia	5	Exception	30%	REMOVED	Removed 2019	~20
92	Blackwood acacia	8,7,4	Exception	30%	REMOVED	Removed 2019	~20
93	Blackwood acacia	5,5,5,4	Exception	30%	REMOVED	Removed 2019	~20
94	California bay	10	Protected	30%	Preserve	Not developing slope	~20
95	California bay	16	Protected	30%	Preserve	Not developing slope	~30
96	California bay	5	Protected	10%	Preserve	Not developing slope	~10
97	California bay	10,6,5 4 4	Protected	50%	Preserve	Not developing slope	~30
98	Valley oak	17,16	Protected	50%	Preserve	Not developing slope	~50
99	California bay	7,6,6,5	Protected	50%	Preserve	Not developing slope	~30
100	California bay	6	Protected	50%	Preserve	Not developing slope	~20
101	California bay	5	Protected	70%	Preserve	Not developing slope	~20
102	California bay	5,5,5,4,4,3,3,2,2	Protected	70%	Preserve	Not developing slope	~50
103	Coast redwood	9	Protected	50%	Preserve	Not developing slope	~20
104	Coast redwood	8	Protected	90%	Preserve	Not developing slope	~20
105	Coast redwood	9	Protected	90%	Preserve	Not developing slope	~20
106	Coast redwood	10	Protected	90%	Preserve	Not developing slope	~20
107	Coast redwood	8	Protected	90%	Preserve	Not developing slope	~20
108	Coast redwood	4	Protected	90%	Preserve	Not developing slope	~10



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Disposition	Comment	Approx. crown diameter (feet)
109	Grecian laurel	10,9,9	Protected	30%	Preserve	Not developing slope	~20
110	Grecian laurel	6,6,5,5,4,3,3,2	Protected	30%	Preserve	Not developing slope	~20
111	Grecian laurel	5,4,4,4,4,4,3,3,3	Protected	30%	Preserve	Not developing slope	~20
112	Olive	6	Exception	50%	Preserve	Not developing slope	~10
113	Olive	12,7	Exception	50%	Preserve	Not developing slope	~20
114	Olive	10,6,5,4,3,2,2,2	Exception	50%	Preserve	Not developing slope	~20
115	Valley oak	21	Protected	50%	Preserve	Not developing slope	~30
116	Blue gum	47,32,17	Large Protected	50%	Preserve	Not developing slope	~60
117	Bronze loquat	6	Protected	30%	Preserve	Not developing slope	~20
118	Coast live oak	19,15	Protected	70%	Preserve	Not developing slope	~50
119	Coast live oak	19	Protected	70%	Preserve	Not developing slope	~50
120	Valley oak	14	Protected	50%	Preserve	Not developing slope	~30
121	Valley oak	19	Protected	50%	Preserve	Not developing slope	~30
122	Coast live oak	11	Protected	50%	Preserve	Not developing slope	~20
123	Olive	7,7,5,4,4,3	Exception	50%	Preserve	Not developing slope	~20
124	Coast live oak	25	Large Protected	10%	Preserve	Not developing slope	~30
125	Coast redwood	19	Protected	10%	Remove	Grading	~20
126	Coast live oak	7,7	Protected	10%	Preserve	Not developing slope	~20
127	Coast live oak	8	Protected	10%	Preserve	Not developing slope	~20
128	Canary Island pine	28	Protected	70%	REMOVED	Removed 2019	~30
129	Coast live oak	15	Protected	50%	Remove	Road	~30
130	Canary Island pine	23	Protected	70%	REMOVED	Removed 2019	~30
131	Canary Island pine	26	Protected	30%	REMOVED	Removed 2019	~30
132	Coast redwood	7	Protected	90%	Remove	Road	~20
133	Canary Island pine	22	Protected	70%	REMOVED	Removed 2019	~30
134	Coast live oak	18	Protected	70%	Remove	Road	~50
135	Canary Island pine	22	Protected	70%	REMOVED	Removed 2019	~30



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Disposition		Approx. crown diameter (feet)
136	Canary Island pine	23	Protected	70%	REMOVED	Removed 2019	~30
137	Canary Island pine	21	Protected	70%	REMOVED	Removed 2019	~30
138	Canary Island pine	21	Protected	70%	REMOVED	Removed 2019	~30
139	Bronze loquat	5,3,3,3	Protected	50%	Remove	Road	~20
140	Bronze loquat	6,4,2	Protected	30%	Remove	Road	~20
141	Crabapple	8	Exception	70%	Remove	Grading	~30
142	Coast live oak	18	Protected	70%	Remove	Grading	~30
143	Coast live oak	16	Protected	70%	Remove	Grading	~30
144	Canary Island pine	18	Protected	50%	REMOVED	Removed 2019	~30
145	Canary Island pine	22	Protected	70%	REMOVED	Removed 2019	~30
146	Canary Island pine	26	Protected	70%	REMOVED	Removed 2019	~30
147	Douglas fir	18	Protected	70%	Remove	Grading	~30
148	Douglas fir	29	Protected	70%	Remove	Grading	~30
149	Hollywood juniper	9,5	Protected	70%	Remove	Grading	~30
150	Douglas fir	15	Protected	50%	Remove	Grading	~30
151	Douglas fir	15	Protected	30%	Remove	Grading	~30
152	Douglas fir	18	Protected	50%	Remove	Grading	~30
153	Douglas fir	14	Protected	50%	Remove	Grading	~30
154	Valley oak	11	Protected	70%	Remove	Grading	~30
155	Silk oak	11	Protected	50%	Remove	Grading	~30
156	Coast live oak	17	Protected	70%	Remove	Grading	~30
157	Coast live oak	15	Protected	30%	Remove	Grading	~50
158	Douglas fir	22	Protected	30%	Remove	Grading	~30
159	Coast live oak	21	Protected	50%	Remove	Building	~30
160	Valley oak	21	Protected	50%	Remove	Building	~50
161	Valley oak	16	Protected	30%	Remove	Grading	~30
162	Coast live oak	20	Protected	50%	Remove	Grading	~30



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Disposition		Approx. crown diameter (feet)
163	Italian cypress	5	Protected	90%	Remove	Grading	~10
164	Italian cypress	6	Protected	90%	Remove	Grading	~10
165	Italian cypress	6	Protected	90%	Remove	Grading	~10
166	Italian cypress	5	Protected	90%	Remove	Grading	~10
167	Monterey pine	4	Protected	90%	REMOVED	Removed 2019	~20
168	Red horsechestnut	5,2	Protected	90%	Remove	Building	~20
169	Coast live oak	7	Protected	50%	Remove	Grading	~20
170	California bay	17,10,6	Protected	30%	Preserve	Not developing slope	~50
171	California bay	7,7,7,6,5,5,5,5	Protected	30%	Preserve	Not developing slope	~30
172	California bay	8,5,5,4	Protected	30%	Preserve	Not developing slope	~30
173	California bay	16	Protected	50%	Remove	Grading	~30
174	Coast live oak	8	Protected	70%	Remove	Grading	~20
175	Coast live oak	15	Protected	30%	Remove	Grading	~30
176	Sugar gum	17,16	Protected	50%	Remove	Grading	~30
177	Sugar gum	12,11,11,11	Protected	30%	Remove	Grading	~50
178	Deodar cedar	6	Protected	90%	Remove	Grading	~20
179	Coast live oak	14	Protected	50%	Remove	Grading	~30
180	Italian cypress	5	Protected	90%	Remove	Grading	~10
181	Sitka spruce	6	Protected	70%	Remove	Building	~10
182	Italian stone pine	22	Protected	50%	REMOVED	Removed 2019	~30
183	Italian stone pine	19	Protected	50%	REMOVED	Removed 2019	~30
184	Red ironbark	13	Exception	10%	Remove	Building	~20
185	Incense cedar	11	Protected	90%	Remove	Grading	~20
186	Italian cypress	5	Protected	50%	Remove	Grading	~10
187	Italian cypress	5	Protected	90%	Remove	Grading	~10
188	Blackwood acacia	4	Exception	70%	REMOVED	Removed 2019	~10
189	Coast live oak	19	Protected	50%	Remove	Grading	~50



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Disposition		Approx. crown diameter (feet)
190	Red ironbark	13	Exception	10%	Remove	Grading	~30
191	Blackwood acacia	17	Exception	50%	REMOVED	Removed 2019	~30
192	Red ironbark	14	Exception	10%	Remove	Grading	~30
193	Hollywood juniper	17	Protected	70%	Remove	Grading	~20
194	Hollywood juniper	5,5,4,3,3,3	Protected	50%	Remove	Building	~20
195	Hollywood juniper	11,7	Protected	50%	Remove	Building	~20
196	Blue blossom	5,4,4	Protected	30%	Remove	Building	~20
197	Hollywood juniper	18	Protected	50%	Remove	Building	~20
198	Hollywood juniper	13	Protected	50%	Remove	Building	~20
199	Hollywood juniper	11	Protected	50%	Remove	Building	~20
200	Hollywood juniper	10	Protected	50%	Remove	Building	~20
201	Hollywood juniper	12	Protected	50%	Remove	Building	~20
202	Hollywood juniper	13	Protected	50%	Remove	Building	~20
203	Crabapple	4,3	Exception	70%	Remove	Building	~20
204	Sawleaf zelkova	23	Protected	50%	Remove	Grading	~50
205	Sawleaf zelkova	22	Protected	30%	Remove	Grading	~50
206	Valley oak	24	Large Protected	70%	Remove	Grading	~50
207	Sawleaf zelkova	19	Protected	30%	Remove	Grading	~50
208	Sawleaf zelkova	18	Protected	30%	Remove	Grading	~50
209	Mayten	7	Protected	30%	Remove	Building	~20
210	Italian cypress	14	Protected	70%	Remove	Building	~10
211	Italian cypress	14	Protected	70%	Remove	Building	~10
212	Crabapple	12	Exception	50%	Remove	Building	~20
213	Crabapple	11	Exception	50%	Remove	Building	~20
214	Crabapple	11	Exception	30%	Remove	Building	~20
215	Coast live oak	22,22	Protected	50%	Remove	Road	~50
216	California bay	10	Protected	50%	Remove	Road	~20



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Disposition		Approx. crown diameter (feet)
217	Brazilian pepper	5	Protected	50%	REMOVED	Removed 2019	~20
218	Loquat	6	Protected	70%	Remove	Building	~20
219	Blue gum	36	Protected	50%	REMOVED	Removed 2019	~50
220	Blue gum	62	Large Protected	50%	REMOVED	Removed 2019	~60
221	Blue gum	36	Protected	50%	REMOVED	Removed 2019	~50
222	African fern-pine	5	Protected	70%	Remove	Building	~20
223	California bay	13	Protected	50%	Remove	Road	~20
224	California bay	13,13	Protected	50%	Remove	Road	~30
225	Coast live oak	20	Protected	70%	Remove	Road	~50
226	Red horsechestnut	8	Protected	30%	Remove	Grading	~20
227	Red horsechestnut	8	Protected	30%	Remove	Grading	~20
228	Red horsechestnut	5	Protected	50%	Remove	Grading	~20
229	Coast live oak	23	Protected	70%	Remove	Grading	~30
230	Red ironbark	22	Exception	30%	Remove	Road	~30
231	Red ironbark	5,5,5,5,4	Exception	30%	Remove	Road	~20
232	Purpleleaf plum	4	Protected	30%	REMOVED	Removed 2019	~10
233	Red ironbark	19	Exception	50%	Remove	Road	~50
234	Coast live oak	10,9	Protected	50%	Remove	Grading	~20
235	Toyon	6,5,4,4	Protected	50%	Preserve	Not developing slope	~20
236	California bay	12	Protected	50%	Preserve	Not developing slope	~30
237	California bay	11	Protected	50%	Preserve	Not developing slope	~20
238	Coast live oak	14	Protected	50%	Preserve	Not developing slope	~30
239	Olive	10,5,5	Exception	50%	Preserve	Not developing slope	~20
240	Coast live oak	28	Large Protected	50%	Remove	Grading	~50
241	California bay	6	Protected	50%	Remove	Grading	~20
242	California bay	5	Protected	50%	Preserve	Not developing slope	~20
243	Coast live oak	27	Large Protected	10%	Remove	Grading	~30



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Disposition		Approx. crown diameter (feet)
244	Valley oak	15	Protected	30%	Remove	Grading	~20
245	Coast live oak	4,4,4,3,3,2,2,2	Protected	30%	Remove	Grading	~20
246	Valley oak	26	Large Protected	50%	Remove	Grading	~30
247	Coast live oak	16	Protected	50%	Preserve	Not developing slope	~30
248	Coast live oak	6,5,3	Protected	30%	Remove	Grading	~20
249	Victorian box	5,4,4,4,4,3,2	Protected	30%	Remove	Road	~20
250	Blue gum	50	Large Protected	30%	REMOVED	Removed 2019	~50
251	Valley oak	28	Large Protected	70%	Preserve	Outside of grading	~50
252	Crabapple	5	Exception	50%	Remove	Grading	~20
253	Plum	6,5,3	Exception	50%	Remove	Grading	~20
254	Crabapple	7	Exception	30%	Remove	Grading	~20
255	Crabapple	11	Exception	50%	Remove	Grading	~30
256	Bottlebrush	4,4	Protected	70%	Remove	Building	~20
257	Aleppo pine	6	Protected	30%	REMOVED	Removed 2019	~20
258	Victorian box	4,3	Protected	50%	Remove	Building	~20
259	Victorian box	6,5,2,2	Protected	50%	Remove	Building	~20
260	Blue gum	52	Large Protected	50%	Preserve	Outside of grading	~50
261	Jacaranda	7	Protected	50%	Preserve	Outside of grading	~20
262	Portugal laurel	6,5,4,4,4	Protected	30%	Preserve	Outside of grading	~20
263	Japanese flowering cherry	10	Protected	50%	Remove	Grading	~20
264	Coast live oak	20	Protected	70%	Remove	Grading	~30
265	Cherry	12	Exception	30%	Remove	Grading	~20
266	California black walnut	8	Protected	30%	Remove	Grading	~20
267	Coast live oak	7	Protected	50%	Remove	Grading	~10
268	California bay	5	Protected	50%	Remove	Grading	~10
269	African sumac	12	Protected	10%	Remove	Grading	~30
270	African sumac	9,9	Protected	10%	Remove	Grading	~30



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Disposition		Approx. crown diameter (feet)
271	Coast live oak	11	Protected	50%	Remove	Grading	~20
272	Coast live oak	13	Protected	50%	Remove	Grading	~20
273	African sumac	13,11	Protected	50%	Remove	Grading	~20
274	Glossy privet	8,5	Exception	50%	REMOVED	Removed 2019	~20
275	African sumac	9,7	Protected	10%	Remove	Grading	~20
276	Crabapple	13	Exception	70%	Remove	Road	~20
277	Crabapple	13	Exception	70%	Remove	Road	~20
278	California bay	6,5	Protected	70%	Remove	Building	~20
279	Flowering dogwood	9,4	Protected	70%	Remove	Road	~20
280	Coast live oak	12,10	Protected	50%	Remove	Grading	~30
281	California bay	6,4,3,2	Protected	50%	Remove	Grading	~20
282	Coast live oak	15	Protected	70%	Remove	Grading	~30
283	Coast live oak	9	Protected	50%	Remove	Grading	~20
284	Windmill palm	5	Exception	90%	Remove	Building	~20
285	African fern-pine	4	Protected	30%	Remove	Building	~10
286	Hollywood juniper	12,6,5	Protected	50%	Remove	Building	~20
287	Red maple	12	Protected	70%	Remove	Building	~30
288	White willow	24	Protected	70%	Remove	Building	~50
289	Valley oak	28	Large Protected	30%	Remove	Grading	~30
290	Sweetgum	15	Protected	70%	Remove	Grading	~30
291	Sweetgum	20	Protected	50%	Remove	Grading	~30
292	Coast live oak	15	Protected	30%	Remove	Grading	~30
293	Ginkgo	5	Protected	50%	Remove	Building	~20
294	Coast live oak	19	Protected	30%	Preserve	Outside of grading	~30
295	California bay	6	Protected	30%	Preserve	Outside of grading	~20
296	Coast live oak	26,25,17	Large Protected	50%	Remove	Grading	~60
297	Arroyo willow	18,16	Protected	30%	Remove	Grading	~30



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Disposition	Comment	Approx. crown diameter (feet)
298	Coast live oak	18	Protected	50%	Remove	Grading	~30
299	African fern-pine	8	Protected	30%	Remove	Road	~20
300	African fern-pine	8	Protected	30%	Remove	Road	~20
301	Japanese maple	5	Protected	50%	Remove	Building	~20
302	Crabapple	9	Exception	50%	Remove	Building	~20
303	Coast live oak	19	Protected	50%	Remove	Building	~30
304	Coast live oak	13	Protected	50%	Remove	Grading	~20
305	Coast live oak	5	Protected	30%	Remove	Grading	~20
306	Coast live oak	9	Protected	30%	Remove	Grading	~20
307	Coast live oak	4	Protected	30%	Remove	Grading	~20
308	Coast live oak	12	Protected	10%	Remove	Grading	~20
309	Sugar gum	33	Protected	30%	Remove	Grading	~50
310	Sugar gum	33	Protected	30%	Remove	Grading	~50
311	Coast live oak	8	Protected	50%	Remove	Grading	~20
312	Coast live oak	12	Protected	50%	Remove	Grading	~30
313	Coast live oak	17	Protected	50%	Remove	Road	~30
314	California bay	18,14	Protected	70%	Remove	Road	~30
315	California bay	9	Protected	50%	Remove	Road	~20
316	California bay	11	Protected	50%	Remove	Road	~20
317	Valley oak	18	Protected	30%	Remove	Road	~30
318	Coast live oak	14	Protected	50%	Remove	Road	~20
319	California bay	9,6,5	Protected	50%	Remove	Road	~20
320	California bay	9	Protected	50%	Remove	Grading	~20
321	Coast live oak	14	Protected	30%	Remove	Road	~20
322	California bay	19	Protected	50%	Remove	Grading	~30
323	Coast live oak	10	Protected	50%	Remove	Road	~20
324	Valley oak	13	Protected	30%	Remove	Road	~30



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Condition out of 100%	Disposition		Approx. crown diameter (feet)
325	Coast live oak	8	Protected	30%	Remove	Road	~20
326	Coast live oak	13	Protected	30%	Remove	Road	~20
327	California bay	10	Protected	30%	Remove	Road	~20
328	California bay	12	Protected	30%	Remove	Grading	~20
329	Coast live oak	8	Protected	30%	Remove	Grading	~20
330	California bay	10	Protected	30%	Remove	Grading	~20
331	Coast live oak	17,14	Protected	70%	Remove	Grading	~30
332	Purpleleaf plum	8	Protected	30%	REMOVED	Removed 2019	~20
333	Coast live oak	27	Protected	10%	Remove	Grading	~30
334	California bay	12,11	Protected	30%	Remove	Grading	~30
335	Coast live oak	10	Protected	30%	Remove	Grading	~20
336	California bay	10	Protected	50%	Remove	Grading	~20
337	Coast live oak	22,10	Protected	30%	Remove	Grading	~30
338	California bay	11	Protected	50%	Remove	Grading	~20
339	Coast live oak	15	Protected	50%	Remove	Grading	~20
340	Blackwood acacia	5	Exception	70%	REMOVED	Removed 2019	~20
341	California bay	12	Protected	50%	Remove	Grading	~20
342	California bay	12	Protected	50%	Remove	Grading	~20
343	Coast live oak	14	Protected	50%	Remove	Grading	~30
344	Coast live oak	18	Protected	70%	Remove	Road	~30
345	Coast live oak	8	Protected	10%	Remove	Grading	~10
346	Olive	9,7	Protected	50%	REMOVED	Removed 2019	~20
347	Coast live oak	5	Protected	30%	Remove	Grading	~10
348	Marina madrone	14	Protected	90%	Remove	Building	~20
349	Valley oak	34	Large Protected	30%	Remove	Building	~30
350	Valley oak	37	Large Protected	50%	Remove	Grading	~50
351	Coast live oak	9	Protected	50%	Remove	Grading	~20



353 Coast live oak 13 Protected 50% Remove Gra 354 New Zealand cabbage pal 5 Exception 30% REMOVED Rei 355 Hackberry 6 Protected 10% Remove Roi 356 Hackberry 9 Protected 30% Remove Roi 357 Italian cypress 6 Protected 90% Remove Roi 358 Italian cypress 8 Protected 90% Remove Roi 359 California bay 10 Protected 30% Remove Roi 360 California bay 9 Protected 50% Remove Roi 361 California bay 8 Protected 30% Remove Roi 368 Remove Roi 369 Remove Roi 360 California bay 8 Protected 30% Remove Roi 360 California bay 8 Protected 30% Remove Roi 360 California bay 8 Protected 30% Remove Roi 361 California bay 8 Protected 30% Remove Roi 362 Remove Roi 363 Remove Roi 364 Remove Roi 365 Remove Roi 366 Remove Roi 367 Remove Roi 367 Remove Roi 368 Remove Roi 369 Remove Roi 360 Remove Roi 360 Remove Roi 361 California bay 8 Protected 30% Remove Roi 361 Remove Roi 362 Remove Roi 363 Remove Roi 364 Remove Roi 365 Remove Roi 366 Remove Roi 367 Remove Roi 367 Remove Roi 368 Remove Roi 369 Remove Roi 360	diameter (feet)
354 New Zealand cabbage pal 5 Exception 30% REMOVED Residue 355 Hackberry 6 Protected 10% Remove Rose 356 Hackberry 9 Protected 30% Remove Rose 357 Italian cypress 6 Protected 90% Remove Rose 358 Italian cypress 8 Protected 90% Remove Rose 359 California bay 10 Protected 30% Remove Rose 360 California bay 9 Protected 50% Remove Rose 361 California bay 8 Protected 30% Remove Rose 361 California bay	rading ~20
355 Hackberry 6 Protected 10% Remove Rot 356 Hackberry 9 Protected 30% Remove Rot 357 Italian cypress 6 Protected 90% Remove Rot 358 Italian cypress 8 Protected 90% Remove Rot 359 California bay 10 Protected 30% Remove Rot 360 California bay 9 Protected 50% Remove Rot 361 California bay 8 Protected 30% Remove Rot 361 California bay 8 Protected 30% Remove Rot 365 Remove Rot 365 California bay 8 Protected 30% Remove Rot 365 California	rading ~20
356 Hackberry 9 Protected 30% Remove Ros 357 Italian cypress 6 Protected 90% Remove Ros 358 Italian cypress 8 Protected 90% Remove Ros 359 California bay 10 Protected 30% Remove Ros 360 California bay 9 Protected 50% Remove Ros 361 California bay 8 Protected 30% Remove Ros	emoved 2019 ~10
357 Italian cypress 6 Protected 90% Remove Rot 358 Italian cypress 8 Protected 90% Remove Rot 359 California bay 10 Protected 30% Remove Rot 360 California bay 9 Protected 50% Remove Rot 361 California bay 8 Protected 30% Remove Rot 361 California Bay	ad ~10
358 Italian cypress 8 Protected 90% Remove Ros 359 California bay 10 Protected 30% Remove Ros 360 California bay 9 Protected 50% Remove Ros 361 California bay 8 Protected 30% Remove Ros	oad ~20
359 California bay 10 Protected 30% Remove Rose 360 California bay 9 Protected 50% Remove Rose 361 California bay 8 Protected 30% Remove Rose	ad ~10
360 California bay 9 Protected 50% Remove Ros 361 California bay 8 Protected 30% Remove Ros	oad ~10
361 California bay 8 Protected 30% Remove Ro	oad ~20
·	oad ~20
362 California buckeve 9 Protected 50% Remove Ro	oad ~20
	oad ~20
363 Coast live oak 5,4 Protected 10% Remove Gra	rading ~20
364 Coast live oak 4 Protected 50% Preserve No	ot developing slope ~10
365 California bay 4 Protected 50% Remove Gra	rading ~10
366 Bailey acacia 5 Protected 10% REMOVED Rel	emoved 2019 ~10
367 Bailey acacia 7 Protected 30% REMOVED Rel	emoved 2019 ~20
368 Bailey acacia 5 Protected 30% REMOVED Rel	emoved 2019 ~20
369 Bailey acacia 7,7,7,6 Protected 30% REMOVED Rel	emoved 2019 ~30
370 Bailey acacia 1 Protected 30% REMOVED Rel	emoved 2019 ~30
371 Plum 5,4 Protected 30% Preserve No	ot developing slope ~20
372 Coast live oak 9,8 Protected 50% Remove Gra	rading ~20
373 California bay 8 Protected 30% Remove Gra	rading ~10
374 Coast redwood 10 Protected 90% Preserve No	ot developing slope ~20
375 Coast redwood 14 Protected 90% Preserve No	, 0 ,

Tree Appraisal



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Appraised Value	
1	Coast redwood	40	Protected	\$	14,800
2	California bay	8,8,7	Protected	\$	3,000
3	California bay	6,5	Protected	\$	650
4	Valley oak	17	Protected	\$	6,200
5	Valley oak	14	Protected	\$	2,550
6	Coast live oak	23	Protected	\$	9,400
7	Blue gum	40	Protected	\$	2,950
8	Blue gum	38	Protected	\$	2,750
9	Blue gum	20,7	Exception	\$	900
10	Blue gum	54	Protected	\$	4,300
11	Blue gum	28	Protected	\$	1,600
12	Blue gum	39	Protected	\$	2,850
13	Canary Island pine	21	Protected	\$	7,850
14	Coast live oak	15	Protected	\$	2,900
15	California bay	10	Protected	\$	1,700
16	California bay	10	Protected	\$	1,700
17	California bay	9,9	Protected	\$	1,650
18	California bay	5	Protected	\$	100
19	California bay	13,8	Protected	\$	3,900
20	California bay	11	Protected	\$	1,250
21	California bay	13	Protected	\$	1,200
22	California buckeye	9	Protected	\$	950
23	California bay	7	Protected	\$	350
24	California bay	17,16	Protected	\$	8,750
25	California bay	11	Protected	\$	850
26	California bay	12	Protected	\$	2,100
27	California bay	7	Protected	\$	150
28	California bay	8	Protected	\$	150
29	California bay	12,7,6	Protected	\$	650
			Large		
30	Valley oak	34	Protected	\$	23,150
31	California bay	16	Protected	\$	2,950
32	California bay	8	Protected	\$	950
33	California bay	14,6	Protected	\$	3,350
34	California bay	8	Protected	\$	450
35	California bay	11,10,7	Protected	\$	3,100
36	Coast live oak	19	Protected	\$	3,950
37	California bay	10	Protected	\$	900
38	Blue oak	19	Protected	\$	3,100



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Арр	raised Value
			Large		
39	Coast live oak	27	Protected	\$	7,950
40	Valley oak	17	Protected	\$	3,200
41	California bay	8,5,4	Protected	\$	1,250
42	California bay	5	Protected	\$	300
43	Valley oak	14	Protected	\$	2,900
44	Coast live oak	22	Protected	\$	4,250
45	California bay	6,5	Protected	\$	750
46	California bay	6	Protected	\$	450
47	Valley oak	17,13	Protected	\$	6,750
48	California bay	22,12	Protected	\$	1,450
49	California bay	7	Protected	\$	600
50	California bay	7	Protected	\$	600
51	California bay	7	Protected	\$	350
52	California bay	9	Protected	\$	700
53	California bay	10	Protected	\$	1,450
54	California bay	13,9	Protected	\$	3,600
55	California bay	6,5,5,4	Protected	\$	1,500
56	California bay	7	Protected	\$	350
57	California bay	9,8	Protected	\$	1,000
58	California bay	12	Protected	\$	1,000
			Large		
59	Coast live oak	27,16	Protected	\$	8,600
60	California bay	14	Protected	\$	450
61	California bay	15	Protected	\$	1,550
62	California bay	13	Protected	\$	1,450
63	California bay	6	Protected	\$	550
64	California bay	10,9	Protected	\$	2,600
65	California bay	9	Protected	\$	600
66	California bay	11	Protected	\$	850
67	Olive	5,4,3,2	Exception	\$	250
68	California bay	6	Protected	\$	450
69	California bay	7	Protected	\$	450
70	Coast live oak	6	Protected	\$	450
71	California bay	17,8	Protected	\$	6,750
			Large		
72	Valley oak	33	Protected	\$	36,300
73	Olive	5	Exception	\$	350
74	Coast live oak	6	Protected	\$	600



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Арј	oraised Value
			Large		
75	Coast live oak	30	Protected	\$	13,000
76	Monterey pine	15	Protected	\$	750
77	Monterey pine	17	Protected	\$	1,000
78	Coast redwood	7	Protected	\$	1,000
79	Coast redwood	13	Protected	\$	2,200
80	Blue oak	12	Protected	\$	2,450
81	Coast redwood	5	Protected	\$	550
82	Coast redwood	7	Protected	\$	250
83	Monterey pine	14	Protected	\$	450
84	Bigleaf maple	9	Protected	\$	150
85	Coast redwood	7	Protected	\$	700
86	Valley oak	19	Protected	\$	7,500
87	Coast redwood	10	Protected	\$	1,300
88	Monterey pine	8	Protected	\$	150
89	Monterey pine	8	Protected	\$	150
90	Blackwood acacia	10,6	Exception	\$	250
91	Blackwood acacia	5	Exception	\$	50
92	Blackwood acacia	8,7,4	Exception	\$	250
93	Blackwood acacia	5,5,5,4	Exception	\$	150
94	California bay	10	Protected	\$	700
95	California bay	16	Protected	\$	1,800
96	California bay	5	Protected	\$	50
97	California bay	10,6,5 4 4	Protected	\$	2,250
98	Valley oak	17,16	Protected	\$	13,300
99	California bay	7,6,6,5	Protected	\$	2,800
100	California bay	6	Protected	\$	750
101	California bay	5	Protected	\$	750
102	California bay	5,5,5,4,4,3,3,2,2	Protected	\$	2,500
103	Coast redwood	9	Protected	\$	1,000
104	Coast redwood	8	Protected	\$	1,450
105	Coast redwood	9	Protected	\$	1,800
106	Coast redwood	10	Protected	\$	1,500
107	Coast redwood	8	Protected	\$	1,450
108	Coast redwood	4	Protected	\$	450
109	Grecian laurel	10,9,9	Protected	\$	2,050
110	Grecian laurel	6,6,5,5,4,3,3,2	Protected	\$	950
111	Grecian laurel	5,4,4,4,4,3,3,3	Protected	\$	600
112	Olive	6	Exception	\$	450
113	Olive	12,7	Exception	\$	2,200



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Арр	raised Value
114	Olive	10,6,5,4,3,2,2,2	Exception	\$	2,050
115	Valley oak	21	Protected	\$	10,800
			Large		
116	Blue gum	47,32,17	Protected	\$	11,950
117	Bronze loquat	6	Protected	\$	400
118	Coast live oak	19,15	Protected	\$	11,850
119	Coast live oak	19	Protected	\$	6,450
120	Valley oak	14	Protected	\$	4,850
121	Valley oak	19	Protected	\$	8,850
122	Coast live oak	11	Protected	\$	1,600
123	Olive	7,7,5,4,4,3	Exception	\$	1,600
			Large		
124	Coast live oak	25	Protected	\$	1,800
125	Coast redwood	19	Protected	\$	850
126	Coast live oak	7,7	Protected	\$	300
127	Coast live oak	8	Protected	\$	200
128	Canary Island pine	28	Protected	\$	13,900
129	Coast live oak	15	Protected	\$	3,300
130	Canary Island pine	23	Protected	\$	10,700
131	Canary Island pine	26	Protected	\$	5,850
132	Coast redwood	7	Protected	\$	1,000
133	Canary Island pine	22	Protected	\$	9,800
134	Coast live oak	18	Protected	\$	6,600
135	Canary Island pine	22	Protected	\$	8,600
136	Canary Island pine	23	Protected	\$	9,400
137	Canary Island pine	21	Protected	\$	7,850
138	Canary Island pine	21	Protected	\$	7,850
139	Bronze loquat	5,3,3,3	Protected	\$	900
140	Bronze loquat	6,4,2	Protected	\$	600
141	Crabapple	8	Exception	\$	1,200
142	Coast live oak	18	Protected	\$	5,800
143	Coast live oak	16	Protected	\$	3,550
144	Canary Island pine	18	Protected	\$	3,200
145	Canary Island pine	22	Protected	\$	6,650
146	Canary Island pine	26	Protected	\$	9,300
147	Douglas fir	18	Protected	\$	2,600
148	Douglas fir	29	Protected	\$	6,650
149	Hollywood juniper	9,5	Protected	\$	850
150	Douglas fir	15	Protected	\$	1,300
151	Douglas fir	15	Protected	\$	750



Tree No.	Species	Trunk Diameter (in.)	Protected Status	raised Value
152	Douglas fir	18	Protected	\$ 1,850
153	Douglas fir	14	Protected	\$ 1,150
154	Valley oak	11	Protected	\$ 3,700
155	Silk oak	11	Protected	\$ 300
156	Coast live oak	17	Protected	\$ 3,550
157	Coast live oak	15	Protected	\$ 1,200
158	Douglas fir	22	Protected	\$ 1,150
159	Coast live oak	21	Protected	\$ 3,850
160	Valley oak	21	Protected	\$ 6,500
161	Valley oak	16	Protected	\$ 2,300
162	Coast live oak	20	Protected	\$ 3,500
163	Italian cypress	5	Protected	\$ 400
164	Italian cypress	6	Protected	\$ 500
165	Italian cypress	6	Protected	\$ 500
166	Italian cypress	5	Protected	\$ 400
167	Monterey pine	4	Protected	\$ 100
168	Red horsechestnut	5,2	Protected	\$ 950
169	Coast live oak	7	Protected	\$ 700
170	California bay	17,10,6	Protected	\$ 4,250
171	California bay	7,7,7,6,5,5,5,5	Protected	\$ 1,850
172	California bay	8,5,5,4	Protected	\$ 1,300
173	California bay	16	Protected	\$ 4,300
174	Coast live oak	8	Protected	\$ 1,200
175	Coast live oak	15	Protected	\$ 1,750
176	Sugar gum	17,16	Protected	\$ 1,850
177	Sugar gum	12,11,11,11	Protected	\$ 1,050
178	Deodar cedar	6	Protected	\$ 900
179	Coast live oak	14	Protected	\$ 2,550
180	Italian cypress	5	Protected	\$ 400
181	Sitka spruce	6	Protected	\$ 450
182	Italian stone pine	22	Protected	\$ 2,950
183	Italian stone pine	19	Protected	\$ 2,000
184	Red ironbark	13	Exception	\$ 50
185	Incense cedar	11	Protected	\$ 1,550
186	Italian cypress	5	Protected	\$ 200
187	Italian cypress	5	Protected	\$ 400
188	Blackwood acacia	4	Exception	\$ 100
189	Coast live oak	19	Protected	\$ 4,600
190	Red ironbark	13	Exception	\$ 50
191	Blackwood acacia	17	Exception	\$ 950



Tree No.	Species	Trunk Diameter (in.)	Protected Status	raised Value
192	Red ironbark	14	Exception	\$ 50
193	Hollywood juniper	17	Protected	\$ 2,250
194	Hollywood juniper	5,5,4,3,3,3	Protected	\$ 550
195	Hollywood juniper	11,7	Protected	\$ 1,200
196	Blue blossom	5,4,4	Protected	\$ 450
197	Hollywood juniper	18	Protected	\$ 2,250
198	Hollywood juniper	13	Protected	\$ 1,200
199	Hollywood juniper	11	Protected	\$ 850
200	Hollywood juniper	10	Protected	\$ 700
201	Hollywood juniper	12	Protected	\$ 1,000
202	Hollywood juniper	13	Protected	\$ 1,200
203	Crabapple	4,3	Exception	\$ 600
204	Sawleaf zelkova	23	Protected	\$ 7,950
205	Sawleaf zelkova	22	Protected	\$ 4,350
			Large	
206	Valley oak	24	Protected	\$ 21,850
207	Sawleaf zelkova	19	Protected	\$ 3,250
208	Sawleaf zelkova	18	Protected	\$ 2,950
209	Mayten	7	Protected	\$ 300
210	Italian cypress	14	Protected	\$ 1,500
211	Italian cypress	14	Protected	\$ 1,500
212	Crabapple	12	Exception	\$ 1,450
213	Crabapple	11	Exception	\$ 1,200
214	Crabapple	11	Exception	\$ 750
215	Coast live oak	22,22	Protected	\$ 12,250
216	California bay	10	Protected	\$ 1,700
217	Brazilian pepper	5	Protected	\$ 350
218	Loquat	6	Protected	\$ 650
219	Blue gum	36	Protected	\$ 3,250
			Large	
220	Blue gum	62	Protected	\$ 6,350
221	Blue gum	36	Protected	\$ 3,250
222	African fern-pine	5	Protected	\$ 650
223	California bay	13	Protected	\$ 2,850
224	California bay	13,13	Protected	\$ 5,650
225	Coast live oak	20	Protected	\$ 7,150
226	Red horsechestnut	8	Protected	\$ 850
227	Red horsechestnut	8	Protected	\$ 850
228	Red horsechestnut	5	Protected	\$ 600
229	Coast live oak	23	Protected	\$ 7,300



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Арр	raised Value
230	Red ironbark	22	Exception	\$	700
231	Red ironbark	5,5,5,5,4	Exception	\$	150
232	Purpleleaf plum	4	Protected	\$	50
233	Red ironbark	19	Exception	\$	850
234	Coast live oak	10,9	Protected	\$	2,350
235	Toyon	6,5,4,4	Protected	\$	750
236	California bay	12	Protected	\$	2,450
237	California bay	11	Protected	\$	2,050
238	Coast live oak	14	Protected	\$	2,550
239	Olive	10,5,5	Exception	\$	1,500
			Large		
240	Coast live oak	28	Protected	\$	9,900
241	California bay	6	Protected	\$	650
242	California bay	5	Protected	\$	450
			Large		
243	Coast live oak	27	Protected	\$	1,850
244	Valley oak	15	Protected	\$	2,900
245	Coast live oak	4,4,4,3,3,2,2,2	Protected	\$	450
			Large		
246	Valley oak	26	Protected	\$	14,450
247	Coast live oak	16	Protected	\$	3,300
248	Coast live oak	6,5,3	Protected	\$	500
249	Victorian box	5,4,4,4,4,3,2	Protected	\$	800
			Large		
250	Blue gum	50	Protected	\$	3,400
			Large		
251	Valley oak	28	Protected	\$	20,200
252	Crabapple	5	Exception	\$	300
253	Plum	6,5,3	Exception	\$	750
254	Crabapple	7	Exception	\$	300
255	Crabapple	11	Exception	\$	1,200
256	Bottlebrush	4,4	Protected	\$ \$	500
257	Aleppo pine	6	Protected	\$	150
258	Victorian box	4,3	Protected	\$	400
259	Victorian box	6,5,2,2	Protected	\$	1,000
			Large		
260	Blue gum	52	Protected	\$	5,950
261	Jacaranda	7	Protected	\$	300
262	Portugal laurel	6,5,4,4,4	Protected	\$	600
263	Japanese flowering cherry	10	Protected	\$	1,050



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Арр	raised Value
264	Coast live oak	20	Protected	\$	6,150
265	Cherry	12	Exception	\$	950
266	California black walnut	8	Protected	\$	200
267	Coast live oak	7	Protected	\$	600
268	California bay	5	Protected	\$	400
269	African sumac	12	Protected	\$	400
270	African sumac	9,9	Protected	\$	450
271	Coast live oak	11	Protected	\$	1,350
272	Coast live oak	13	Protected	\$	1,900
273	African sumac	13,11	Protected	\$	3,750
274	Glossy privet	8,5	Exception	\$	300
275	African sumac	9,7	Protected	\$	400
276	Crabapple	13	Exception	\$	2,350
277	Crabapple	13	Exception	\$	2,350
278	California bay	6,5	Protected	\$	1,450
279	Flowering dogwood	9,4	Protected	\$	1,200
280	Coast live oak	12,10	Protected	\$	2,150
281	California bay	6,4,3,2	Protected	\$	950
282	Coast live oak	15	Protected	\$	2,800
283	Coast live oak	9	Protected	\$	950
284	Windmill palm	5	Exception	\$	800
285	African fern-pine	4	Protected	\$	200
286	Hollywood juniper	12,6,5	Protected	\$	1,450
287	Red maple	12	Protected	\$	2,100
288	White willow	24	Protected	\$	3,450
			Large		
289	Valley oak	28	Protected	\$	12,700
290	Sweetgum	15	Protected	\$	4,750
291	Sweetgum	20	Protected	\$	6,050
292	Coast live oak	15	Protected	\$	1,700
293	Ginkgo	5	Protected	\$	200
294	Coast live oak	19	Protected	\$	2,750
295	California bay	6	Protected	\$	400
			Large		
296	Coast live oak	26,25,17	Protected	\$	20,050
297	Arroyo willow	18,16	Protected	\$	1,000
298	Coast live oak	18	Protected	\$	4,150
299	African fern-pine	8	Protected	\$	500
300	African fern-pine	8	Protected	\$	500
301	Japanese maple	5	Protected	\$	350



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Арр	raised Value
302	Crabapple	9	Exception	\$	800
303	Coast live oak	19	Protected	\$	3,550
304	Coast live oak	13	Protected	\$	1,700
305	Coast live oak	5	Protected	\$	150
306	Coast live oak	9	Protected	\$	450
307	Coast live oak	4	Protected	\$	100
308	Coast live oak	12	Protected	\$	250
309	Sugar gum	33	Protected	\$	1,500
310	Sugar gum	33	Protected	\$	1,500
311	Coast live oak	8	Protected	\$	600
312	Coast live oak	12	Protected	\$	1,300
313	Coast live oak	17	Protected	\$	2,550
314	California bay	18,14	Protected	\$	8,350
315	California bay	9	Protected	\$	950
316	California bay	11	Protected	\$	2,050
317	Valley oak	18	Protected	\$	4,200
318	Coast live oak	14	Protected	\$	2,550
319	California bay	9,6,5	Protected	\$	1,650
320	California bay	9	Protected	\$	1,400
321	Coast live oak	14	Protected	\$	1,500
322	California bay	19	Protected	\$	4,150
323	Coast live oak	10	Protected	\$	1,300
324	Valley oak	13	Protected	\$	2,200
325	Coast live oak	8	Protected	\$	500
326	Coast live oak	13	Protected	\$	1,300
327	California bay	10	Protected	\$	1,000
328	California bay	12	Protected	\$	1,000
329	Coast live oak	8	Protected	\$	350
330	California bay	10	Protected	\$	700
331	Coast live oak	17,14	Protected	\$	5,950
332	Purpleleaf plum	8	Protected	\$	200
333	Coast live oak	27	Protected	\$	1,250
334	California bay	12,11	Protected	\$	1,850
335	Coast live oak	10	Protected	\$	550
336	California bay	10	Protected	\$	1,200
337	Coast live oak	22,10	Protected	\$	3,050
338	California bay	11	Protected	\$	1,400
339	Coast live oak	15	Protected	\$	2,000
340	Blackwood acacia	5	Exception	\$	100
341	California bay	12	Protected	\$	1,700



Tree No.	Species	Trunk Diameter (in.)	Protected Status	Арр	raised Value
342	California bay	12	Protected	\$	1,700
343	Coast live oak	14	Protected	\$	1,750
344	Coast live oak	18	Protected	\$	5,800
345	Coast live oak	8	Protected	\$	150
346	Olive	9,7	Protected	\$	1,300
347	Coast live oak	5	Protected	\$	150
348	Marina madrone	14	Protected	\$	5,900
			Large		
349	Valley oak	34	Protected	\$	11,150
			Large		
350	Valley oak	37	Protected	\$	21,450
351	Coast live oak	9	Protected	\$	750
352	Coast live oak	10	Protected	\$	550
353	Coast live oak	13	Protected	\$	2,200
354	New Zealand cabbage pal	5	Exception	\$	50
355	Hackberry	6	Protected	\$	100
356	Hackberry	9	Protected	\$	500
357	Italian cypress	6	Protected	\$	500
358	Italian cypress	8	Protected	\$	850
359	California bay	10	Protected	\$	1,000
360	California bay	9	Protected	\$	1,400
361	California bay	8	Protected	\$	650
362	California buckeye	9	Protected	\$	1,400
363	Coast live oak	5,4	Protected	\$	100
364	Coast live oak	4	Protected	\$	250
365	California bay	4	Protected	\$	250
366	Bailey acacia	5	Protected	\$	-
367	Bailey acacia	7	Protected	\$	50
368	Bailey acacia	5	Protected	\$	-
369	Bailey acacia	7,7,7,6	Protected	\$	150
370	Bailey acacia	1	Protected	\$	100
371	Plum	5,4	Protected	\$	250
372	Coast live oak	9,8	Protected	\$	1,600
373	California bay	8	Protected	\$	550
374	Coast redwood	10	Protected	\$	1,650
375	Coast redwood	14	Protected	\$	3,150
			Total	\$	991,050

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Jocelyn Shoopman Associate Planner Community Development Department 110 E Main Street Los Gatos, CA 95030



Monarch Consulting Arborists

Richard Gessner P.O. Box 1010 – Felton, CA 95018 1 831 331 8982 www.monarcharborists.com

The report contains the required information and the judgments are accurate. The report and plans have been reconciled with proper disposition and updated after recent tree removals and the recommendation requests. The T-1 sheets were enclosed updated to indicate the trees removed in 2019 with a red "X" symbol and a new column in the table provided. The sheets also indicate the tree protection guidelines and fence locations around those to be retained and protected.

The following recommendations were rectified as indicated.

1. Revise the report and plan sheets to reflect the current conditions and trees removed this year by updating the existing tables, data, and removing those trees from the plans.

Complete

2. Revise the disposition table to display the trees that are Protected, Large Protected, Exceptions, or Heritage based on the Town definitions and include a condition percentage (this may require a large format document).

Complete

3. Include crown diameters for at least all the trees indicated for removal to account for the Canopy Replacement Standard.

Complete

4. Reconcile the number of trees to be removed between the report and the T-1 sheets.

Complete



Monarch Consulting Arborists LLC - P.O Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com

Page 1 of 2

5. Place tree protection measures and the municipal code 29.20.1005 Protection of trees during construction. in both the report and the T-1 sheet. Develop tree protection measures and fence locations for the T-1 sheet. and any other tree protection notes or recommendations. Replace the "Tree Protection Notes" with appropriate information that is either in the Municipal Code or provided by the arborist.

Complete

Richard J. Gessner

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December 9, 2021

Ms. Melanie Hanssen, Chair Los Gatos Planning Commission Town of Los Gatos 110 E. Main Street Los Gatos, CA 95030

RE: Community Engagement Update Rebuild of Los Gatos Meadows

Dear Ms. Hanssen:

This letter supplements our prior justification letter of July 27, 2021 ("July 2021 Justification Letter"), related to the rebuild of Los Gatos Meadows (the "project"), the 10.84-acre site located at 110 Wood Road (APN 510-47-038) at the intersection of Wood Road and S. Santa Cruz Avenue in Los Gatos.

Since July, no attributes of the proposed project have changed. However, we have continued to convey and receive communications with our neighbors with the intent of maintaining an open and fluid dialogue as our project move through the Town's planning process. Accordingly, I am providing this letter to provide more current information specifically focused on our community outreach efforts.

We have invested approaching four years participating in community outreach efforts with our former residents, our neighbors, stakeholders, local business community members, and community residents to understand the concerns and needs specific to senior housing on this site. During this time, Covia Communities has consistently and carefully considered and integrated this input as we have developed and refined our site plan to rebuild Los Gatos Meadows. We believe these efforts have resulted in submittal to the Town that reflects our commitment to engage, listen and respond to the concerns expressed during our outreach process.

Since July 2021, we have held our 9th open house meeting with neighbors with a focus on additional details related to our plans for our autonomous vehicle service and to provide an update regarding expected next steps in the approval process. Questions and issues raised in that meeting are outlined herein in Appendix D.

We are currently targeting January 5th, 2022, for our next open house meeting.

To further facilitate dissemination of information to the community, the project team periodically updates a Frequently Asked Questions (FAQ) document and posts this document to the Los Gatos Meadows page of the Covia web site: https://covia.org/los-gatos-meadows/

At this same address, we have also posted a video summary of our rebuild proposal as well as a video that specifically focuses on the autonomous vehicle service we intend to implement as part of the development.

While we appreciate that not every neighbor will be supportive of every attribute of our project, the project team is confident that if the project we are proposing is developed it will contribute to improving the immediate neighborhood as well as substantially benefit the broader community.

Respectfully,

Francesco J. Rockwood Rockwood Pacific Inc.

Applicant

Attachments

- Most Current FAQ Document
- Letter to Neighbors Dated October 12, 2021
- Updated Listing of Meetings with Neighbors and Community (Appendix D)
- Updated Listing of Communications (Appendix E)



Los Gatos Meadows Proposal Frequently Asked Questions

October 2021

Q1: What is the Los Gatos Meadows proposal?

A1: Our proposal to rebuild Los Gatos Meadows aims to provide innovative senior care and housing on a safe and modern campus that ensures the well-being of residents, employees and neighbors. It will include sustainable, accessible and state-of-the-art features that are integrated with existing resources and are aligned with the Town of Los Gatos' long-term vision. We're committed to working closely with the community and Town leaders to ensure a transparent and thoughtful proposal review process.

Q2: What is the status of the proposal?

A2: Rockwood Pacific Inc. on behalf of Covia, the non-profit owner of Los Gatos Meadows, submitted a formal application for re-development review for 110 Wood Road to the Town of Los Gatos Planning Division on Jan. 22, 2020. The project application and all related documents (inclusive of the Draft Environmental Impact Report and supporting technical appendices) are available on the Town of Los Gatos website (www.losgatosca.gov/2393/W.

Q3: What is the expected timeline for the rebuild proposal?

A3: We anticipate the Planning Division hearing will be scheduled for the later part of 2021 followed by a Town Council hearing. Preparation of construction documents and permit approvals are likely to take at least another 18 months. The soonest construction would start is mid-2024 and we anticipated it lasting two and a half years.

Q4: What is happening now to the buildings and grounds?

A4: Since the Los Gatos Meadows facility closed Sept. 30, 2019, Covia has provided on-site property management and security, ensuring the campus remains safe from fire, trespassing, vandalism and dumping, and providing ongoing maintenance as needed. Covia has erected a perimeter fence around the main campus and has posted no trespassing signs. We do not anticipate demolishing our existing facilities until we have a permit for the rebuild proposal.

Q5: Why did Los Gatos Meadows close?

A5: Covia concluded in early 2019 after a rigorous facilities assessment that continuing operations of the 48-year-old Los Gatos Meadows facility presented too great a safety risk to our residents and employees. We worked closely with all our residents, their families, our employees, neighbors and the Town of Los Gatos to ensure a thoughtful and smooth closing on Sept. 30, 2019.



Q6: Who is managing the proposal?

A6: Covia, the long-standing Los Gatos Meadows non-profit property owner/operator with 50 years' experience managing senior living communities, is overseeing the proposal. Covia recently affiliated with Front Porch, a not-for-profit family of senior communities and partnerships. The two organizations are stronger together in an evolving marketplace and have increased their ability to support services and growth.

Covia has retained Rockwood Pacific Inc. to provide development management services. Other members of the team include Perkins Eastman (site planning and architecture); Kimley-Horn (planning and civil engineering); and Gates + Associates (landscape architecture).

Q7: What is the visual impact of the project on the surrounding community?
A7: Covia intends to erect story poles on all perimeter buildings to provide the community with the anticipated visual impact of the proposal for Los Gatos Meadows. We anticipate the story poles will be erected early fall and will remain in place until completion of the public hearings that are expected in the fall.

Q8: What is current plan for erecting story poles?

A8: We proposed a minor modification in late 2020 to permit fewer poles than required because sections of the site with either no or limited visual access would be of limited value in assisting the community in its understanding of the visual impacts of the project. We withdrew this request based on feedback from our neighbors. We subsequently selected a contractor experienced in erecting and maintaining story poles for projects similar to ours. The contractor raised safety concerns about employing the mesh material as specified in the Town policy. Thus, we are requesting that the Town modify its Story Pole Policy to permit us to connect the story poles with flag ropes. To be clear, we are NOT requesting any changes to the number or placement of story poles.

Q9: Who will own and operate the proposed Los Gatos Meadows?
A9: Covia, as part of its recent affiliation with non-profit Front Porch, intends to operate the proposed community and to retain full control of the property.

Q10: Are there any updates regarding the "Town Integration Plan"?

A10: Yes, design and programs for the proposed community may include improved quality-of-life experiences for residents, increased accessibility to Los Gatos businesses, and fewer car trips.

Q11: Is the proposed project expected to affect the Town of Los Gatos' Regional Housing Needs Assessment (RHNA)?



A11: No. The current and proposed use is as a Continuing Care Retirement Community. The proposal is to amend and replace an existing Planned Development. These actions are not expected to affect the Town's RHNA calculations.

Q12: What are the plans for Farwell Lane?

A12: The proposal would minimize on-campus interactions between vehicles and pedestrians.

Q13: How do I get information regarding pricing, units and services?

A13: Information about pricing and services is not expected to be available until 2022. Please send your name, mailing address and email address to Susan Rockwood (susan@rockwoodpacific.com) to be added to a list of interested future residents.

Q14: How can I receive updates about the Los Gatos Meadows proposal? Who do I contact if I have questions?

A14: Please visit our website - https://covia.org/los-gatos-meadows/ - to stay informed about the proposal or the Town of Los Gatos Planning Division's website at https://www.losgatosca.gov/2393/W. Covia has retained Rockwood Pacific Inc. to assist in the management of the proposal. Please contact Frank Rockwood of Rockwood Pacific Inc. by emailing frank@rockwoodpacific.com for further details about information sessions and open houses.



July 20, 2021

Dear Neighbor:

I hope you and your family are well as we continue to chart our way through these unusual times.

We are writing to **invite you to our next Open House**, **which will take place on August 9**th **at 7:00 pm.** At this meeting, we will provide a general update on the status of the project and address new questions. We intend to provide an opportunity for you to either participate in person or via Zoom.

Please note that we are currently targeting installation of story poles in late September and expecting our project to be reviewed at the October 27th planning commission hearing.

Attached is updated frequently asked questions (FAQ) document.

If you are interested in participating in this meeting, please send your name, address and email to susan@rockwoodpacific.com and she will provide you additional meeting details.

If you have any questions that you would like us to address, please send them to Frank Rockwood of Rockwood Pacific at frank@rockwoodpacific.com.

To stay updated on the status of Los Gatos Meadows (including access to the most current FAQ document), we invite you to visit our website at https://covia.org/los-gatos-meadows/, attend our information sessions/Open Houses, and/or contact Frank Rockwood at frank@rockwoodpacific.com.

Please pass along this invitation to anyone who may have an interest in our rebuild project. I look forward to our next visit.

Sincerely,

Chris Ichien

Vice President of Life Plan Operations for Covia (formerly Executive Director of Los Gatos Meadows)

Appendix D	
Listing of Meetings with	Neighbors and Community

Type of Meeting	Date	Time	Location	Attendee	Notes from Meeting	Outcome
Open House 1	03/08/18	7:30-9PM	Los Gatos	Maria Ristow, Irving & Evelyn	General introduction of intent to rebuild	Kicked-off neighborhood
			Meadows	Mitsunaga, Robert Mullan(Toll House)	Los Gatos Meadows	communications plan
Open House 2	04/18/18	7-8PM	Los Gatos	Julie Ritter Southern, Maria Ristow,	General introduction of intent to rebuild	Kicked-off neighborhood
			Meadows	Claire Leclaire, Cathy Colgan	Los Gatos Meadows; similar material to	communications plan
0 11 2	05/00/10				first meeting	1000
Open House 3	05/03/18	7-8PM	Los Gatos	Karen Kurtz, Linda Iversen, Sue Fairley	Attendees interested in architecture and	Design team elevated analysis of
			Meadows		supplemental transportation options	supplemental transportation
Open House 4	05/20/18	2 4004	Las Catas	laboration Bill I and a		alternatives
Open House 4	03/20/18	3-4PM	Los Gatos Meadows	John and Jean Richardson, Stanford	Questions related to timeline, storm	Resolved current storm drain issue
			Meadows	Stickney and 3 other family members	drainage, and fire risk	and initiated planning to mitigate
Focus Groups	10/2/2018 -	Varies	Toll House	36 older adults participated in 3	Canalisis at a base of a state of	fire risk through brush removal
(3 Sessions)	10/3/2018	valles	Toll House	sessions. Participants were drawn	Sensitive to how various attributes or	Design team made applicable
(5 5 5 5 5 1 5 1 5)	10/5/2010			from the local area. Participants were	requirements may drive cost, supplemental	refinements to concept plan
				promised confidentiality.	transportation system very important, limited enthusiasm for LEED certification	
				promised confidentiality.	but recycling and energy efficiency	
					important, limited enthusiasm for	
					facilitating non-residents/non-guests on	
					campus, preference for larger, more	
					spacious units, recommendation to	
					minimize long corridors, preference for	
					multiple dining venues and ample on-site	
					amenities such as fitness center, walking	
					trails, access to town, casual dining, library,	
					coffee shop, and access to on-site support	
0	42/05/40	7.0011			care.	
Open House 5	12/06/18	7-8PM	Los Gatos	Julie Ritter Southern, Matt and	Question about timing, policy related to	Feedback informed further
			Meadows	Marlena Hood and friend, Mike	relocation of existing residents, impact on	refinement to concept plan. With
				Wasserman	visibility to neighbors above, use of solar	regard to Wood Road traffic
					panels and roof color, impacts on traffic	impacts, design team is prioritizing
					(with specific concerns about summer	minimizing errant trips up Wood
					traffic), site security during closure, parking, noise impacts and construction	Road past the main entrance, and
					parking. Requested advance notifications	more importantly, further
					of all construction work that could affect	prioritizing the supplemental transportation system to convert
					access. Some residents on Wood Road	more trips to autonomous vehicle,
					would prefer that Farwell Lane continue to	pedestrian or bike trips. Also,
					support regular vehicle traffic. A video	currently planning to include solar
					summary of the meeting was posted at:	panels.
					https://vimeo.com/278024461	
Open House 6	10/10/19	7-8PM	Toll House	Julie Ritter Southern, Maria Ristow,	Questions about Wood Road traffic,	Confirmed that project not
				Jamie Garcia & Friend, Irving & Evelyn	availability of Wood Road for evacuation,	expected to affect housing
				Mitsunaga	potential impact of project on housing	element. Planning to deploy goats
					element, and recommendation to deploy	on property this spring; planning to
					goats to further reduce fire risk. Request	make commitment to make Wood
					for copy of facts and figures table.	Road available for evacuation
Open House 7	03/05/20	7-8PM	Los Gatos United	None	General heightened sensitivity due to	during emergencies.
• (5) (5) (5) (5) (5) (5)			Methodist Church		COVID-19 may have been a factor in	Produced and circulated video update; available at Covia/Los
					suppressing turnout.	Gatos Meadows website
						https://covia.org/los-gatos-
						meadows/
Open House 8	12/03/20	7-8PM	Zoom Meeting	Julie Ritter Southern, Fred Lester, Matt	Green roof (Fred), Solar (Julie), incline	Provided advance notice of intent
				Wood, Zane Rowe, Gary/Jamie Garcia,	elevator (Fred), security current through	to seek modification to Town's
				Clair LaClair, Evelyn/Irving Mitsunaga,		Story Pole Policy
1				Robert Macartney, Matthew Bigge	and story pole modification request (Julie),	
					visualization from 100 Wood Rd (Matt),	
					Condo v. CCRC (Julie), fire evacuation	
					(Matt), parking for construction (Fred),	
					construction traffic (Matt)	

Appendix D	T)	
Listing of Meetings with	Neighbors and	Community

Type of Meeting Public Hearing - Story Pole Exception Request	Date 01/19/21	Time 7-9PM	Location Zoom Meeting	Attendee Town Council and Town Staff (in advance of meeting, staff received letters from Claire Southern, Matthew Southern and Mark Rigoli (via Council Member Maria Ristow)	Notes from Meeting No public comments; council members discussed merits and concerns regarding proposal	Outcome Consideration for request for fewer poles continued to future council meeting (subsequently withdrew modification request)
NOP Meeting	02/25/21	7-7:15PM	Zoom Meeting	Presenters: Joel Paulson, Jocelyn Shoopman, Sean Mullin, Terri Wissler Adam (EMC Planning). Public Attendees: Matt Hood	Matt Hood inquired about availability of video recording of the NOP meeting	
Open House 9	08/09/21	7-8PM	Zoom Meeting	Presenters: Frank Rockwood, Mark Falgout, David Gates, Chris Ichien	Comments and questions related to: clarify visual impacts (during and after construction), number of expected truck trips, construction hours, placement of parking, project schedule, emergency circulation and clarification of employee break area	
City Council Public Hearing - Story Pole Exception Request	10/19/21	7-10PM	Zoom Meeting	Town Council and Town Staff (in advance of meeting, staff received letters from Julie Southern, Esther Grant and Andrew Ghofrani)	Frank Rockwood and Mark Falgout stepped through request. No public comments; council members discussed merits and concerns regarding proposal as well as addressed policy in general	Request was granted to use flags versus netting with condition of using 2 rows of flags.
Open House 10	1/5/2022 (Target Date)	7-8PM	Zoom Meeting	TBD	TBD	TBD

Appendix E Listing of Communications

DATE	DESCRIPTION	CONSTITUENCY	COMM_TYPE	INDIVIDUALS	COVIA_TEAM_REPRESENTATIVES
10/23/2017	Meeting with Town Attorney and Planning	Town	In-Person Meeting	Laurel Prevetti, Joel Paulson, Robert Schultz	Frank Rockwood, Laura Worthington-Forbes, Barbara
		<u></u>		}	Schussman
	Meeting with Fire Department	Town	In-Person Meeting	Fardean Amadhani, Tracy Staiger	Frank Rockwood, Mark Falgout
2/27/2018	Open House 1 Invitation	Neighbors	Letter	[Sent to neighborhood distribution list]	Letter from Kevin Gerber
3/8/2018	Tour with Town Staff	Town	Tour	Laurel Prevetti, Joel Paulson	Frank Rockwood, Kevin Gerber, Chris I chien, Eric
					Morley
	Open House 1 meeting	Neighbors	In-Person Meeting	Maria Ristow, Irving & Evelyn Mitsunaga, Robert Mullan	Frank Rockwood, Chris I chien, Eric Morley, Keyin
				(Toll House)	Gerber, Ron Schaefer
3/8/2018	Resident Council 1 Meeting	Residents	In-Person Meeting	[Los Gatos Meadows residents]	Frank Rockwood, Chris I chien, Eric Morley, Kevin
			in reisonniceting	[LOS GATOS MEAGOWS TESIGETICS]	
4/2/2018	Open House 2 Invitation	Neighbors	Latter/Fmail	in the state of th	Gerber, Ron Schaefer
harmanna mark	Open House 2 Next Door Posting by Ristow		Letter/Email NextDoor	[Sent to neighborhood distribution list]	Letter from Chris I chien
17/0/2010	Open riouse 2 Next Door Fosting by Ristow	Meighbors	NextDoor	1	
A/12/2010	**************************************	<u></u>	ļ	; •	{
	Meeting with Toll House Hotel	Organizations	фиинииниинийнийнийнийнийн илтийн и	Jason Bogan, Robert Mullan	Frank Rockwood
4/18/2018	Open House 2 meeting	Neighbors	In-Person Meeting	Julie Ritter Southern, Maria Ristow, Claire LeClair, Cathy	Chris I chien, Frank Rockwood, Mark Falgout, Eric
		} 	ļ	Colgan	Morley
4/18/2018	Resident Council 2 Meeting	Residents	In-Person Meeting	[Los Gatos Meadows residents]	Chris I chien, Frank Rockwood, Mark Falgout, Eric
ļ	***************************************	}	<u> </u>		Morley
4/23/2018	Tour with Council Member	Town	Tour	Barbara Spector	Chris I chien, Frank Rockwood, Mary McMullin, Eric
L					Morley
4/23/2018	Meeting with Town Attorney	Town	In-Person Meeting	Robert Schultz, Joel Paulson	Bill Tobin, Frank Rockwood, Eric Morley, Barbara
L					Schussman
4/24/2018	Open House 3 & 4 Invitation	Neighbors	Letter/Email	[Sent to neighborhood & local businesses distribution list]	}
					and the state of t
4/30/2018	Meeting with Toll House	Organizations	In-Person Meeting	Jason Bogan	Frank Rockwood
	Meeting with Town Official	Town	· · · · · · · · · · · · · · · · · · ·	Monica Renn	¢
mmmmm;	Tour with Council Member	Town	Tour	Marico Sayoc	Frank Rockwood
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5/1/2018	Open House 2 Next Deer Parting by Pirtour	Najahhara	hlaush aan		Morley
3/1/2010	Open House 3 Next Door Posting by Ristow	Neignbors	NextDoor		
5 /2 /2010	Mark of the life		} •		
	Meeting with Toll House business	Organizations	£	Fred Lester, Dave Lazzarini (at the beginning)	Frank Rockwood, Eric Morley
5/3/2018	Open House 3 meeting	Neighbors	In-Person Meeting	Kurtz, Fairey, Iversen (and Mike Vrevich resident)	David Gates, Chris I chien, Ron Schaefer, F Rockwood,
					Mark Falgout, E Morley
5/3/2018	Resident Council 3 Meeting	Residents	In-Person Meeting	[Los Gatos Meadows residents]	David Gates, Chris I chien, Ron Schaefer, Frank
				}	Rockwood
	Meeting with Fire	Town	In-Person Meeting	Fardean Amadhani, Tracy Staiger	Frank Rockwood, Mark Falgout, Eric Morley
5/3/2018	Meeting with Planning	Town	In-Person Meeting	Joel Paulson	Frank Rockwood, Mark Falgout
5/4/2018	Tour with Council Member	Town	Tour	Rob Rennie	Chris I chien, Frank Rockwood, Kevin Gerber, Eric
					Morley
5/3/2018	Tour with Council Member	Town	Tour	Marcia Jensen	Chris I chien, Frank Rockwood, Mary McMullin, Eric
}					Morley
5/4/2018	Meeting with Public Works	Town	In-Person Meeting	Jessy Pu, Lisa Pedersen	Frank Rockwood, Mark Falgout, Eric Morley
	Tour with Mayor	Town	Tour	Rob Rennie	Chris I chien, Frank Rockwood, Kevin Gerber, Eric
3					Morley
5/10/2018	Open House 4 Invitation	Neighbors/Organizations	Letter/Email	[Sent to neighborhood & local businesses distribution list]	
	•	regions organizations	Letter/Linaii	(3ent to neighborhood & local businesses distribution list)	Letter from Christchien; emailtrom Frank Rockwood
5/17/2018	Emailed Director of Chamber of Commerce	Organizations	Email	laa Dimundui	For all from For all Dealines 1
mmmmm	Open House 4 meeting	mmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmm	***************************************	Joe Pirzynski	Email from Frank Rockwood
-,20,2010	openouse 4 meeting	reignious		John and Jean Richardson, Stanford Stickney and 3	David Gates, Chris I chien, Bill Tobin, F Rockwood,
5/22/2010	Emailed Julia Pittor Southorn	Najahhass		other family members	Mark Falgout
		Neighbors	Email	Julie Ritter Southern	Email from Frank Rockwood
	Emailed Los Gatos Roasting Company		***************************************	Y	Email from Frank Rockwood
*************	Emailed McCarthy Ranch		***************************************	Joey McCarthy	Email from Frank Rockwood
	Emailed Time Out Clothing	***************************************	***************************************	***************************************	Email from Frank Rockwood
	Emailed Julie Ritter Southern	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	Julie Ritter Southern	Email from Frank Rockwood
*************	Emailed Time Out Clothing	Organizations	Email	Ginger Rowe	Email from Frank Rockwood
	······································	Organizations	In-Person Meeting	Teri Hope	Frank and Susan Rockwood
	Meeting with McCarthy Ranch	Organizations	In-Person Meeting	Joey McCarthy	Frank and Susan Rockwood
	Stopped RuralSupply Hardware		In-Person Meeting	Ken Nelson	Frank and Susan Rockwood
***********	Stopped by Cucina Bambina		In-Person Meeting	Met with receptionist (Izzy)	Frank and Susan Rockwood
6/15/2018	Stopped by The Spa - Los Gatos		*************	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	Frank and Susan Rockwood
6/25/2018	Meeting with Time Out Clothing	***************************************	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		Frank and Susan Rockwood
6/25/2018	Meeting to review views of neighbor	***************************************	***************************************	***************************************	Frank Rockwood and Chris I chien
6/26/2018	Call with Town Not City Representative			Rod Teague	Frank Rockwood
		***************************************	************************	Jennifer Murdock, Trudy Burling	Email from Frank Rockwood
***************			,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	***************************************	Frank Rockwood, Christchien
1/12/2019 51				manarahannan manarahan manarahan mengani mengani mengani mengani mengani mengani mengani mengani mengani mengan	***************************************
	Meeting with The Spa - Los Gatos	Organizations	In-Person Meeting	PattiRice	Frank Pockupad
7/13/2018	Meeting with The Spa - Los Gatos	Organizations	***************************************	Patti Rice	Frank Rockwood
7/13/2018 7/17/2018	Open House 5 & 6 Invitation and Open	Organizations	***************************************	Patti Rice [Sent to neighborhood & local businesses distribution list]	***************************************
7/13/2018 7/17/2018	Meeting with The Spa - Los Gatos Open House 5 & 6 Invitation and Open House 4 Video Link	Organizations Neighbors/Organizations	Letter/Email	***************************************	***************************************
7/13/2018 7/17/2018 7/18/2018 1	Meeting with The Spa - Los Gatos Open House 5 & 6 Invitation and Open House 4 Video Link NextDoor Posting about video	Organizations Neighbors/Organizations Neighbors/Organizations	Letter/Email NextDoor	[Sent to neighborhood & loc al businesses distribution list]	***************************************

Appendix E Listing of Communications

Transport Tran	DATE	DESCRIPTION	CONSTITUENCY	COMM_TYPE	INDIVIDUALS	COVIA_TEAM_REPRESENTATIVES
		Emailed neighbor who reached out	Neighbors	Email	James Holtz	Email from Frank Rockwood
Transport Tran	7/23/2018	Emailed meeting invitation	Organizations	Email	Ron Tate	Email from Frank Rockwood
Columb South Water Berneller Organization Organization Columb South Water Berneller Organization Organ	7/23/2018	Emailed meeting invitation	Organizations	Email	Shelly Blanchard	Email from Frank Rockwood
	7/24/2018	Call with Shelly Blanchard	Organizations	Call	Shelly Blanchard/Cucina Bambina	Frank Rockwood
	7/24/2018	Meeting with Fred Lester	Organizations		\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	
Part				,	фф	Frank Packwood
Residence for Physiols Companies Com			Najahhors	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	ž	}
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groups Vis. 2000.0018 Joseph School S	0/20/2018		Neighbors/Organizations	Letter/Email	[Sent to neighborhood & local businesses distribution list]	Letter from Chris I chien; email from Frank Rockwood
	1					
Secretary Secr	0/20/2010	***************************************			ļ	{
cycley Neglection Neglectivity In Present Meeting Street Groups Neglectivity International Meeting with Lours Staff Staff Rockwood, Loar Worthington Festine, Ext. Meeting with Lours Staff Staff Rockwood, Loar Worthington Festine, Ext. Meeting with Lours Staff Staff Rockwood, Loar Worthington Festine, Ext. Meeting with Lours Staff Staff Rockwood, Loar Worthington Festine, Ext. Meeting with Lours Staff Rockwood, Loar Worthington Festine, Ext. Meeting with Lours Staff Rockwood, Loar Worthington Festine, Ext. Meeting with Lours Staff Rockwood, Week Rockwood, Meeting with Lours Staff Rockwood, Week Rockwood, Wee		,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	¢~~~~~		}~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~
19/20/2015 Mercing with Town Staff Town In Precon Meeting Secure Court Staff Secure Court Staff Town In Precon Meeting Secure Court Staff	9/25/2018		Neighbors/Vicinity	Letter	[Sent to neighborhood distribution list + mailing list for	Brook Adams
19/20/2015 Meeting with Town Staff Town In-Person Meeting Service Group of about 12 each Service Meeting with Town Staff Town In-Person Meeting Service Group of about 12 each Service Group of Service Scholars Service Group of Service Group of Service Scholars Service Group of Service Group				į	vicinity]	
1979/2018 Deep House Staff From Person Neering Service (See Staff Common Common Staff Common Common Staff Common Common Staff Common Common Common Staff Common		Focus Groups	Neighbors/Vicinity	In-Person Meeting	3 focus groups of about 12 each	Brook Adams
January Janu		441				
Semitor one Similation Seminor one Similat	10/29/2018	Meeting with Fown Staff	Iown	In-Person Meeting	Laurel Prevetti, Joel Paulson, Robert Schultz	5
12,000 Services Servi	11/0/2019	Once Heure Flauteties	At a facility of	£		(*************************************
Medical Court of Medical Cou	11/9/2018	Open House 5 Invitation	Neighbors	Letter/Email	[Sent to neighborhood & local businesses distribution list]	Letter from Chris I chien; email from Frank Rockwood
Session Council of Neeting Freshmeters	12/6/2018	Open House 5	Neighbors	In-Person Meeting	})
12/17/2015 Public Works Meeting Town	12/6/2016	Decident Council 45 No.	n			***************************************
June	12/6/2018	Resident Council #5 Meeting	Residents	In-Person Meeting	[Los Gatos Meadows residents]	D Gates, CIchien, A Pelley, F Rockwood, M Falgout, E
12/11/2013 Meeting with Town Starff Open September Market Open September Market Open September Market Open September Market September Meeting with Count Member Market Open September Market Open Septe			,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,			Morley, K Gerber, M McMullin, L Darling
12/11/2018 Meeting with Town Staff Town The Person Meeting Laurel Prevalt, Joel Paulson Frank fockwood, Ere Mortey, Orisi Chem, Mark Falgont			Town	In-Person Meeting	Jessy Pu, Lisa Pedersen	Frank Rockwood, Susan Rockwood, Mark Falgout
12/11/2013 Meeting with Court Member Maric Sayoc Fank Rockwood, Eric Morley, Chris Chem Sayoc Fank Rockwood	12/11/2018	Meeting with Town Staff	Town	In-Person Meeting	Laurel Prevetti, Joel Paulson	Frank Rockwood, Eric Morley, Chris I chien, Mark
12/11/2015 Meeting with Court Member's Sieve Town In-Person Meeting Marke Sayor Frank Rockwood, Eric Morley, Chris Chem Frank Rockwood, Eric M						Falgout
12/12/2015 Meeting with Council Member Marks of Sayoc Frank Rockwood, Cris Morley, Chris Ichen Sayoc	12/11/2018	Meeting w/Town Not City	Organizations	In-Person Meeting	Rod Teague	(
Sayor Sayo	P	***************************************	Town	y	***************************************	
Leonards Leonards Weeting with Chamber Organizations In-Person Meeting In-Person Mee		Sayoc				rank rockwood, the Money, embrenen
Leonards Leonards Weeting with Chamber Organizations In-Person Meeting In-Person Mee	12/12/2018	Meeting with Council Member Steve	Town	In-Person Meeting	Steve Leonardie	Frank Darkunad Eric Marley, Christakia
1,12,12,015 Meeting with Council Member Robins Capabilities			101111	TII-I erson weeting	Steve Leonards	Frank Rockwood, Eric Moriey, Christonien
12/13/2018 Meeting with Court Member Barbara Town In-Person Meeting Superior Frank Rockwood, Erect Morley, Kran Kaur Frank Rockwood, Morley McMulin, Orbis Chen Frank Rockwood, Morley Chen Fran	************	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~				
12/13/2018 Meeting with Course Member Rob Benne Town In-Person Meeting Bos Benne Frank Rockwood, Eric Morley, Krank Four Trank Rockwood Town Trank Rockwood Town Trank Rockwood Town Town Town Trank Rockwood Town To		***************************************			}	······································
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Spector Spec		·····		In-Person Meeting	Rob Rennie	Frank Rockwood, Eric Morley, Kiran Kaur
1/29/2019 Meeting with Council Member Marcia Town In-Person Meeting Marcia Jensen Frank Rockwood	12/14/2018		Town	In-Person Meeting	Barbara Spector	Frank Rockwood, Mary McMullin
1/25/2019 Seeting with Council Member Marcis Town In Person Meeting Marcis Jersen Frank Rockwood, Mary McMullin, Chris Ichen Frank Rockwood Marcis Ristow Marting Ristow Maria Ristow Marting Ristow Maria Ristow Maria Ristow Maria Ristow Marting Maria Ristow Risto					}	
January Janu	· · · · · · · · · · · · · · · · · · ·	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	Town/Org/Neighbors	Email	(sent to email distribution list)	Frank Rockwood
Mana Ristow, Matt Hood Frank Rockwood Frank Rockwoo	1/29/2019	Meeting with Council Member Marcia	Town	In-Person Meeting	Marcia Jensen	Frank Rockwood, Mary McMullin, Chris I chien
Part		Jensen				
Fred Lester Frank Rockwood Frank R	2/19/2019	Emails from Maria Ristow and Matt Hood	Neighbors			Frank Rockwood
3.15/2019 Meeting with Caroline and Marc Philippe Frank Rockwood, Victor Ceron	2/21/2019	Phone Conversation with Rod Teague	Organizations	Call	Rod Teague	Frank Rockwood
3/15/2019 Meeting with Laroline and Mar. Philipp Neighbors In-Person Meeting January	2/22/2019	Emails with Fred Lester re: Oak Trees	Organizations	Email	***************************************	***************************************
Meeting with Jule Ritter Meeting with Jule Ritter Meeting with Jule Ritter Southern Frank Rockwood, Victor Ceron	3/15/2019	Meeting with Caroline and Marc Philippe	mmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmm	***************************************	<u> </u>	***************************************
Solution		Meeting with Julie Ritter	Neighbors	announ mannoun		
Frank Rockwood Fran	mmmmm	······································	mmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmm		,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~
ADU/vineyard ADU/vineyard ADU/vineyard Apull House Hotel Organizations In-Person Meeting Jason Bogan Frank Rockwood Frank Ro		~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	mmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmm	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	***************************************	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~
Meeting with Toll House Hotel Organizations In-Person Meeting Jason Bogan Frank Rockwood	.,0,2013		ireiginora	Lillan	сагонне ани магс илшрре	PERIOR KOCKWOOD
8/5/2019 Conversation with John Richardson re: status Meeting with Joel Paulson and Laurel Prevetti Frank Rockwood, Laura Worthington-Forbes, David Gates, Chris Lchien 8/15/2019 Meeting with Joel Paulson and Laurel Prevetti Meeting with Catherine Somers from Chamber 8/15/2019 Open House 6 Invitation and FAQ's Neighbors/Organizations In-Person Meeting 1-Person Me	7/25/2010	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	Organizations		laran Dagan	5
Satus Satu	mmmmm		minmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmmm	rn-reison Meeting	***************************************	
Meeting with Joel Paulson and Laurel Prevetti Frank Rockwood, Laura Worthington-Forbes, David Gates, Chris Ichien Gates, Chris			MeRuporz	Call	John Richardson	Frank Rockwood
Prevetti Gates, Chris Ichien R/15/2019 Meeting with Catherine Somers from Chamber Catherine Somers Frank Rockwood, Chris Ichien Frank Rockwood, Ichi	***************************************		Town		Lead Davidson Lawred Davids	
Response re: OH 6 Questions re: schedule Neighbors Neighbors Neighbors In-Person Meeting In-Pe	0/13/2019		TOWN	III-Person Meeting	Joer Paulson, Laurei Prevetti	
Chamber R/15/2019; Open House 6 Invitation and FAQ's Neighbors/Organizations Letter/Email Isent to neighborhood & local businesses distribution list Letter from Chris Ichien; email from Frank Rockwood R/17/2019 Meeting with Toil House Hotel Organizations In-Person Meeting Abel Veloz Frank Rockwood, Victor Ceron P724/2019 Meeting with Fred Lester Organizations In-Person Meeting Fred Lester and his wife Frank Rockwood, Victor Ceron P724/2019 Meeting with Senior Commission Town In-Person Meeting Ara Andrews, Commission Members Frank Rockwood, Victor Ceron In-Person Meeting Julio Hernandez, SDAChurch Victor Ceron Victor	0/15/2010		0			Commission of the Commission o
Sent to neighborhood & local businesses distribution list Letter from Chris I chien; email from Frank Rockwood	0/15/2019		Organizations	In-Person Meeting	Catherine Somers	Frank Rockwood, Chris I chien
8/17/2019 8/17/2019 8/24/2019 9/24/2019 1/24/2	0/15/2010		N			***************************************
Meeting with Toll House Hotel Organizations In-Person Meeting Meeting with Fred Lester Organizations In-Person Meeting Fred Lester and his wife Frank Rockwood, Victor Ceron		Open House 6 Invitation and FAQ's	iveighbors/Organizations	Letter/Email	[Sent to neighborhood & local businesses distribution list]	Letter from Chris I chien; email from Frank Rockwood
Meeting with Fred Lester Organizations In-Person Meeting Fred Lester and his wife Frank Rockwood, Victor Ceron	······································			***************************************	······································	
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10/12/2019 Meeting with Julio Hernandez, SDA Church Town In-Person Meeting Julio Hernandez, SDA Church Victor Ceron 10/10/2019 Open House 6 at Toil House Hotel Neighbors In-Person Meeting Julie Ritter Southern, Jaime Garcia & friend, Irving & F Rockwood, M Falgout, D Gates, C I Chien, V Ceron, V Evelyn Mitsunaga, Maria Ristow Troncosco, P Hillan 10/14/2019 Response re: OH 6 Questions re: schedule and security and goats Email Maria Ristow, Julie Ritter Southern, I rving and Evelyn Frank Rockwood 10/25/2019 Email Intro to New Neighbor Neighbors Email Zane Rowe (bought Phillipe property) Frank Rockwood 12/18/2019 Meeting with Town Town In-Person Meeting Joel Paulson, Sally Zarnowitz, Joeelyn Shoopman Frank Rockwood, Laura Worthington-Forbes, David Hance 2/6/2020 Site Visit with Town Staff Town In-Person Meeting Joel Paulson, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Chris I Chien, Vincent 10/25/2019 Town In-Person Meeting Joelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Chris I Chien, Vincent 10/25/2020 Town In-Person Meeting Joelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Chris I Chien, Vincent 10/25/2020 Town In-Person Meeting Joelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Chris I Chien, Vincent 10/25/2020 Town In-Person Meeting Joelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Chris I Chien, Vincent 10/25/2020 Town In-Person Meeting Joelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Chris I Chien, Vincent 10/25/2020 Town In-Person Meeting Joelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Chris I Chien, Vincent 10/25/2020 Town In-Person Meeting Joelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Chris I Chien, Vincent	9/24/2019	Meeting with Senior Commission	Town	In-Person Meeting	Arn Andrews, Commission Members	Frank and Susan Rockwood
10/10/2019 Open House 6 at Toll House Hotel Neighbors In-Person Meeting Julie Ritter Southern, Jaime Garcia & friend, Irving & F Rockwood, M Falgout, D Gates, CIchien, V Ceron, V Evelyn Mitsunaga, Maria Ristow Troncosco, P Hillan 10/14/2019 Response re: OH 6 Questions re: schedule and security, and goats 10/25/2019 Email Intro to New Neighbor Neighbors Email Zane Rowe (bought Phillipe property) Frank Rockwood 11/218/2019 Meeting with Town Town In-Person Meeting Joel Paulson, Sally Zarnowitz, Jocelyn Shoopman Frank Rockwood, Laura Worthington-Forbes, David Hance 2/6/2020 Site Visit with Town Staff Town In-Person Meeting Joelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Chris Ichien, V Ceron, V Evelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Chris Ichien, V Ceron, V Evelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Chris Ichien, V Ceron, V Evelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Chris Ichien, V Ceron, V Evelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Chris Ichien, V Ceron, V Evelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Chris Ichien, V Ceron,	10/1/2019	Meeting with Julio Hernandez, SDA Church	Town	In-Person Meeting	Julio Hernandez, SDA Church	Victor Ceron
Evelyn Mitsunaga, Maria Ristow Troncosco, P Hillan 10/14/2019 Response re: OH 6 Questions re: schedule and security and goats 10/25/2019 Email Intro to New Neighbor Neighbors Email Zane Rowe (bought Phillipe property) Frank Rockwood 12/18/2019 Meeting with Town Town In-Person Meeting Joel Paulson, Sally Zarnowitz, Jocelyn Shoopman Frank Rockwood, Laura Worthington-Forbes, David Hance 2/6/2020 Site Visit with Town Staff Town In-Person Meeting Jocelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Chris I chien, Vincent	10/10/2019	Open House 6 at Toll House Hotel	Neighbors	In-Person Meeting	Julie Ritter Southern, Jaime Garcia & friend, Irving &	***************************************
10/14/2019 Response re: OH 6 Questions re: schedule and security and goats 10/25/2019 Email Intro to New Neighbor 12/18/2019 Meeting with Town Neighbor Neighbors Email Zane Rowe (bought Philipe property) Frank Rockwood 12/18/2019 Meeting with Town Town In-Person Meeting Joel Paulson, Sally Zarnowitz, Joeelyn Shoopman Frank Rockwood, Laura Worthington-Forbes, David Hance 2/6/2020 Site Visit with Town Staff Town In-Person Meeting Joeelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Chris I chien, Vincent						
and security and goats Mitsunaga, Jaime Garcia 10/25/2019 Email Intro to New Neighbor Neighbors Email Zane Rowe (bought Phillipe property) Frank Rockwood 12/18/2019 Meeting with Town Town In-Person Meeting Joel Paulson, Sally Zarnowitz, Jocelyn Shoopman Frank Rockwood, Laura Worthington-Forbes, David Hance 2/6/2020 Site Visit with Town Staff Town In-Person Meeting Jocelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Christ Chien, Vincent	10/14/2019		Neighbors	Email	/	***************************************
10/25/2019 Email Intro to New Neighbor Neighbors Email Zane Rowe (bought Philipe property) Frank Rockwood 12/18/2019 Meeting with Town Town In-Person Meeting Joel Paulson, Sally Zarnowitz, Jocelyn Shoopman Frank Rockwood, Laura Worthington-Forbes, David Hance 2/6/2020 Site Visit with Town Staff Town In-Person Meeting Jocelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Christ Chien, Vincent		print (1,000 print 1,000 pr				
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Hance 2/6/2020 Site Visit with Town Staff Town In-Person Meeting Jocelyn Shoopman, Sally Zarnowitz, Mike Weisz, Robert Frank Rockwood, Victor Ceron, Chris I chien, Vincent	************	***************************************		***************************************		
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the state of the s			Tour	In Dorson Marchine	land of Character Cells 7-	
3 ; Gray, Corvell Sparks {Troncoso	-10/2020	One visit with LOWITStall	TOWIT		. :	
	L				Gray, Corvell Sparks	Troncoso

Appendix E
Listing of Communications

DATE	DESCRIPTION	CONSTITUENCY	COMM_TYPE	INDIVIDUALS	COVIA_TEAM_REPRESENTATIVES
2/11/2020	Letter from Neighbor to Town Staff re: Broadway	Neighbor/Town	Letter	Julie Ritter Southern	NA
2/12/2020	Technical Review	Town	In-Person Meeting	Jocelyn Shoopman, Sally Zarnowitz, Bob Gray, Tracy Staiger	Frank Rockwood, Arch Pelley, Mark Falgout, Kimmy Chen
2/13/2020	Open House 7 Invitation and FAQ's	Neighbors/Organizations	Letter/Email	[Sent to neighborhood & local businesses distribution list]	Letter from Chris I chien; email from Frank Rock wood
3/5/2020	Open House 7 at Los Gatos United Methodist Church	Neighbors	In-Person Meeting	None	Frank Rockwood, Chris I chien, Victor Ceron, Mark Falgout, David Gates
3/6/2020;	Maria Ristow inquired re: Open House 7;	Neighbors	Email	Maria Ristow	Emails to/from Frank Rockwood
	response addressed possible alternatives to in-person meetings; communic ated that Covia is targeting distribution of video summary in May; appreciative of goats				
	John Richardson inquired re: status; resent February FAQ; communicated that Covia is targeting distribution of video summary	1	Email	John Richardson	Emails to/from Frank Rockwood
4/14/2020; 4/16/2020	фтититититититититититити фтититити и при при при при при при при при при		Email	Julie Ritter Southern	Emails to/from Frank Rockwood
	updated Covia website with link to summary video	Neighbors	Email	[Sent to neighborhood]	Frank Rockwood
***************************************	·····	Town	Video Meeting	Joc elyn Shoopman	Frank Rockwood, Arch Pelley, Melissa Destout
6/3/2020	Meeting with Fire Department	Town	·	Tracy Staiger, Kathy Baker	Frank Rockwood, Mark Falgout, Matt Lissak
	Zane Rowe acknowledged receipt of May 31st email; interested in meeting in person when things return to normal	Neighbors	\$*************************************	Zane Rowe	Emails to/from Frank Rockwood
	Meeting with Town Staff re: Land Use CEQA Path		Video Meeting	Jocelyn Shoopman, Sally Zarnowitz, Joel Paulson, Robert Schultz	Frank Rockwood, Barbara Schussman, Laura Worthington-Forbes
	Julie Ritter Southern forwarded link to video to Justin Draa and Brend Neudecker; requested consideration of another in- person presentation	Neighbors	Email	Julie Ritter Southern	Emails to/from Frank Rockwood
6/12/2020	Meeting with Town Staff re: Story Pole Visualization	Town	Video Meeting	Jocelyn Shoopman, Sally Zarnowitz, Joel Paulson	Frank Rockwood, Mark Falgout, David Gates, Melissa Destout
6/29/2020	Maria Ristow inquired re: status general and tagged trees behind 65 Broadway; tagged trees related to trimming project	Neighbors	Email	Maria Ristow	Emails to/from Frank Rockwood
	Margaret Bielski called about trees at 19 Clifton that appear to be marked for removal; understands that there is a proposal to add two units	Neighbors	Phone Call	Margaret Bielski	Callto/from Frank Rockwood
-	Open House 8 Invitation	Neighbors/Organizations	Letter/Email	[Sent to neighborhood & local businesses distribution list]	Letter from Chris I chien; email from Frank Rockwood
12/2/2020	Meeting with Council Member-Elect Maria Ristow	Town	Video Meeting		Frank Rockwood, Chris I chien, Laura Worthington- Forbes
12/3/2020	Open House 8			Julie Ritter Southern, Fred Lester, Matt Wood, Zane Rowe, Gary/Jamie Garcia, Claire LeClair, Evelyn/Irving Mitsunaga, Robert Macartney, Matthew Bigge	Frank Rockwood, Chris Ichien, David Gates, Victor Ceron, Laura Worthington-Forbes, Mark Falgout, Laura Darling
3	Sayoc	Town	Video Meeting	Maric o Sayoc	Frank Rockwood, Chris I chien, Laura Worthington- Forbes
************	Meeting with Jocelyn Shoopman	Town	Video Meeting	Joc elyn Shoopman	Frank Rockwood, Mark Falgout, Laura Worthington- Forbes
12/9/2020	Meeting with Council Member Rob Rennie	Town	Video Meeting	Rob Rennie	Frank Rockwood, Mary McMullin, Laura Worthington- Forbes
	Letter from Neighbor to Town Staff re: Story Poles and Fire Evacuation	Neighbor/Town	Letter_to_Town		N/A
3	Letter from Neighbor to Town Staff re: Story Poles	Neighbor/Town	Letter_to_Town	Clare Southern	N/A
3	Meeting with Council Member Matthew Hudes	Town	_	Matthew Hudes	Frank Rockwood, Chris I chien, Laura Worthington- Forbes
3	Meeting with Council Member Mary Badame	Town	Video Meeting		Frank Rockwood, Chris I chien, Laura Worthington- Forbes
/15/2021	Letter from Neighbor to Town Staff re:	Neighbor/Town	Letter_to_Town	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	N/A

Appendix E	
Listing of Communication	S

DATE	DESCRIPTION	CONSTITUTNOV	COLUMN TOTAL		
	Letter from Neighbor to Town Staff re:	Neighbor/Town	COMM_TYPE Letter_to_Town	INDIVIDUALS Julie Ritter Southern	COVIA_TEAM_REPRESENTATIVES
	Story Poles and View	Weighbor/Town	Letter_to_rown	Julie Ritter Southern	N/A
1/19/2021	Town Council Hearing re: Story Pole	Town/Neighbors	Video Meeting	Matthew Hudes, Mary Badame, Jocelyn Shoopman,	Frank Rockwood, Mark Falgout, David Gates, Laura
2/1/2021	Letter from Neighbor to Town Staff re:	\$	ļ	Rob Rennie, Marico Sayoc, Maria Ristow (recused)	Worthington-Forbes
2/1/2021	Story Poles	Neighbor/Town	Letter_to_Town	Bernd Neudecker	N/A
2/1/2021	Meeting with Julie Ritter Southern and	Neighbors	In-Person Meeting	Julie Ritter Southern (123/135 Wood Rd) and Andrew	Frank Rockwood, Chris I chien, David Gates
	Andrew Ghofrani		<u> </u>	Ghofrani (121 Wood Rd)	
2/2/2021		Neighbors	Email	Julie Ritter Southern (123/135 Wood Rd) and Berne	Emails to/from Frank Rockwood
	Neudecker would be sending letter to staff			Neudecker (109 Wood Rd)	
2/8/2021	Letter from Neighbor to Town Staff re:	Neighbor/Town	Letter_to_Town	Andrew Ghofrani	N/A
	View and Building Height		ļ		
· · · · · · · · · · · · · · · · · · ·	Tour with Council Member	Town	Tour	Matthew Hudes	Frank Rockwood, Chris I chien
2/22/2021		Town	Email	Arn Andrews	Laura Worthington Forbes
	regarding Ad Hoc Wildfire Committee;				
	Jocelyn Scoopman directed project team to incorporate contents of letter in updated				
	Justification Letter				
3/14/2021	Neighbor reached out about people cutting	Neighbors	Email	Cathy Colgan	Scarl Backward Alex Co.
	plants on property	1	I	County Congain	Frank Rockwood, Alex Gerasimov
3/18/2021	Owner of business located at the corner of	Neighbor/Town	Email	Shayna Orr, Exec Asst for Owner of business located at	Frank Rockwood
	Wood Rd and S. Santa Cruz Ave reached out		0.0000000000000000000000000000000000000	the corner of Wood Rd and S. Santa Cruz Ave	The state of the s
	about construction start and length -				
	concern of holistic tenant				
	Letter to Neighbor re: Visualizations	Neighbor	Letter	Andrew Ghofrani	Frank Rockwood
4/28/2021	Emailed Visualizations from Ghofrani	Neighbor	Email	Andrew Ghofrani, Julie Ritter	Frank Rockwood
	Property				
5/3/2021	Email to Neighbor re: project status and	Neighbor	Email	John Richardson	Frank Rockwood
5/12/2021	Communication with Neighbor about Trees	Najahhor	Email	lahu Dishasalasa	
10.000	to be taken down 5/15/21	iveignboi	EIIIali	John Richardson	Alex Gerasimov
	Communication with Town Council Member	Town	Email	Maria Ristow	Frank Barbarand
	Who Reached Out For Update			INITIA NISCOW	Frank Rockwood
~~~~~~~	·	Neighbor	Email	John Richardson	Alex Gerasimov
	Taken Down - Neighbor Said Looked Great				ALEX GETASITION
	Communication with Neighbor re:	Neighbor	Email	Andrew Ghofrani	Frank Rockwood
	Visualizations from House		<u></u>		
6/5/2021	Neighbor Reached Out Regarding Annual	Neighbor	Email	Michael Walton	Alex Gerasimov
	Clearing of Brush by 50 Clifton Ave.				
		Neighbor	Email	Julie Ritter Southern	Frank Rockwood
mmmmm)	for Project Update				
	Communication with Neighbor re:	Neighbor	Email	Julie Ritter Southern and Andrew Ghofrani	Frank Rockwood
	Upcoming DEIR Meeting 6/23/21				
	Communication with Neighbor re: Upcoming Open House - Checking on Aug 9	Neighbor	Email	Julie Ritter Southern	Frank Rockwood
	Date				
mmmmm		Neighbors/Organizations	Letter/Email	Cont to naighborhood 9 leg-15	, , , , , , , , , , , , , , , , , , , ,
		gribora organizations	Letter/ciridii	[Sent to neighborhood & local businesses distribution list]	Letter from Chris I chien; email from Frank Rockwood
8/9/2021	Open House 9	Neighbors	Video Meeting	Julie Ritter Southern, Larry Lenheart, Evelyn/Irving	Frank Rockwood, Chris I chien, David Gates, Mark
-				Mitsunaga, Andrew Ghofrani, Matt Hood	Falgout, Laura-Worthington-Forbes, Alex Gerasimov,
					Victor Ceron, Mary McMullin
	Sent Link to Recording of Open House 9 To	Neighbors	Email	Julie Ritter Southern, Larry Lenheart, Evelyn/Irving	Susan Rockwood
	All Registered Neighbors, Whether They			Mitsunaga, Andrew Ghofrani, Matt Hood, Cathy	
9	Attended Or Not			Colgan, Karen Kurz, Zane Rowe, Fred Lester, James	3
8/19/2021	Neighbor Reached Out Boarding DV	Mairbhas		Farwell	***************************************
	Neighbor Reached Out Regarding RV Parked on Clifton	Neighbor	Email	Cathy Colgan	Frank Rockwood, Alex Gerasimov
	······································	Neighbor	Email	Frad Larter	5
	Transfer	1100/	LIIIdii	Fred Lester	Frank Rockwood
mmmm	Letter from Neighbor to Town Staff re:	Neighbor/Town	Letter_to_Town	Julie Ritter Southern	N/A
	Story Poles		cester_to_rown	Julie Mickel Southern	N/A
************	<del></del>	Neighbors/Organizations	Letter/Email	[Sent to neighborhood & local businesses distribution list]	letter from Chris I chien: email from Eraph Posturand
	Upcoming Oct. 19 Public Meeting				Hom Gris Tellen, email from Frank RockWood
10/18/2021	Letter from Neighbor to Town Staff re:	Neighbor/Town	Letter_to_Town	Andrew Ghofrani	N/A
	Story Poles				
		Noighbor/Tours	Latter to Town	Esther Grant	
	Letter from Neighbor to Town Staff re: Story Poles	Neighbor/Town	Letter_to_Town	estrier drant	N/A

Apper	ndix E g of Communications				
LISCILIE	gorcommunications				
<b>DATE</b> 10/19/2021	DESCRIPTION Town Council Hearing re: Story Pole	CONSTITUENCY Neighbor/Town		Mullins Rob Rennie, Marico Sayoc, Maria Ristow (recused)	COVIA_TEAM_REPRESENTATIVES Frank Rockwood, Mark Falgout, Chris I chien, Laura Worthington-Forbes (Ashley Snodgrass from California Story Poles was on the call but had to leave before the project was discusseed).
	Letter from Neighbor to Town Staff re: Story Poles	Neighbor/Town	Neighbor/Town	Julie Ritter Southern	N/A
	Letter from Neighbor to Town Staff re: Visual I mpacts	Neighbor/Town	Neighbor/Town	Andrew Ghofrani	N/A

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From: Andrew Ghofrani <
Sent: Monday, February 8, 2021 10:11:19 PM
To: Sally Zarnowitz < <u>SZarnowitz@losgatosca.gov</u> >; Planning < <u>Planning@losgatosca.gov</u> >
Cc: Ryan Safty < RSafty@losgatosca.gov >; Andrew Ghofrani < >; Feri Ghofrani
Subject: Los Gatos Meadows- Reconstruction / expansion
Dear Mrs. Zarnowitz,
I am currently a resident of Town of Los Gatos, residing at Santa Clara County for the past 42 years. I have been an active member of this community, currently a Vice President at Granite Construction Company, responsible for the Heavy Construction Division for the Western United States. It is has come to my attention that the Meadows of Los Gatos is proposing to increase the existing building heights from 55' to 88.5'. My property is directly situated behind the Meadows on Wood Road, and this increase in elevation will directly block my view. We primarily chose this property because of its view of downtown and the valley in front of our house. Since we don't have a usable front yard, our front deck serves as our primary entertainment area and considered a special amenity with added value to our property.
Last week we had a visit by the architect, the project manager along with his assistant of the reconstruction project, asking to take a picture from our front deck point of view. In the same visit, the architect admitted that our view will be affected by the additional height. I have also learned that for some reason the Meadows management has asked for a waiver on putting up story poles in its application process.
It is really disturbing that the Meadows is planning to block our view completely without sharing its plan and the bulk of the intended buildings. A lot of my property value is directly correlate to its view and the possible blockage is totally unacceptable.
I have a serious objection to the height increase of this construction directly in front of my property and want to be on record to that effect. Please advise about the application process as I along with my neighbors want to share our opposition to this increase in elevation.
I can be reached at growing or my email
Thank you for your attention.

Andrew Ghofrani P.E

From: Joseph Gemignani <

Sent: Sunday, February 21, 2021 12:08 PM

To: Jocelyn Shoopman < jshoopman@losgatosca.gov>

Subject: 110 Wood Road

Hi Jocelyn, the project proposed at 110 Wood road just seems to tall and too dense.

Also, can we get a more traditional style of architecture?

Joseph (amateur weatherman)

From: Esther Grant < > Sent: Thursday, February 25, 2021 7:11:28 PM

**To:** Planning Comment < <u>PlanningComment@losgatosca.gov</u>>

Subject: Removoal of large procted trees

Property zoned R:PD APN 510-47-038, If you are removing these tree's for the purpose of having more land to build on, than I would have a Tree Surgeon, give their professional opinion! As a concerned neighbor, I would not want to see the destruction of gorgeous protected tree's for selfish reasons.

Esther Grant

From: Matthew Southern <

**Sent:** Wednesday, July 21, 2021 9:57 PM **To:** Sean Mullin <SMullin@losgatosca.gov>

Subject: 110 Wood Road

Hello Mr. Mullin -

Thank you for your service to the town of Los Gatos.

I'm writing to you as a resident of Wood Road concerned about the plans for 110 Wood Rd.

According to the town website, the planned development at 110 Wood Road is happening as the current "Los Gatos Meadows facility presented too great a safety risk to our residents and employees" (see screenshot). On that note, were there any specific risks that were provided?

I'm curious as to how a larger and taller Los Gatos Meadows facility will be safer for residents and employees - especially if the Broadway access road is to be closed as part of the plans. Considering the previous issues the Meadows has had with evacuation during the 1997 Cats fire, I would think a larger building with less access roads would be less safe than what is currently standing.

Thanks for listening to my concerns. Please let me know if there is any additional information you may need.

Thanks, Matthew Southern

Los Gatos

#### Q5: Why did Los Gatos Meadows close?

A5: Covia concluded in early 2019 after a rigorous facilities assessment that continuing operations of the 48-year-old Los Gatos Meadows facility presented too great a safety risk to our residents and employees. We worked closely with all our residents, their families, our employees, neighbors and the Town of Los Gatos to ensure a thoughtful and smooth closing on Sept. 30, 2019.

From: Julie Southern

Sent: Saturday, July 24, 2021 1:35 PM
To: Sean Mullin <SMullin@losgatosca.gov>
Subject: 145 Wood Road - new build

#### Hello Mr Mullin,

I live at and received the green notice about site application s-21-003. I met with the new neighbors several months ago when the story poles went up. I have no specific issues with their plan, just the usual: increased noise and road traffic from the build, keeping their build traffic from using my driveway to park or turn around, will it be restricted to 8-5pm, M-F like it was when I built 135 Wood?

In fear of sounding like a broken record, the concern of more traffic on Wood road is that the Meadows is proposing to close one alternative access point - the only access point, except from Wood Road. I lived thru the 1997 fire and access was KEY. Again, this is a general comment to anything going on at Wood Road.

And lastly, it would be nice if the town would repair the town retaining wall adjacent to my driveway - do let me know if I should submit this to someone else! See picture below. It will only get worse with the traffic on Wood.



Thank you
Julie Southern

From: Andrew Ghofrani < > Sent: Monday, October 11, 2021 9:52 AM

**To:** Sean Mullin < SMullin@losgatosca.gov>

Cc: Andrew Ghofrani < >; Julie Southern >; Bernd

Neudecker < >

Subject: 110 Wood Rd LG

#### **EXTERNAL SENDER**

Dear Sean,

It has come to my attention that the developer is asking for an exception about putting up the complete story poles for full visualization. In a joint zoom meeting in early June, I was assured that they fully intend to install story poles & orange netting in early October.

I want to be on record again about my objection to a waiver of this requirement as i have previously stated as well. The only way to truly realized the full visual impact of this massive project is to see the story poles and orange netting.

The story poles are needed for full transparency and any waiver to that will not be the right approach.

Please acknowledge the receipt of this email and adding my objection to the record.

Thank you,

Andy Ghofrani

From: Andrew Ghofrani < > > Sent: Wednesday, December 1, 2021 10:40 AM

To: Sean Mullin <SMullin@losgatosca.gov>

**Cc:** Bernd Neudecker >; C So <c >; Julie Southern

>; Andrew Ghofrani <

Subject: Re: 110 Wood Rd LG

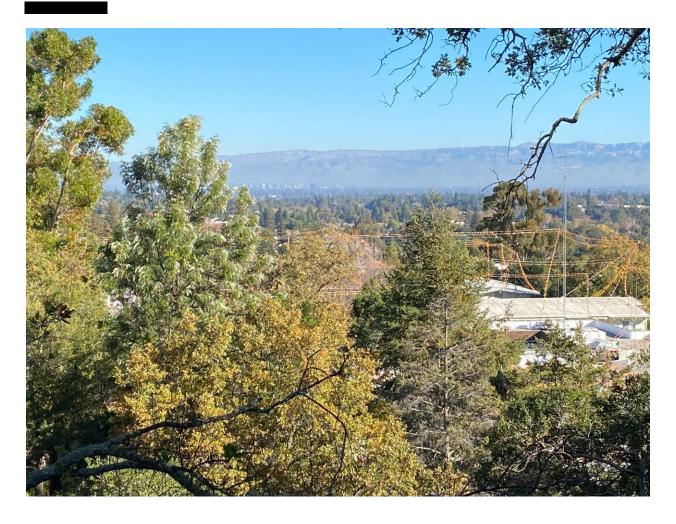
#### **EXTERNAL SENDER**

Dear Sean

Attached please find a current view from my front deck showing the story poles. In the first file you see the story poles and the second view shows the proposed building in darker shading. As you can see there is a major impact to my view. Please advise what is my recourse for objecting to this situation and if there are any remedies to reducing the impact.

Please add these pictures to your public project folder.

Thank you Andy Ghofrani





From: Todd Johnson <

Sent: Thursday, December 23, 2021 10:16 AM To: Sean Mullin < SMullin@losgatosca.gov>

Subject: Wood Rd.

#### **EXTERNAL SENDER**

The story poles indicate this will be a massive project. The buildings will not fit into the surrounding hillside area whatsoever. Given how the town has tried to preserve the hillsides I am just shocked that someone would even propose such a development. Thus, I'm opposed to the development is it is story poles.

Todd Johnson

From: Michael Kennedy <

**Sent:** Saturday, January 1, 2022 1:39 PM **To:** Rob Rennie < RRennie@losgatosca.gov>

**Cc:** Maria Ristow < MRistow@losgatosca.gov >; Mary Badame < MBadame@losgatosca.gov >; Matthew

Hudes < MHudes@losgatosca.gov >; Marico Sayoc < MSayoc@losgatosca.gov >; Janette Judd

<jjudd@losgatosca.gov>; Joel Paulson <jpaulson@losgatosca.gov>

Subject: Re: Proposed construction project, height blocking hillside views - site of former Los Gatos

Meadows

#### **EXTERNAL SENDER**

Adding Joel Paulson and Janette Judd to distribution. It appears that the building height has been increased by 2-3X, see photos below. In a recent proposed commercial development, building heights at the north entrance of town were limited to protect hillside views. One would expect the same policy also applies for the south entrance of town. Is there an easy way to limit building height to the structures currently in place and still satisfy the needs of the community? Mike





# Sent from my iPhone

> On Dec 21, 2021, at 1:46 PM, Michael Kennedy < > wrote: > I'm also concerned about increased hillside fire risk and especially loss of privacy from proposed project views into my bathroom and bedroom windows. Mike >



> Sent from my iPhone

>> On Dec 21, 2021, at 1:30 PM, Michael Kennedy <

> wrote:

>> Attaching photo from E. Main St, see below. Mike



>>

>>

>>

>> Sent from my iPhone

>>

>>> On Dec 21, 2021, at 1:27 PM, Michael Kennedy <

>>> Dear Mr. Rennie,

>>> I'm writing to ask you and other councilmembers to kindly consider reducing the size and scale of the proposed hillside construction project on the site of former Los Gatos Meadows.

> wrote:

>>> I woke up the other day and saw tall story polls from my bedroom window on was astonished that the proposed building height would actually extend above the nearby hillside ridge tree line, see photo below.



>>> I've provided another photo of the project returning home from the library today on the east side of town, see below. The width of the project from this perspective could be reduced in size to scale other buildings on the hillside to blend more uniformly with the surrounding landscape.

>>> I respectfully object to approval of this project as it is proposed. Can you please ask the developer to kindly scale back the project to an a more appropriate size to avoid diminishing the beautiful hillside views of our lovely town?

>>> Best regards,

>>> Mike Kennedy



>>> Sent from my iPhone

From: Michael Kennedy <

**Sent:** Tuesday, December 28, 2021 8:28 AM **To:** Rob Rennie <RRennie@losgatosca.gov> **Cc:** Janette Judd <jjudd@losgatosca.gov>

Subject: Re: Proposed construction project, height blocking hillside views - site of former Los Gatos

Meadows

### **EXTERNAL SENDER**

Understood and agreed. One wonders if the community would be better served by establishing moderate building height limits to protect neighbor privacy and hillside beauty from aggressive development projects. The sudden unsightly appearance of a sprawling and tall building complex towering above all others in a scenic bucolic landscape seems wrong. Mike

Sent from my iPhone

On Dec 28, 2021, at 6:45 AM, Rob Rennie < <a href="mailto:RRennie@losgatosca.gov">RRennie@losgatosca.gov</a>> wrote:

Mike,

The 1st step is planning commission. They have the authority to ask for changes or they will not approve. The council puts high consideration on planning commission work when approving projects or asking for changes.

I recommend helping to make sure there is a robust discussion at the planning commission about this project.

Thank You,

Rob Rennie

Los Gatos Town Mayor

Help me prevent brown act violations. Please do not forward this email

From: Chad <

Sent: Wednesday, January 5, 2022 5:24 PM

To: Planning Comment < PlanningComment@losgatosca.gov >

Cc: Lauren Kutting <

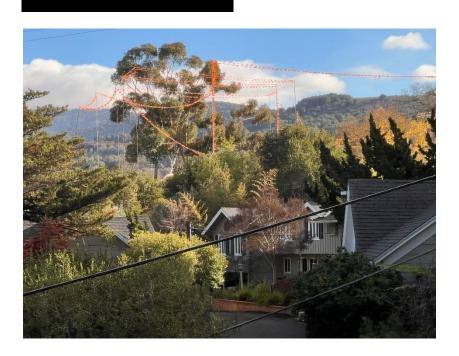
Subject: Regarding 110 Wood Road Application PD-20-001

# **EXTERNAL SENDER**

Hello, my name is Chad Kutting, resident of in Los Gatos. I received notice of the upcoming planning meeting to discuss the 110 Wood Road application. To date, we have been supportive of the revitalization of the Wood Road property but have grown concerned after the most recent story poles went up. Our home faces south towards one of the proposed buildings and the bulk and mass appears to be significantly larger than appropriate for the hillside. The unobstructed view of the trees and hillside is now covered end to end with the proposed massive structure. In the attached photos you can see how the new structure would dwarf the surrounding homes. Photos attached below.

Our hope is that this section can be reduced in mass to better fit within the guidelines for our town.

Sincerely -Chad and Lauren Kutting



Source: Planning Website (https://www.losgatosca.gov/2393/W)

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Draft Ordinance: subject to modification by Town Council based on deliberations and direction

# **ORDINANCE**

# ORDINANCE OF THE TOWN OF LOS GATOS AMENDING THE TOWN CODE EFFECTING A ZONE CHANGE FROM R:PD TO R:PD FOR PROPERTY LOCATED AT 110 WOOD ROAD (APN 510-47-038)

THE TOWN COUNCIL OF THE TOWN OF LOS GATOS DOES ORDAIN AS FOLLOWS:

### SECTION I.

The Town Code of the Town of Los Gatos is hereby amended to change the zoning on property located at 110 Wood Road (APN 510-47-038) as shown on the map attached hereto as Exhibit A, and is part of this Ordinance, from R:PD (Residential, Planned Development) to R:PD (Residential, Planned Development). Ordinance number 938, passed and adopted by the Town Council of Los Gatos on March 4, 1968, is hereby rescinded and replaced with this Ordinance.

### SECTION II

With respect to compliance with the California Environmental Quality Act ("CEQA"), the Town Council finds as follows:

A. An Environmental Impact Report (EIR) was completed for the proposed development and no significant unmitigated impacts are associated with the application. The Findings of Fact are made, the Final EIR is certified, and the Mitigation Monitoring and Reporting Program is adopted.

### SECTION III

The PD (Planned Development Overlay) zone established by this Ordinance authorizes the following construction and use of improvements:

- 1. Demolition of all existing buildings on the site;
- 2. Construction of a new senior living facility as shown on the Official Development Plans (Exhibit B);
- 3. Removal of 192 trees, including 8 large protected trees;
- 4. Site improvements requiring a Grading Permit; and
- 5. Uses permitted are those specified in the R (Residential) zones by Article IV of the Town Code as it exists at the time of the adoption of this Ordinance, or as they may be amended in the future.

EXHIBIT 15

### **SECTION IV**

### COMPLIANCE WITH OTHER DEVELOPMENT STANDARDS:

All provisions of the Town Code apply, except when the Official Development Plan specifically shows otherwise.

### SECTION V

Architecture and Site Approval is required prior to submitting for Building, Tree Removal, and/or Grading Permits. Construction permits shall only be in a manner complying with Section 29.80.130 (PD Ordinance) of the Town Code.

# **SECTION VI**

The attached Exhibit A (Map), and Exhibit B (Official Development Plans), are part of the Official Development Plan. The following performance standards must be complied with before issuance of any grading, or construction permits (mitigation measures are so noted and are flagged with an asterisk):

# TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

# **Planning Division**

- 1. OFFICIAL DEVELOPMENT PLANS: The Official Development Plans provided are conceptual in nature. Final building footprints, building designs, colors, and materials shall be determined during the Architecture and Site approval process.
- 2. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval, and may be secured to the satisfaction of the Town Attorney.
- 3. ARCHITECTURE AND SITE APPROVAL REQUIRED: A separate Architecture and Site (A&S) application and approval is required for the project. The Architecture and Site application may be reviewed by the Development Review Committee.
- 4. WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.
- 5. ARBORIST REQUIREMENTS: All recommendations of the 2018 project arborist report and 2020 arborist report update (HortScience Bartlett Consulting) shall be followed
- 6. TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for trees approved for

- removal prior to the issuance of demolition or grading permits.
- 7. REPLACEMENT TREES: New trees shall be planted to mitigate the loss of trees being removed. The number of trees shall be determined using the canopy replacement table in the Tree Protection Ordinance.
- 8. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties prior to final inspection and issuance of occupancy permits.
- 9. TREE FENCING: Protective tree fencing shall be placed at the drip line of existing trees and shall remain through all phases of construction. Refer to the 2018 project arborist report and 2020 arborist report update (HortScience Bartlett Consulting) requirements. Fencing shall be six-foot high cyclone attached to two-inch diameter steel posts drive 18 inches into the ground and spaced no further than 10 feet apart. Include a tree protection fencing plan with the construction plans.
- 10. OUTDOOR LIGHTING: Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
- 11. FINAL UTILITY LOCATIONS: The applicant shall submit plans showing the final locations and screening of all exterior utilities, including but not limited to, backflow preventers, Fire Department connections, transformers, utility boxes and utility meters. Utility devices shall be screened to the satisfaction of the Director of Community Development. The plans shall be submitted for review and approval prior to issuance of building permits for new construction.
- 12. PLAN INCONSISTENCY: Any inconsistencies between sheets shall be limited to whichever is more restrictive.
- 13. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.
- 14. *AIR QUALITY MITIGATION MEASURE AQ-6-5a: During construction, the project contractor shall implement the following measures to reduce emissions of fugitive dust and engine exhaust DPM, subject to review and approval by the Community Development Director. These measures shall be included in the project plans, prior to issuance of a demolition permit:
  - a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered three (3) times per day and at a frequency adequate to maintain minimum soil moisture of 12 percent. Moisture content can be verified by lab samples or moisture probe;
  - b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered;
  - c. Avoid tracking visible soil material on to public roadways by employing the following measures if necessary: (1) Site accesses to a distance of 100 feet from public paved roads shall be treated with a 6 to 12-inch compacted layer of wood chips, mulch, or gravel and (2) washing truck tires and construction equipment prior to leaving the site;

- All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited;
- e. All vehicle speeds on unpaved roads shall be limited to five (5) mph;
- f. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used;
- g. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five (5) minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points;
- All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation;
- All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed 20 mph and visible dust extends beyond site boundaries;
- j. Wind breaks (e.g., trees, fences) shall be installed on the windward side(s) of actively disturbed areas of construction adjacent to sensitive receptors. Wind breaks should have no greater than 50 percent air porosity;
- Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established;
- The simultaneous occurrence of excavation, grading, and ground-disturbing construction activities on the same area at any one time shall be limited.
   Activities shall be phased to reduce the amount of disturbed surfaces at any one time; and
- m. Post a publicly visible sign with the telephone number and person to contact at the Town of Los Gatos regarding dust complaints. This person shall respond and take corrective action within 48 hours. The air district's phone number shall also be visible to ensure compliance with applicable regulations.
- 15. *AIR QUALITY MITIGATION MEASURE AQ-6-5b: Prior to the issuance of the demolition permit, the project developer shall prepare, and the project contractor shall implement, a demolition and construction emissions avoidance and reduction plan demonstrating a 25 percent reduction of infant/child cancer risk and a 60 percent reduction of PM2.5 exposures at the MEI to meet the air district's risk thresholds. The plan shall be prepared prior to the issuance of a demolition permit and shall be reviewed and approved by the Community Development Director. The plan shall be accompanied by a letter signed by a qualified air quality specialist, verifying the equipment included in the plan meets the standards set forth in this mitigation measure. The plan shall include the following measures:

- a. All mobile diesel-powered off-road equipment operating on-site for more than two days and larger than 50 horsepower shall, at a minimum, meet U.S. Environmental Protection Agency (EPA) particulate matter emissions standards for Tier III engines or better. Prior to the issuance of any demolition permits, the project applicant shall submit specifications of the equipment to be used during construction and confirmation this requirement is met;
- b. Use alternatively fueled equipment or equipment with zero emissions (i.e., aerial lifts, forklifts, and air compressors, etc., shall be either electrified or fueled by liquefied natural gas/propane);
- Provide line power to the site during the early phases of construction to minimize the use of diesel-powered stationary equipment, such as generators; and
- d. Other demonstrable measures identified by the developer that reduce emissions and avoid or minimize exposures to the affected sensitive receptors.
- 16. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-7-2: Prior to issuance of a grading permit, a qualified biologist shall conduct pre-construction surveys for woodrat middens within the development footprint and fire defensible space. These surveys shall be conducted no more than 15 days prior to the start of construction. In the event that construction activities are suspended for 15 consecutive days or longer, these surveys shall be repeated. All woodrat middens shall be flagged for avoidance of direct construction impacts and fire defensible space where feasible. If impacts cannot be avoided, woodrat middens shall be dismantled no more than three days prior to construction activities starting at each midden location. All vegetation and duff materials shall be removed from three feet around the midden prior to dismantling so that the occupants do not attempt to rebuild. Middens are to be slowly dismantled by hand in order to allow any occupants to disperse.

Developers shall be responsible for implementation of this mitigation measure with oversight by the Town of Los Gatos. Compliance with this measure shall be documented by a qualified biologist and submitted to the Town, prior to issuance of a demolition and grading permit.

*BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-7-3: Within 14 days prior to tree removal or other construction activities such as a demolition, the project developer shall retain a qualified biologist to conduct a habitat assessment for bats and potential roosting sites in trees to be removed, within structures proposed for demolition, and in trees and structures within 50 feet of the development footprint. In the event that construction activities are suspended for 15 consecutive days or longer, these surveys shall be repeated. These surveys shall include a visual inspection of potential roosting features (bats need not be present) and a search for presence of guano within and 50 feet around the project site. Cavities, crevices, exfoliating bark, and bark fissures that could provide suitable potential nest or roost habitat for bats shall be surveyed. Assumptions can be made on what species is present due to observed visual characteristics along with habitat use, or the bats can be identified to the species level with the use of a bat echolocation detector such as an "Anabat" unit. Potential roosting

features found during the survey shall be flagged or marked. Locations off the site to which access is not available may be surveyed from within the site or from public areas.

If no roosting sites or bats are found, a letter report confirming absence shall be submitted by the biologist to the Town of Los Gatos prior to issuance of tree removal and demolition permits and no further mitigation is required.

If bats or roosting sites are found, a letter report and supplemental documents shall be provided by the biologist to the Town of Los Gatos prior to issuance of tree removal and demolition permits and the following monitoring, exclusion, and habitat replacement measures shall be implemented:

- a. If bats are found roosting outside of the nursery season (May 1 through October 1), they shall be evicted as described under (b) below. If bats are found roosting during the nursery season, they shall be monitored to determine if the roost site is a maternal roost. This could occur by either visual inspection of the roost bat pups, if possible, or by monitoring the roost after the adults leave for the night to listen for bat pups. If the roost is determined to not be a maternal roost, then the bats shall be evicted as described under (b) below. Because bat pups cannot leave the roost until they are mature enough, eviction of a maternal roost cannot occur during the nursery season. Therefore, if a maternal roost is present, a 50-foot buffer zone (or different size if determined in consultation with the California Department of Fish and Wildlife) shall be established around the roosting site within the nursery season.
- If a non-breeding bat hibernaculum is found in a tree or snag scheduled for b. removal or on any structures within 50 feet of project disturbance activities, the individuals shall be safely evicted, under the direction of a qualified bat biologist. If pre-construction surveys determine that there are bats present in any trees or structures to be removed, exclusion structures (e.g. one-way doors or similar methods) shall be installed by a qualified biologist. The exclusion structures shall not be placed until the time of year in which young are able to fly, outside of the nursery season. Information on placement of exclusion structures shall be provided to the CDFW prior to construction. If needed, other removal methods could include: carefully opening the roosting area in a tree or snag by hand to expose the cavity and opening doors/windows on structures, or creating openings in walls to allow light into the structures. Removal of any trees or snags and disturbance within 50 feet of any structures shall be conducted no earlier than the following day (i.e., at least one night shall be provided between initial roost eviction disturbance and tree removal/disturbance activities). This action will allow bats to leave during dark hours, which increases their chance of finding new roosts with a minimum of potential predation.
- c. Bat Mitigation and Monitoring Plan. If roosting habitat is identified, a Bat Mitigation and Monitoring plan will be prepared and implemented to mitigate for the loss of roosting habitat. The plan will include information pertaining to the species of bat and location of the roost, compensatory mitigation for

permanent impacts, including specific mitigation ratios and a location of the proposed mitigation area, and monitoring to assess bat use of mitigation areas. The plan will be submitted to CDFW for review and approval prior to the bat eviction activities or the removal of roosting habitat.

Developers shall be responsible for implementation of this mitigation measure with oversight by the Town of Los Gatos. Compliance with this measure shall be documented and submitted to the Town, prior to issuance of grading and demolition permits.

*BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-7-4: Prior to issuance of tree removal, demolition, and grading permits, to avoid impacts to nesting birds during the nesting season (January 15 through September 15), construction activities within or adjacent to the project site boundary that include any tree or vegetation removal, demolition, or ground disturbance (such as grading or grubbing) shall be conducted between September 16 and January 14, which is outside of the bird nesting season. If this type of construction occurs during the bird nesting season, then a qualified biologist shall conduct pre-construction surveys for nesting birds to ensure that no nests would be disturbed during project activities.

If project-related work is scheduled during the nesting season (February 15 to August 30 for small bird species such as passerines; January 15 to September 15 for owls; and February 15 to September 15 for other raptors), or if construction activities are suspended for at least 14 days and recommence during the nesting season, a qualified biologist shall conduct nesting bird surveys.

- a. Two surveys for active bird nests shall occur within 14 days prior to start of construction, with the final survey conducted within 48 hours prior to construction. Appropriate minimum survey radii surrounding each work area are typically 250 feet for passerines, 500 feet for smaller raptors, and 1,000 feet for larger raptors. Surveys shall be conducted at the appropriate times of day to observe nesting activities. Locations off the site to which access is not available may be surveyed from within the site or from public areas. A report documenting survey results and plan for active bird nest avoidance (if needed) shall be completed by the qualified biologist prior to initiation of construction activities.
- b. If the qualified biologist documents active nests within the project site or in nearby surrounding areas, an appropriate buffer between each nest and active construction shall be established. The buffer shall be clearly marked and maintained until the young have fledged and are foraging independently. Prior to construction, the qualified biologist shall conduct baseline monitoring of each nest to characterize "normal" bird behavior and establish a buffer distance, which allows the birds to exhibit normal behavior. The qualified biologist shall monitor the nesting birds daily during construction activities and increase the buffer if birds show signs of unusual or distressed behavior (e.g. defensive flights and vocalizations, standing up from a brooding position, and/or flying away from the nest). If buffer establishment is not possible, the qualified biologist or

construction foreman shall have the authority to cease all construction work in the area until the young have fledged and the nest is no longer active.

Developers shall be responsible for implementation of this mitigation measure with oversight by the Town of Los Gatos. Compliance with this measure shall be documented and submitted to the Town, prior to issuance of tree removal, demolition, and grading permits.

- 19. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-7-5a: To avoid impacts to a the potentially jurisdictional drainage feature, a minimum 10-foot setback from the drainage shall be maintained during tree removal, demolition, and construction activities. The drainage and setback area shall be shown on all demolition and construction plans.
- 20. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-7-5b: If disturbance will occur within ten feet of the drainage, prior to issuance of a grading permit within the project boundary, the applicant shall retain a qualified biologist to determine the extent of potential wetlands and waterways regulated by the USACE, RWQCB, and CDFW. If the USACE claims jurisdiction, the applicant shall retain a qualified biologist to obtain a Clean Water Act Section 404 Nationwide Permit. If the impacts to the drainage features do not qualify for a Nationwide Permit, the applicant shall proceed with the qualified biologist in obtaining an Individual Permit from the USACE. The applicant shall then retain a qualified biologist to coordinate with the RWQCB to obtain a Clean Water Act Section 401 Water Quality Certification. If necessary, the applicant shall also retain a qualified biologist to coordinate with the CDFW to obtain a Streambed Alteration Agreement.

To compensate for temporary and/or permanent impacts to Waters of the U.S. that would be impacted as a result of the proposed project, mitigation shall be provided as required by the regulatory permits. Mitigation would be provided through one of the following mechanisms:

- a. A Wetland Mitigation and Monitoring Plan shall be developed that will outline mitigation and monitoring obligations for temporary impacts to wetlands and other waters as a result of construction activities. The Wetland Mitigation and Monitoring Plan would include thresholds of success, monitoring and reporting requirements, and site-specific plans to compensate for wetland losses resulting from the project. The Wetland Mitigation and Monitoring Plan shall be submitted to the appropriate regulatory agencies for review and approval during the permit application process.
- To compensate for permanent impacts, the purchase and/or dedication of land to provide suitable wetland restoration or creation shall ensure a no net loss of wetland values or functions. If restoration is available and feasible, a minimum 1:1 mitigation to impact ratio would apply to projects for which mitigation is provided in advance.
- 21. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-7-6: Prior to issuance of a tree removal permit and/or a grading permit, developers shall retain a certified arborist to develop a site-specific tree protection plan for retained trees and supervise the

implementation of all proposed tree preservation and protection measures during construction activities, including those measures specified in the 2018 project arborist report and 2020 arborist report update (HortScience Bartlett Consulting). Also, in accordance with the Town's Tree Protection Ordinance, the developer shall obtain a tree removal permit for proposed tree removals on each development lot prior to tree removals and shall install replacement trees in accordance with all mitigation, maintenance, and monitoring requirements specified in the tree removal permit(s) or otherwise required by the Town for project approvals.

22. *BIOLOGICAL RESOURCES MITIGATION MEASURE BIO-7-8: On-site landscaping shall be limited to drought-tolerant species, fire-resistant species, and species capable of increasing soil stability; with preference to plant species endemic to Santa Clara County. Species from the California Invasive Plant Council's (Cal-IPC) Invasive Plant Inventory (Cal-IPC 2020) shall be removed if present and not included in any new landscaping.

The plant palette used for on-site landscaping shall be reviewed and approved by the Town of Los Gatos to confirm no invasive species shall be planted. Evidence of compliance shall be submitted to the Town of Los Gatos prior to occupancy of the residential buildings.

*CULTURAL RESOURCES MITIGATION MEASURE CUL-8-2: The following measure shall be included in project plans, prior to issuance of a demolition permit:

If paleontological resources are uncovered during demolition, grading or other on-site excavation activities, construction shall stop until appropriate mitigation is implemented, to be approved by the Community Development Director.

- 24. *WILDFIRE HAZARDS MITIGATION MEASURE FIRE-12-1: In order to adequately address any potential conflicts with emergency access or evacuation routes during construction, the applicant shall prepare and implement a site-specific construction traffic management plan for any construction effort that would require work within existing roadways. The traffic management plan shall be prepared and submitted to the Town prior to issuance of demolition permit(s) and shall be prepared to the satisfaction of Town Public Works and County Fire Department staff.
- 25. *GEOLOGY AND SOILS RESOURCES MITIGATION MEASURE GEO-13-1: The applicant's geotechnical consultant shall review and approve all geotechnical aspects of the development plans, ground improvement plans, shoring design criteria from a geotechnical perspective, and supporting structural details and calculations (i.e., site preparation and grading, site drainage improvements and design parameters for foundations, etc.,) to ensure that their recommendations have been properly incorporated. The project geotechnical consultant should review and approve appropriate performance testing for proposed ground improvement measures.

The results of the geotechnical plan review should be summarized by the project geotechnical consultant in a letter and submitted to the Town Engineer prior to issuance of building permits.

26. *GEOLOGY AND SOILS RESOURCES MITIGATION MEASURE GEO-13-2: The geotechnical

consultant shall inspect, test and approve all geotechnical aspects of the project construction. The inspections should include, but not necessarily be limited to:

- Site preparation and grading;
- Ground improvement;
- Shoring measures and design;
- Site surface and subsurface drainage improvements; and
- Excavations for foundations prior to placement of steel and concrete.

In addition, the project engineering geologist shall inspect opened excavations to confirm bedrock conditions are consistent with those anticipated.

The results of these inspections and the as-built conditions of the project, including ground improvement measures and placement of engineered fill, should be described by the geotechnical consultant in a letter and submitted to the Town Engineer for review and approval prior to final (as-built) project approval.

Specialty/design-build consultants and contractors (shoring, ground improvement, etc.) shall also submit construction reports confirming satisfactory construction of the specific aspects of the project that they are responsible for.

27. *GEOLOGY AND SOILS RESOURCES MITIGATION MEASURE GEO-13-3: The applicant shall consult with Bay Area Air Quality Management District to determine permit requirements. Removal of asbestos-containing building materials is subject to Bay Area Air Quality Management District's Regulation 11, Rule 2: Asbestos Demolition, Renovation and Manufacturing. Release of lead into the atmosphere is subject to Bay Area Air Quality Management District's Regulation 11, Rule 1: Lead.

Prior to the commencement of demolition activities on the site, the applicant shall provide evidence of meeting the permitting requirements of the Bay Area Air Quality Management District, to the satisfaction of the Town of Los Gatos Community Development Department.

# **Building Division**

- 28. PERMITS REQUIRED: A Demolition Permit is required for the demolition of each individual building of the existing senior living community. A separate Building Permit is required for the construction of each new building located within the site.
- 29. APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2020, are the 2019 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12, including locally adopted Energy Reach Codes.
- 30. CONDITIONS OF APPROVAL: The Conditions of Approval must be blue lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
- 31. BUILDING & SUITE NUMBERS: Submit requests for new building addresses to the Building Division prior to submitting for the building permit application process.

- 32. SIZE OF PLANS: Minimum size 24" x 36", maximum size 30" x 42".
- 33. REQUIREMENTS FOR COMPLETE DEMOLITION OF STRUCTURE: Obtain a Building Department Demolition Application and a Bay Area Air Quality Management District Application from the Building Department Service Counter. Once the demolition form has been completed, all signatures obtained, and written verification from PG&E that all utilities have been disconnected, return the completed form to the Building Department Service Counter with the Air District's J# Certificate, PG&E verification, and three (3) sets of site plans showing all existing structures, existing utility service lines such as water, sewer, and PG&E. No demolition work shall be done without first obtaining a permit from the Town.
- 34. AIR QUALITY: To limit the project's construction-related dust and criteria pollutant emissions, the following the Bay Area Air Quality Management District (BAAQMD)-recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:
  - a. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 2 minutes. Clear signage shall be provided for construction workers at all access points.
  - b. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator. All non-road diesel construction equipment shall at a minimum meet Tier 3 emission standards listed in the Code of Federal Regulations Title 40, Part 89, Subpart B, §89.112.
  - c. Developer shall designate an on-site field supervisor to provide written notification of construction schedule to adjacent residential property owners and tenants at least one week prior to commencement of demolition and one week prior to commencement of grading with a request that all windows remain closed during demolition, site grading, excavation, and building construction activities in order to minimize exposure to NOx and PM10. The on-site field supervisor shall monitor construction emission levels within five feet of the property line of the adjacent residences for NOx and PM10 using the appropriate air quality and/or particulate monitor.
- 35. SOILS REPORT: A Soils Report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
- 36. SHORING: Shoring plans and calculations will be required for all excavations which exceed five (5) feet in depth or which remove lateral support from any existing building, adjacent property, or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall confirm to the Cal/OSHA regulations.
- 37. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining

wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:

- a. Building pad elevation
- b. Finish floor elevation
- Foundation corner locations
- d. Retaining wall(s) locations and elevations
- 38. TITLE 24 ENERGY COMPLIANCE: All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e. directly printed, onto a plan sheet.
- 39. SITE ACCESSIBILITY: At least one accessible route within the boundary of the site shall be provided from public transportation stops, accessible parking and accessible passenger loading zones and public streets or sidewalks to the accessible building entrance that they serve. The accessible route shall, to the maximum extent feasible, coincide with the route for the general public. At least one accessible route shall connect all accessible buildings, facilities, elements and spaces that are on the same site.
- 40. ACCESSIBLE PARKING: The parking lots, as well as the parking structure, where parking is provided for the public as clients, guests or employees, shall provide handicap accessible parking. Accessible parking spaces serving a particular building shall be located on the shortest accessible route of travel from adjacent parking to an accessible entrance. In buildings with multiple accessible entrances with adjacent parking, accessible parking spaces shall be dispersed and located closest to the accessible entrances.
- 41. BACKWATER VALVE: The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.50.025. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
- 42. HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies.
- 43. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available from the Building Division Service Counter or online at www.losgatosca.gov/building.
- 44. BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available at the Building Division Service Counter for a fee of \$2 or at ARC Blueprint for a fee or online at www.losgatosca.gov/building.
- 45. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:

- a. Community Development Planning Division: (408) 354-6874
- b. Engineering/Parks & Public Works Department: (408) 399-5771
- c. Santa Clara County Fire Department: (408) 378-4010
- d. West Valley Sanitation District: (408) 378-2407
- e. Santa Clara County Environmental Health Department: (408) 918-3479
- f. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

### TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

# **Engineering Division**

- 46. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner and/or Applicant and/or Developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner and/or Applicant's expense.
- 47. APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
- 48. CONSTRUCTION PLAN REQUIREMENTS: Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town's Engineering Design Standards, which are available for download from the Town's website.
- 49. ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security. It is the responsibility of the Owner/Applicant to obtain any necessary encroachment permits from affected agencies and private parties, including but not limited to, Pacific Gas and Electric (PG&E), AT&T, Comcast, Santa Clara Valley Water District, California Department of Transportation (Caltrans). Copies of any approvals or permits must be submitted to the Town Engineering Division of the Parks and Public Works Department prior to releasing any permit.
- 50. FOR PLANTERS: The Owner and/or Applicant shall apply for an encroachment permit for the any proposed planters within the public sidewalk and/or Town's right-of-way. The Owner and/or Applicant shall work with Parks and Public Works Department staff to arrive at a mutually agreeable solution that addresses safety and aesthetic issues. If no solution is reached, the vegetative screening requirement shall be waived. A Private

- Improvements in the Public Right-of-Way (formerly Indemnity) Agreement will be required if planters are proposed to be located within the Town's right-of-way. A copy of the recorded agreement shall be submitted to the Engineering Division of the Parks and Public Works Department prior to the issuance of any grading or building permits.
- 51. PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY (INDEMNITY AGREEMENT): The property owner shall enter into an agreement with the Town for all existing and proposed private improvements within the Town's right-of-way. The Owner shall be solely responsible for maintaining the improvements in a good and safe condition at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Director of Parks and Public Works, and subsequently recorded by the Town Clerk at the Santa Clara County Office of the Clerk-Recorder, prior to the issuance of any grading or building permits. Please note that this process may take approximately six to eight (6-8) weeks.
- 52. GENERAL LIABILITY INSURANCE: The property owner shall provide proof of insurance to the Town on a yearly basis. In addition to general coverage, the policy must cover all elements encroaching into the Town's right-of-way.
- 53. PUBLIC WORKS INSPECTIONS: The Owner and/or Applicant or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of any work that occurred without inspection.
- 54. RESTORATION OF PUBLIC IMPROVEMENTS: The Owner and/or Applicant or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner and/or Applicant or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner and/or Applicant or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
- 55. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
- 56. STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.

- 57. PLAN CHECK FEES: Plan check fees associated with the Grading Permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.
- 58. INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of any grading or building permits.
- 59. PUBLIC WORKS INSPECTOR: The Owner and/or Applicant shall fund a full-time public works inspector, selected by the Town of Los Gatos, for the duration of the demolition and grading operations. The Owner and/or Applicant will be charged on a time and materials basis. A deposit for the full amount, to be estimated by the Town based on the Contractor's approved schedule, shall be paid prior to issuance of the demolition permit.
- 60. DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner and/or Applicant's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
- 61. PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval. Additionally, any post-project traffic or parking counts, or other studies imposed by the Planning Commission or Town Council shall be funded by the Owner and/or Applicant.
- 62. GRADING PERMIT: A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). After the preceding Architecture and Site Application has been approved by the respective deciding body, the grading permit application (with grading plans and associated required materials and plan check fees) shall be made to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. The grading plans shall include final grading, drainage, retaining wall location(s), driveway, utilities and interim erosion control. Grading plans shall list earthwork quantities and a table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). Prior to Engineering signing off and closing out on the issued grading permit, the Owner/Applicant's soils engineer shall verify, with a stamped and signed letter, that the grading activities were completed per plans and per the requirements as noted in the soils report. A separate building permit, issued by the Building Department, located at 110 E. Main Street, is needed for grading within the building footprint.
- 63. GRADING ACTIVITY RESTRICTIONS: Upon receipt of a grading permit, any and all grading activities and operations shall not commence until after/occur during the rainy season, as defined by Town Code of the Town of Los Gatos, Sec. 12.10.020, (October 15-April 15), has ended.
- 64. DRIVEWAY: The driveway conform to existing pavement on Wood Road shall be constructed in a manner such that the existing drainage patterns will not be obstructed.

- 65. CONSTRUCTION EASEMENT: Prior to the issuance of a grading or building permit, it shall be the sole responsibility of the Owner and/or Applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed. Proof of agreement/approval is required prior to the issuance of any Permit.
- ORAINAGE STUDY: Prior to the issuance of any grading or building permits, the following drainage studies shall be submitted to and approved by the Town Engineer: a drainage study of the project including diversions, off-site areas that drain onto and/or through the project, and justification of any diversions; a drainage study evidencing that the proposed drainage patterns will not overload the existing storm drain facilities; and detailed drainage studies indicating how the project grading, in conjunction with the drainage conveyance systems (including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding) will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood.
- 67. DRAINAGE IMPROVEMENT: Prior to the issuance of any grading/improvement permits, whichever comes first, the Owner and/or Applicant shall: a) design provisions for surface drainage; and b) design all necessary storm drain facilities extending to a satisfactory point of disposal for the proper control and disposal of storm runoff; and c) provide a recorded copy of any required easements to the Town.
- 68. TREE REMOVAL: Copies of all necessary tree removal permits shall be provided prior to the issuance of a grading permit/building permit.
- 69. SURVEYING CONTROLS: Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
  - a. Retaining wall: top of wall elevations and locations.
  - b. Toe and top of cut and fill slopes.
- 70. PRECONSTRUCTION MEETING: Prior to issuance of any grading or building permits, the general contractor shall:
  - Along with the Owner and/or Applicant, attend a pre-construction meeting with the Town Engineer to discuss the project conditions of approval, working hours, site maintenance and other construction matters;
  - b. Acknowledge in writing that they have read and understand the project conditions of approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction.
- 71. RETAINING WALLS: A building permit, issued by the Building Department, located at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
- 72. CERTIFICATE OF LOT MERGER: A Certificate of Lot Merger shall be recorded. Two (2) copies of the legal description for exterior boundary of the merged parcel and a plat map (8-½ in. X 11 in.) shall be submitted to the Engineering Division of the Parks and Public Works Department for review and approval. The submittal shall include closure

- calculations, title reports less than ninety (90) days old and the appropriate fee. The certificate shall be recorded prior to the issuance of any grading or building permits.
- 73. DEDICATIONS: The following shall be dedicated by separate instrument. The dedication shall be recorded before any grading or building permits are issued:
  - a. Emergency Access Easement: Twenty (20) feet wide, located between Wood Road and Broadway.
- 74. SOILS REPORT: One electronic copy (PDF) of the soils and geologic report shall be submitted with the application. The soils report shall include specific criteria and standards governing site grading, drainage, pavement design, retaining wall design, and erosion control. The reports shall be signed and "wet stamped" by the engineer or geologist, in conformance with Section 6735 of the California Business and Professions Code.
- 75. GEOLOGY AND SOILS MITIGATION MEASURE: A geotechnical investigation shall be conducted for the project to determine the surface and sub-surface conditions at the site and to determine the potential for surface fault rupture on the site. The geotechnical study shall provide recommendations for site grading as well as the design of foundations, retaining walls, concrete slab-on-grade construction, excavation, drainage, on-site utility trenching and pavement sections. All recommendations of the investigation shall be incorporated into project plans.
- 76. SOILS REVIEW: Prior to Town approval of a development application, the Owner and/or Applicant's engineers shall prepare and submit a design-level geotechnical and geological investigation for review by the Town's consultant, with costs borne by the Owner and/or Applicant, and subsequent approval by the Town. The Owner and/or Applicant's soils engineer shall review the final grading and drainage plans to ensure that designs for foundations, retaining walls, site grading, and site drainage are in accordance with their recommendations and the peer review comments. Approval of the Owner and/or Applicant's soils engineer shall then be conveyed to the Town either by submitting a Plan Review Letter prior to issuance of grading or building permit(s).
- 77. SOILS ENGINEER CONSTRUCTION OBSERVATION: During construction, all excavations and grading shall be inspected by the Owner and/or Applicant's soils engineer prior to placement of concrete and/or backfill so they can verify that the actual conditions are as anticipated in the design-level geotechnical report and recommend appropriate changes in the recommendations contained in the report, if necessary. The results of the construction observation and testing shall be documented in an "as-built" letter/report prepared by the Owner and/or Applicant's soils engineer and submitted to the Town before a certificate of occupancy is granted.
- 78. SOIL RECOMMENDATIONS: The project shall incorporate the geotechnical/geological recommendations contained in the Geotechnical Investigation and Geologic Hazards Evaluation by Cornerstone Earth Group, dated January 17, 2020, and any subsequently required report or addendum. Subsequent reports or addendum are subject to peer review by the Town's consultant and costs shall be borne by the Owner and/or Applicant.
- 79. SUPPLEMENTAL GEOLOGIC AND GEOTECHNICAL STUDIES: Supplemental geologic and geotechnical engineering studies shall be performed in support of the design of the

- infrastructure and the podium/building, and the reports and plans shall be submitted to the Town for review.
- 80. IMPROVEMENT AGREEMENT: The Owner and/or Applicant shall enter into an agreement to construct public improvements in accordance with Town Code Section 24.40.020. The Owner and/or Applicant shall supply suitable securities for all public improvements that are part of the development in a form acceptable to the Town in the amount of 100% performance and 100% labor and materials prior to the issuance of any encroachment, grading or building permit. The Owner and/or Applicant shall provide two (2) copies of documents verifying the cost of the public improvements to the satisfaction of the Engineering Division of the Parks and Public Works Department. An electronic copy (PDF) of the executed agreement shall be submitted to the Engineering Division of the Parks and Public Works Department prior to the issuance of any encroachment, grading or building permit.
- 81. SANITARY SEWER CLEANOUT: A sanitary sewer cleanout shall be located within the property in question, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town. The Owner and/or Applicant shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
- 82. PUBLIC IMPROVEMENTS: The following improvements shall be installed by the Developer. Plans for those improvements shall be prepared by a California registered civil engineer, reviewed and approved by the Town, and guaranteed by contract, Faithful Performance Security and Labor & Materials Security before the issuance of any grading or building permits or the recordation of a map. Plans for the improvements must be approved by the Town prior to the issuance of any grading or building permits. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued unless otherwise allowed by the Town Engineer.
  - a. Wood Road: streetlights, tie-in paving, signing, striping, storm drainage and sanitary sewers, as required.
  - b. Remove and replace the existing pavement section along the project frontage with a traffic-appropriate engineered structural pavement section from lip of gutter to lip of gutter from the intersection of South Santa Cruz Avenue and Wood Road extending westerly to the existing fire hydrant, water tank and water pump facilities located within the latter, or alternative pavement rehabilitation measures as approved by the Town Engineer.
  - c. Installation of a sidewalk connecting the podium to the intersection of Wood Road and South Santa Cruz Avenue, as well as construction of the necessary retaining wall(s) and potential pedestrian crosswalk and associated ADA ramps for connectivity to the existing sidewalk on the south side of Wood Road.
  - d. Curb and gutter along the northerly side of Wood Road along the property's frontage.
- 83. CERTIFICATE OF OCCUPANCY: The Engineering Division of the Parks and Public Works
  Department will not sign off on a Temporary Certificate of Occupancy or a Final

- Certificate of Occupancy until all required improvements within the Town's right-of-way have been completed and approved by the Town.
- 84. FRONTAGE IMPROVEMENTS: The Developer shall be required to improve the project's public frontage (right-of-way line to centerline and/or to limits per the direction of the Town Engineer) to current Town Standards. These improvements may include but not limited to curb, gutter, sidewalk, driveway approach(es), curb ramp(s), signs, pavement, raised pavement markers, thermoplastic pavement markings, storm drain facilities, traffic signal(s), street lighting (upgrade and/or repaint) etc. Plans for the improvements must be approved by the Town prior to the issuance of any grading or building permits. The improvements must be completed and accepted by the Town before the issuance of any grading or building permits unless otherwise allowed by the Town Engineer.
- 85. ADA COMPLIANCE: The Owner and/or Applicant shall be required to meet all ADA standards, which must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued. This may require additional construction measures as directed by the Town.
- 86. UNDERGROUND PARKING GARAGE DRAINAGE: Water from the underground parking garage shall not be discharged onto the public street. The Owner and/or Applicant or their representative shall design a floor drainage system for the garage that collects all drainage and conveys runoff to the sanitary sewer system. Connecting said drainage system to the storm drain system is not permitted.
- 87. PARKING LOTS: Parking lots and other impervious areas shall be designed to drain stormwater runoff to vegetated drainage swales, filter strips, and/or other Low Impact Development (LID) treatment devices that can be integrated into required landscaping areas and traffic islands prior to discharge into the storm drain system and/or public right-of-way. The amount of impervious area associated with parking lots shall be minimized by utilizing design features such as providing compact car spaces, reducing stall dimensions, incorporating efficient parking lanes, using permeable pavement where feasible, and adhering to the Town's Parking Development Standards. The use of permeable paving for parking surfaces is encouraged to reduce runoff from the site. Such paving shall meet Santa Clara County Fire Department requirements and be structurally appropriate for the location.
- 88. UTILITIES: The Owner and/or Applicant shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner and/or Applicant is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.
- 89. UTILITY SETBACKS: House foundations shall be set back from utility lines a sufficient distance to allow excavation of the utility without undermining the house foundation. The Town Engineer shall determine the appropriate setback based on the depth of the utility, input from the project soils engineer, and the type of foundation.

- 90. PRIVATE EASEMENTS: Agreements detailing rights, limitations and responsibilities of involved parties shall accompany any proposed private easement. Access driveway shall be within the recorded access easement. A new private access easement shall be recorded, and an electronic copy (PDF) of the recorded agreement shall be submitted to the Engineering Division of the Parks and Public Works Department, prior to issuance of a grading or building permit. A realigned access driveway shall be completed prior to the issuance of grading or building permit.
- 91. SIDEWALK REPAIR: The Owner and/or Applicant shall repair and replace to existing Town standards any sidewalk damaged now or during construction of this project. All new and existing adjacent infrastructure must meet current ADA standards. Sidewalk repair shall match existing color, texture and design, and shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of sidewalk repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
- 92. CURB AND GUTTER REPAIR: The Owner and/or Applicant shall repair and replace to existing Town standards any curb and gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New curb and gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of curb and gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
- 93. CURB RAMPS: The Owner and/or Applicant shall construct all necessary curb ramps to allow for the required pedestrian connectivity in compliance with ADA Standards which must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore.
- 94. CALTRANS APPROVAL: The Owner and/or Applicant shall be responsible for obtaining design approval(s) and construction encroachment permit(s) from Caltrans for any improvements within the Caltrans right-of-way. A copy of approved encroachment permit is required to be submitted to the Engineering Division of the Parks and Public Works Department prior to grading or building permit issuance. The improvements must be completed and accepted by the Town before the issuance of any grading or building permits unless otherwise allowed by the Town Engineer.

- 95. FRONTAGE IMPROVEMENTS (TRAFFIC): The Developer shall construct improvements including and may not be limited to signage, striping, curb/gutter/sidewalk, ADA ramps and streetlights at project frontage as directed by the Town Engineer. Plans for the improvements must be approved by the Town prior to the issuance of any grading or building permits. The improvements must be completed and accepted by the Town before the issuance of any grading or building permits unless otherwise allowed by the Town Engineer.
- 96. FRONTAGE IMPROVEMENTS (STREETLIGHTS): The Developer shall replace existing street light fixture with Town-standard street light pole and fixture. Plans for the improvements must be approved by the Town prior to the issuance of any grading or building permits unless otherwise allowed by the Town Engineer.
- 97. TRAFFIC IMPROVEMENTS (OFF-SITE IMPROVEMENT): Traffic improvements may be required as determined by traffic study. Construct off-site improvements as required. Plans shall be prepared by the Developer's design consultants and submitted to the Town Engineer for approval prior to construction. The Developer is required to designate necessary right-of-way for any required widening. Plans for the improvements must be approved by the Town prior to the issuance of any grading or building permits. The improvements must be completed and accepted by the Town before the issuance of any grading or building permits unless otherwise allowed by the Town Engineer.
- 98. STREETLIGHTS INSPECTION FEES: The Owner and/or Applicant shall pay \$3,000.00 for the Town's inspection of streetlights. The fees shall be due at time of building permit application.
- 99. TRANSPORTATION DEMAND MANAGEMENT PLAN (TDM): The Owner and/or Applicant shall prepare a Transportation Demand Management Plan for the Town of Los Gatos approval prior to the issuance of any building permit. The TDM shall include, but is not limited to, measures such as bicycle facility provisions, shower facilities, local shuttle service, transit passes and subsidies, carpool incentive, designated car share parking, and other measures that may be required by the Town Engineer to obtain a goal of a 15% vehicle trip reduction. The TDM shall also include a TDM Coordinator and identify the requirement for an annual TDM effectiveness report to the Town of Los Gatos.
- 100. BICYCLE FACILITIES: Bicycle facilities including, but may not be limited to, bike lanes and bike boxes will be provided in all directions and approaches of improved streets and intersections as directed by Town Engineer.
- 101. TRAFFIC STUDY: Any development of land use that generates greater traffic impacts than those assumed in the traffic study report may require an updated traffic study in accordance with the Town's traffic impact policy.
- 102. TRAFFIC IMPACT MITIGATION FEE: Prior to the issuance of any building/grading permit(s), the Owner and/or Applicant shall pay the project's proportional share of transportation improvements needed to serve cumulative development within the Town of Los Gatos. The fee amount will be based upon the Town Council resolution in effect at the time the building permit is issued. The fee shall be paid before issuance of any grading or building permit. In the event that a subdivision map, parcel map or certificate is required to be recorded the fee shall be paid prior to recordation. The final

- traffic impact mitigation fee for this project shall be calculated from the final plans using the current fee schedule and rate schedule in effect at the time, using a comparison between the existing and proposed uses.
- 103. CONSTRUCTION VEHICLE PARKING: No construction vehicles, trucks, equipment and worker vehicles shall be allowed to park on the portion of any public (Town) streets without written approval from the Town Engineer.
- 104. TRAFFIC CONTROL PLAN: A traffic control plan is required and must be submitted and approved by the Town Engineer prior to the issuance of an encroachment, grading or building permit. This plan shall include, but not be limited to, the following measures:
  - a. Construction activities shall be strategically timed and coordinated to minimize traffic disruption for schools, residents, businesses, special events, and other projects in the area. The schools located on the haul route shall be contacted to help with the coordination of the trucking operation to minimize traffic disruption.
  - b. Flag persons shall be placed at locations necessary to control one-way traffic flow. All flag persons shall have the capability of communicating with each other to coordinate the operation.
  - c. Prior to construction, advance notification of all affected residents and emergency services shall be made regarding one-way operation, specifying dates and hours of operation.
- 105. CALTRANS APPROVAL OF TRAFFIC CONTROL PLANS: The Owner and/or Applicant shall be responsible for submitting the proposed traffic control plans to Caltrans for approval for any work within the Caltrans right-of-way or that may affect traffic on South Santa Cruz Avenue.
- 106. CONSTRUCTION TRAFFIC CONTROL: All construction traffic and related vehicular routes, traffic control plan, and applicable pedestrian or traffic detour plans shall be submitted for review and approval by the Town Engineer prior to the issuance of an encroachment, grading or building permit.
- 107. ADVANCE NOTIFICATION: Advance notification of all affected residents and emergency services shall be made regarding parking restriction, lane closure or road closure, with specification of dates and hours of operation.
- 108. HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of an encroachment, grading or building permit, the Developer or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Developer to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
- 109. CONSTRUCTION HOURS: All site improvement construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be

- limited to the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.
- 110. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
- 111. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any encroachment, grading or building permits, the Developer's design consultant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Earth Movement Plan, Traffic Control Plan, Project Schedule, site security fencing, employee parking, construction staging area, materials storage area(s), construction trailer(s), concrete washout(s) and proposed outhouse locations. Please refer to the Town's Construction Management Plan Guidelines document for additional information.
- 112. EMERGENCY VEHICLE ACCESS EASEMENT: Prior to the issuance of any grading or building permits, the Owner and/or Applicant shall coordinate with the Santa Clara County Fire Department to ensure that any proposed modifications to the Emergency Vehicle Access Easement that traverses the Project Site are curvilinear, allows for the Department's equipment to travel across said easement, and meets all Department specifications. Plans shall be submitted to the Santa Clara County Fire Department for approval prior to construction.
- 113. CALTRANS: Prior to the start of any work along or within Caltrans rights-of-way and/or easement, the Developer shall obtain necessary encroachment permits for the proposed work. A copy of approved encroachment permit is required to be submitted to the Engineering Division of the Parks and Public Works Department. Plans for the improvements must be approved by the Town prior to the issuance of any grading or building permits. Improvements approved by Caltrans shall be constructed and installed prior to grading or building permit issuance unless otherwise allowed by the Town Engineer.
- 114. STORMWATER MANAGEMENT: Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs one (1) acre or more which are part of a larger common plan of development which disturbs less than one (1) acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. The Owner and/or Applicant is required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Town of Los Gatos Engineering Division of the Parks and Public Works Department and/or Building Department upon request.

- 115. BEST MANAGEMENT PRACTICES (BMPs): The Owner and/or Applicant is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.
- 116. STORMWATER DEVELOPMENT RUNOFF: All new development and redevelopment projects are subject to the stormwater development runoff requirements. Every Owner and/or Applicant or their design consultant shall submit a stormwater control plan and implement conditions of approval that reduce stormwater pollutant discharges through the construction, operation and maintenance of treatment measures and other appropriate source control and site design measures. Increases in runoff volume and flows shall be managed in accordance with the development runoff requirements.
- 117. REGULATED PROJECT: The project is classified as a Regulated Project per Provision C.3.b.ii. and is required to implement LID source control, site design, and stormwater treatment on-site in accordance with Provisions C.3.c. and C.3.d..
- 118. STATE CONSTRUCTION GENERAL PERMIT: In the event that, during the production of construction drawings for the plans approved with this application by the Planning Commission, it is determined that the project will disturb one (1) acre or more of site area, the filing of a Notice of Intent (NOI) and submittal of a Storm Water Pollution Prevention Plan (SWPPP) to the San Francisco Bay Regional Water Quality Control Board as part of a State Construction General Permit will be required. These items shall all be completed and accepted by the Engineering Division before issuance of a grading/building permit.
- 119. NPDES STORMWATER COMPLIANCE: In the event that, during the production of construction drawings for the plans approved with this application by the Planning Commission, it is determined that the project will create and/or replace more than 2,500 square feet of impervious area, completion of the NPDES Stormwater Compliance Small Projects Worksheet and implementation of at least one of the six low impact development site design measures it specifies shall be completed and submitted to the Engineering Division before issuance of a grading/building permit.
- 120. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
  - a. Protect sensitive areas and minimize changes to the natural topography.
  - b. Minimize impervious surface areas.
  - c. Direct roof downspouts to vegetated areas.
  - d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
  - e. Use landscaping to treat stormwater.
- 121. BIORETENTION SYSTEM: The bioretention system(s) shall be designed to have a surface area no smaller than what is required to accommodate a 5 inches/hour stormwater runoff surface loading rate, infiltrate runoff through bioretention soil media at a minimum of 5 inches per hour, and maximize infiltration to the native soil during the life

- of the project. The soil media for bioretention system(s) shall be designed to sustain healthy, vigorous plant growth and maximize stormwater runoff retention and pollutant removal. Bioretention soil media that meets the minimum specifications set forth in Attachment L of Order No. R2-2009-0074, dated November 28, 2011, shall be used.
- 122. IMPAIRED WATER BODIES: Projects that discharge directly to CWA section 303(d) listed water bodies shall implement appropriate source control, site design and treatment measures for the listed pollutants of concern.
- 123. UNLAWFUL DISCHARGES: It is unlawful to discharge any wastewater, or cause hazardous domestic waste materials to be deposited in such a manner or location as to constitute a threatened discharge, into storm drains, gutters, creeks or the San Francisco Bay. Unlawful discharges to storm drains include, but are not limited to: discharges from toilets, sinks, industrial processes, cooling systems, boilers, fabric cleaning, equipment cleaning or vehicle cleaning.
- 124. LANDSCAPING: In finalizing the landscape plan for the biotreatment area(s), it is recommended that the landscape architect ensure that the characteristics of the selected plants are similar to those of the plants listed for use in bioretention areas in Appendix D of the Santa Clara Valley Urban Runoff Pollution Prevention Program (SCVURPPP) C.3 Stormwater Handbook.
- 125. LANDSCAPE MAINTENANCE AGREEMENT: The Developer shall enter into a Landscape Maintenance Agreement with the Town of Los Gatos in which the Developer agrees to maintain the vegetated areas along the project's Wood Road frontage located within the public right-of-way, including the proposed retaining walls as well as street light facilities and fixtures. The agreement must be completed and accepted by the Town Attorney prior to the issuance of any encroachment, grading or building permits.
- 126. EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A Notice of Intent (NOI) and Storm Water Pollution Prevention Plan (SWPPP) shall be submitted to the San Francisco Bay Regional Water Quality Control Board for projects disturbing more than one (1) acre. A maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The grading, drainage, erosion control plans and SWPPP shall be in compliance with applicable measures contained in the amended provisions C.3 and C.14 of most current Santa Clara County National Pollutant Discharge Elimination System (NPDES) Municipal Regional Permit (MRP). Monitoring for erosion and sediment control is required and shall be performed by the Qualified SWPPP Developer (QSD) or Qualified SWPPP Practitioner (QSP) as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event

Action Plan (REAP) must be developed forty-eight (48) hours prior to any likely precipitation even, defined by a fifty (50) percent or greater probability as determined by the National Oceanic and Atmospheric Administration (NOAA), and/or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (http://www.srh.noaa.gov/forecast) which must accompany monitoring reports and sampling test data. A rain gauge is required on-site. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

- 127. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.
- 128. DUST CONTROL: The following measures shall be implemented at construction sites greater than four (4) acres in area:
  - a. Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas (previously graded areas inactive for ten days or more).
  - b. Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).
  - c. Limit traffic speeds on unpaved roads to fifteen (15) miles per hour.
  - d. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
  - e. Replant vegetation in disturbed areas as quickly as possible.
- 129. AIR QUALITY: To limit the project's construction-related dust and criteria pollutant emissions, the following the Bay Area Air Quality Management District (BAAQMD)-recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:
  - All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day, or otherwise kept dust-free.

- b. All haul trucks designated for removal of excavated soil and demolition debris from site shall be staged off-site until materials are ready for immediate loading and removal from site.
- c. All haul trucks transporting soil, sand, debris, or other loose material off-site shall be covered.
- d. As practicable, all haul trucks and other large construction equipment shall be staged in areas away from the adjacent residential homes.
- e. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day, or as deemed appropriate by Town Engineer. The use of dry power sweeping is prohibited. An on-site track-out control device is also recommended to minimize mud and dirt-track-out onto adjacent public roads.
- f. All vehicle speeds on unpaved surfaces shall be limited to fifteen (15) miles per hour.
- g. All driveways and sidewalks to be paved shall be completed as soon as possible.
  Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- h. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within forty-eight (48) hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. Please provide the BAAQMD's complaint number on the sign: 24-hour toll-free hotline at 1-800-334-ODOR (6367).
- i. All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed twenty (20) miles per hour.
- j. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.
- 130. DETAILING OF STORMWATER MANAGEMENT FACILITIES: Prior to the issuance of any grading or building permits, all pertinent details of any and all proposed stormwater management facilities, including, but not limited to, ditches, swales, pipes, bubble-ups, dry wells, outfalls, infiltration trenches, detention basins and energy dissipaters, shall be provided on submitted plans, reviewed by the Engineering Division of the Parks and Public Works Department, and approved for implementation.
- 131. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
- 132. STORMWATER DISCHARGE: New buildings, such as food service facilities and/or multi-family residential complexes or subdivisions, shall provide a covered or enclosed area for dumpsters and recycling containers. The area shall be designed to prevent water run-on to the area and runoff from the area. Areas around trash enclosures, recycling areas, and/or food compactor enclosures shall not discharge directly to the storm drain

- system. Any drains installed in or beneath dumpsters, compactors, and tallow bin areas serving food service facilities shall be connected to the sanitary sewer. The Owner and/or Applicant shall contact the local permitting authority and/or sanitary district with jurisdiction for specific connection and discharge requirements.
- 133. WATER FEATURES: New fountains shall have a connection to the sanitary sewer system, subject to West Valley Sanitation District's authority and standards, to facilitate draining events. Discharges from these features shall be directed to the sanitary sewer and are not allowed into the storm drain system.
- 134. SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. Any storm drain inlets (public or private) directly connected to public storm system shall be stenciled/signed with appropriate "NO DUMPING - Flows to Bay" NPDES required language. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If stormwater treatment facilities are to be used they shall be placed a minimum of ten (10) feet from the adjacent property line and/or right-of-way. Alternatively, the facility(ies) may be located with an offset between 5 and 10 feet from the adjacent property and/or rightof-way line(s) if the responsible engineer in charge provides a stamped and signed letter that addresses infiltration and states how facilities, improvements and infrastructure within the Town's right-of-way (driveway approach, curb and gutter, etc.) and/or the adjacent property will not be adversely affected. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.
- 135. STORM WATER MANAGEMENT PLAN: A storm water management shall be included with the grading permit application for all Group 1 and Group 2 projects as defined in the amended provisions C.3 of the Municipal Regional Stormwater NPDES Permit, Order R2-2015-0049, NPDES Permit No. CAS612008. The plan shall delineate source control measures and BMPs together with the sizing calculations. The plan shall be certified by a professional pre-qualified by the Town. In the event that the storm water measures proposed on the Planning approval differ significantly from those certified on the Building/Grading Permit, the Town may require a modification of the Planning approval prior to release of the Building Permit. The Owner and/or Applicant may elect to have the Planning submittal certified to avoid this possibility.
- 136. STORM WATER MANAGEMENT PLAN NOTES: The following note shall be added to the storm water management plan: "The biotreatment soil mix used in all stormwater treatment landscapes shall comply with the specifications in Attachment L of the MRP. Proof of compliance shall be submitted by the Contractor to the Town of Los Gatos a minimum of thirty (30) days prior to delivery of the material to the job site using the Biotreatment Soil Mix Supplier Certification Statement."
- 137. STORM WATER MANAGEMENT PLAN CERTIFICATION: Certification from the biotreatment soils provider is required and shall be given to Engineering Division Inspection staff a minimum of thirty (30) days prior to delivery of the material to the job site. Additionally deliver tags from the soil mix shall also be provided to Engineering Division Inspection staff. Sample Certification can be found here:

# http://www.scvurppp-w2k.com/nd wp.shtml?zoom highlight=BIOTREATMENT+SOIL.

- 138. AGREEMENT FOR STORMWATER BEST MANAGEMENT PRACTICES INSPECTION AND MAINTENANCE OBLIGATIONS: The property owner shall enter into an agreement with the Town for maintenance of the stormwater filtration devices required to be installed on this project by the Town's Stormwater Discharge Permit and all current amendments or modifications. The agreement shall specify that certain routine maintenance shall be performed by the property owner and shall specify device maintenance reporting requirements. The agreement shall also specify routine inspection requirements, permits and payment of fees. The agreement shall be recorded, and an electronic copy (PDF) of the recorded agreement shall be submitted to the Engineering Division of the Parks and Public Works Department, prior to the release of any occupancy permits.
- 139. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and property owner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
- 140. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner and/or Applicant's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner and/or Applicant's expense.
- 141. NEIGHBORHOOD CONSTRUCTION COMMUNICATION PLAN: Prior to the issuance of an encroachment, or grading or building permit, the Developer shall initiate a weekly neighborhood email notification program to provide project status updates. The email notices shall also be posted on a bulletin board placed in a prominent location along the project perimeter.
- 142. PERMIT ISSUANCE: Permits for each phase; reclamation, landscape, and grading, shall be issued simultaneously.
- 143. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.
- 144. PRIVATE EASEMENTS: Agreements detailing rights, limitations, and responsibilities of involved parties shall accompany each private easement. The easements and associated agreements shall be recorded simultaneously with the map. An electronic copy (PDF) of the recorded agreement(s) shall be submitted to the Engineering Division of the Parks and Public Works Department prior to the issuance of any permit.

### TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

145. GENERAL: This application proposes installation of terrace level exterior standpipes in lieu of providing fire apparatus access, as outlined in CFC, Section 503.1.1. As the villas are built upon an elevated terrace level podium, compliant apparatus access and associated hose pull distances are exceeded. This alternative shall ensure an approved hose valve is accessible within 150-feet of all portions of the facilities and all portions of

- the exterior walls of the first story of each structure.
- 146. GENERAL: This request and associated drawings demonstrate terrace level exterior standpipe hose valves within 150-feet of all exterior portions of each structure, in lieu of apparatus access per CFC Sec. 503.1.1. An associated fire flow letter, provided by San Jose Water (SJW) indicates that they will construct a new looped public 8" water main installation with four new 6" public hydrants to supply the site. SJW has indicated in their attached analysis that they will be able to provide 1,500 GPM at a minimum 20 psi. throughout the site, including from the most demanding location, approximately 405' N/N Wood Rd. at an elevation of 525'.
- 147. GENERAL: All Building Permit drawings shall clearly demonstrate the water main and new hydrant installation.
- 148. GENERAL: A copy of the Alternate Means/Methods application form, with building and fire official's approval signatures and engineer's stamp and signature shall be made part of the building permit drawing set, to be routed to Santa Clara County Fire Department for final approval.
- 149. GENERAL: Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive approval from, the Building Department all applicable construction permits.
- 150. FIRE SPRINKLERS REQUIRED: (As noted on Cover Sheet of Official Development Plans) In other than residential buildings, which require the installation of fire sprinklers for all new buildings according to the California Residential Code, an automatic sprinkler system shall be provided throughout all new buildings and structures. Note: Sprinklers are required for all structures and covered areas such as walkways and gazebos.
- 151. EMERGENCY RADIO RESPONDER COVERAGE: (As noted on Sheet C108 of Official Development Plans) All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. Refer to CFC Sec. 510 for further requirements. Emergency Radio Responder Coverage requirements applies to all buildings. [SCCFD Standard Details & Specifications, C-2].
- 152. STANDPIPES REQUIRED: (AMMR-See note below) Standpipe systems shall be provided in new buildings and structures in accordance with this section. Fire hose threads used in connection with standpipe systems shall be approved and shall be compatible with fire department hose threads. The location of fire department hose connections shall be approved. Standpipes shall be manual wet type. In buildings used for high-piled combustible storage, fire hose protection shall be in accordance with Chapter 32. Installation standard. Standpipe systems shall be installed in accordance with this section and NFPA 14 as amended in Chapter 80. CFC Sec. 905. Locations of proposed interior standpipes and exterior terrace standpipes to comply with hose pull distances, are noted on Sheet C109.1 of the Official Development Plans. Terrace hose valves are

- not allowed to be combined with automatic fire sprinkler systems for SCCFD. This review verified proposed locations. Further determination and validation of these locations will be reviewed upon submittal of the system plans.
- 153. ALTERNATIVE MATERIALS OR METHOD OF CONSTRUCTION REQUEST (AMMR): An AMMR request and associated drawings demonstrating terrace level exterior standpipe hose valves within 150-feet of all exterior portions of each structure, in lieu of apparatus access per CFC Sec. 503.1.1 and an associated fire flow letter, provided by San Jose Water (SJW) indicating that they will construct a new looped public 8" water main installation with four new 6" public hydrants to supply the site has been reviewed and approved by Chief Estrada on 09/14/21. SJW has indicated in their analysis that they will be able to provide 1,500 GPM at a minimum 20 psi. throughout the site, including from the most demanding location, approximately 405' N/N Wood Rd. at an elevation of 525'.
- 154. WATER SUPPLY REQUIREMENTS: (As noted on Sheet C108 of Official Development Plans) Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.
- PUBLIC FIRE HYDRANT(S) REQUIRED: (As noted on Sheet C106 of Official Development Plans and in SJW fire flow letter) Provide public fire hydrant(s) at location(s) to be determined jointly by the Fire Department and San Jose Water Company. Maximum hydrant spacing shall be 500 feet, with a minimum single hydrant flow of 1500 GPM at 20 psi, residual. Fire hydrants shall be provided along required fire apparatus access roads and adjacent public streets. CFC Sec. 507, and Appendix B and associated Tables, and Appendix C. Hydrants are located on the complex side of the roadway and are immediately accessible (at road elevation) from the fire department access road. A fire flow letter, provided by San Jose Water (SJW) indicates that they will construct a new looped public 8" water main installation with four new 6" public hydrants to supply the site. SJW has indicated in their attached analysis that they will be able to provide 1,500 GPM at a minimum 20 psi. throughout the site, including from the most demanding location, approximately 405' N/N Wood Rd. at an elevation of 525'.
- 156. FIRE DEPARTMENT CONNECTION REQUIRED: (As noted on Sheet C109.1 of Official Development Plans) A Fire Department Connection (FDC) is required for each building to support its sprinkler system. They shall not be attached to the buildings. The FDC shall be installed at the street, on the street address side of the building. It shall not be on the opposite side of a roadway from the structure that it supplies. It shall be located within 100 feet of a public fire hydrant and within ten (10) feet of the main PIV (unless

otherwise approved by the Chief due to practical difficulties). FDC's shall be equipped with a minimum of two (2), two-and-one-half (2- 1/2") inch national standard threaded inlet couplings. FDC's supplying private onsite fire hydrants shall have a minimum four (4) way inlet coupling. Orientation of the FDC shall be such that hose lines may be readily and conveniently attached to the inlets without interference. FDC's shall be painted safety yellow [SCCFD, SP-2 Standard]. Locations of all FDCs are noted on Sheet C109.1 of Official Development Plans, as reference only. Construction details of the FDC supply to fire protection systems will be subject to review of design details at time of installation permit submittal. One FDC is required for support of each individual building, as currently noted on the plans. Fire Department Connections are located within 100' from an approved fire hydrant.

157. REQUIRED SECONDARY FIRE DEPARTMENT ACCESS: (As noted on Sheet C108 of Official Development Plans)

#### Commercial and Industrial Developments -

- a. Buildings exceeding three stories or 30 feet in height. Buildings or facilities exceeding 30 feet (9144 mm) or three stories in height shall have a least two means of fire apparatus access for each structure.
- b. Buildings exceeding 62,000 square feet in area. Buildings or facilities having a gross building area of more than 62,000 square feet (5760 mm) shall be provided with two separate and approved fire apparatus access roads. Exception: Projects having a gross building area of up to 124,000 square feet (11520 mm) that have a single approved fire apparatus access road when all buildings are equipped throughout with approved automatic sprinkler systems.

#### Multi-Family Residential Developments (R-1 & R-2 occupancies)-

- a. Multi-family residential projects having more than 100 dwelling units shall be equipped throughout with two separate and approved fire apparatus access roads. CFC Sec. Chp. 5. Two separate and approved fire apparatus access roads are required. Aerial access is required for 7 of the 8 buildings. A 26' wide fire lane is shown in the immediate vicinity of any building or portion of a building more than 30 feet in height above the lowest level of fire department access.
- 158. REQUIRED AERIAL ACCESS: (As noted on Sheet C108 and C108.3 of Official Development Plans)

#### Where required-

- a. Buildings or portions of buildings or facilities exceeding 30 feet (9144 mm) in height above the lowest level of fire department vehicle access shall be provided with approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway. Roadways shall have a paved all weather surface, vertical clearance of 13 feet 6 inches, minimum circulating turning radius of 60 feet outside, a maximum slope of 15% and be able to withstand an imposed load of 75K pounds.
- Width: Fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925) in the immediate vicinity of any building or portion of building more than 30 feet (9144 mm) in height.

- c. Proximity to building: At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet (4572mm) and a maximum of 30 feet (9144mm) from the building, and shall be positioned parallel to one entire side of the building, as approved by the fire code official. CFC Ch. 5 and SCCFD SD&S A-1. Aerial access is required for 7 of the 8 buildings. A 26' wide circulating fire lane is shown on the plans. Special consideration shall be taken to support aerial operations. Aerial access demonstrated to the Villa parapets, and in turn to the roof decks via a structural ledge with permanently attached ladders is acknowledged and accepted. All aerial setup sections are noted to have a cross slope of no more than 2%. Conforming aerial setup capability is demonstrated for each villa on Sheet C108.3.
- 159. TURN RADIUS (CIRCULATING): (AMMR-See note below) The minimum outside turning radius is 42 feet for required access roadways. Greater radius up to 60 feet may be required where the Fire Department determines that Ladder Truck access is required. Circulating refers to travel along a roadway without dead ends. The turn at the entrance to the south of the arrival court has been revised and submitted with a Request for Variance. While this revision does improve the existing condition, and may now be accessible for a shorter wheel-based vehicle such as an ambulance, the cross slope at this location is still impassible for larger fire apparatus. Conforming turnaround noted in front of Villa B. Appropriate radii and angles of approach and departure are required throughout the fire access roadway. [CFC 503.2.8]. As aerial access is required throughout the site, all turns shall provide a 60' outside radius and all slope transitions and points of approach and departure shall be no greater than 5%. An application for Alternate Materials, Design or Methods of Construction for this turnaround has been submitted per CFC 104.9 for consideration. The alternate has been approved by SCCFD however, the request form requires Building Official signature, architect/engineers signed stamp/seal and subsequent inclusion on the project documents.
- 160. FIRE APPARATUS ACCESS ROADS REQUIRED FOR BUILDINGS AND FACILITIES: (As noted on Sheets C102 and C108 of Official Development Plans) Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or with the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. [CFC, Section 503.1.1]. Compliant hose pull access routes leading to all portions of the exterior walls of the first story are shown on Sheet C109. Stair access from the Terrace level to the lowest level within each structure shown on Sheet C108. Proposed accessible paths for patient transfers between each villa and anticipated ambulance staging areas are noted on Sheet C108. Several locations along the proposed fire department access roadway are within an existing tributary area, draining toward Broadway. Sheet C102 Pavement Design Note indicates that the roadway design shall support: 1) 75K pound loading capacity, 2) Point loads for aerial apparatus outriggers, and 3) Drainage design sufficient to prevent roadway erosion.
- 161. TWO-WAY COMMUNICATION SYSTEM: (As noted on Sheet C108 of Official Development

- Plans) Two-way communication systems shall be designed and installed in accordance with all current editions of NFPA 72, the California Electrical Code, the California Fire Code, the California Building Code, and the city or town ordinances, policies, and standards where a two-way system is being installed. [SCCFD Standard Details & Specifications, C-1]. Other standards also contain design/installation criteria for specific life safety related equipment. These other standards are referred to in NFPA 72.
- 162. ADDRESS IDENTIFICATION: (As noted on Sheet C108 of Official Development Plans) New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.
- 163. CLOSURE OF FIRE APPARATUS ACCESS ROADWAYS: (As noted on Sheet C108 of Official Development Plans) The installation of gates, or other barricades across required fire department access roads or driveways shall comply with Standard Details & Specifications, G-1. Detailed plans showing the location and method of the closure are required. Due to site access constraints, Broadway will be considered the primary emergency vehicle access route. Signage shall be provided indicating it is for emergency access only as indicated on Sheet C108 and no obstruction to this access shall be installed or constructed without additional fire department review and approval.
- 164. FIRE LANE MARKING REQUIRED: (As noted on Sheet C108) Provide marking for all roadways within the project. Markings shall be per fire department specifications. Installations shall also conform to Local Government Standards and Fire Department Standard Details and Specifications A-6. CFC Sec. 503.3.
- 165. PARKING: (As noted on Sheet C108 of Official Development Plans) When parking is permitted on streets, in both residential/commercial applications, it shall conform to the following: Parking is permitted both sides of the street with street widths of 36 feet or more; Parking is permitted on one side of the street with street widths of 28 35 feet; No parking is permitted when street widths are less than 28 feet. NOTE: Rolled curbs can be part of the curb/sidewalk and used to increase the roadway width with approval from the fire code official. Additional requirements may apply for buildings 30 feet in height or greater. No parking shall be allowed along the access road. Fire Lane markings applied throughout.
- 166. GENERAL: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the Fire Code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]

#### **SECTION VII**

This Ordinance was introduced at a regular	meeting of the Town Council of the Town of
Los Gatos on, and adopted by the follo	owing vote as an ordinance of the Town of
Los Gatos at a meeting of the Town Council of the	Гоwn of Los Gatos on, and
becomes effective 30 days after it is adopted.	
COUNCIL MEMBERS:	
AYES:	
NAYS:	
ABSENT:	
ABSTAIN:	
	SIGNED:
	MAYOR OF THE TOWN OF LOS GATOS
	LOS GATOS, CALIFORNIA
	DATE:
ATTEST:	
	)
CLERK ADMINISTRATOR OF THE TOWN OF LOS GAT	OS
LOS GATOS, CALIFORNIA	
DATE:	
DAIL.	

S:\PLANNING COMMISSION REPORTS\2022\01-12-2022\110 Wood Road\Exhibit 15 - Planned Development Ordinance.docx

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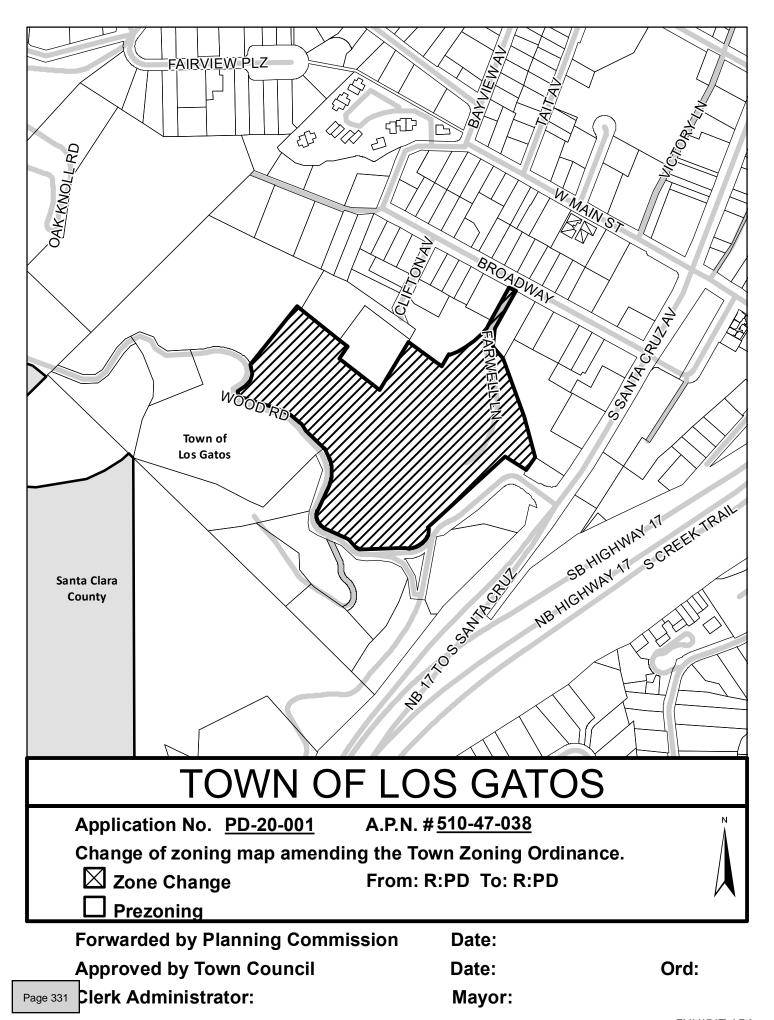


EXHIBIT 15A

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# LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS, CA 95030

Applicant: Owner: **ROCKWOOD PACIFIC** COVIA

Civil / Site: **KIMLEY-HORN** 

Landscape: **GATES + ASSOCIATES**  Structural: **KPFF CONSULTING ENGINEERS** 

Mechanical, Electrical, & Plumbing: **GLUMAC** 

General Contractor: **DEVCON CONSTRUCTION INC** 

690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

ORINDA, CA 94563 (415) 816-7944

36 SOUTHWOOD DRIVE

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

# DRAWING SCHEDULE

01 - GENERAL G000 COVER SHEET

05 - C**I**VIL C101 PRELIMINARY DEMOLITION PLAN C101.1 EXISTING DRAINAGE PLAN

C103.2 PRELIMINARY GRADING DETAILS

C102 PRELMINARY CIVIL SITE PLAN C103 PRELIMINARY GRADING AND DRAINAGE PLAN C103.1 GRADING SECTIONS

C104 PRELIMINARY CUT AND FILL PLAN C105 PRELIMINARY STORMWATER CONTROL PLAN C105.1 PRELIMINARY STORMWATER CONTROL DETAILS C105.2 CALIFORNIA BLUEPRINT FOR A CLEAN BAY

C106 PRELIMINARY UTILITY PLAN C107 PRELIMINARY EROSION CONTROL PLAN C108 PRELIMINARY FIRE ACCESS PLAN C108.1 FIRE TURNAROUND DETAILS C108.2 FIRE ROOF ACCESS DETAILS

C108.3 FIRE ROOF ACCESS SECTIONS C109 PRELIMINARY HOSE PULL PLAN C109.1 PRELIMINARY FDC PLAN

TREE PRESERVATION REMOVAL PLAN T-2 TREE INVENTORY TABLE T-3 TREE INVENTORY TABLE

T-4 TREE INVENTORY TABLE T-5 TREE INVENTORY TABLE AND NOTES OVERALL ILLUSTRATIVE SITE PLAN LAYOUT NOTES AND PLANTING NOTES

PLANT PALETTE GROUND LEVEL LAYOUT PLAN GROUND LEVEL LAYOUT PLAN - MEMORY COURTYARD

TERRACE LEVEL LAYOUT PLAN TERRACE LEVEL LAYOUT PLAN - VILLAGE GREEN AND TOWN SQUARE GROUND LEVEL PLANTING PLAN

GROUND LEVEL PLANTING PLAN LS-10 TERRACE LEVEL PLANTING PLAN

TERRACE LEVEL PLANTING PLAN - VILLAGE GREEN AND TOWN SQUARE

LS-13 MATERIAL BOARD

08 - ARCHITECTURE A000 AERIAL VIEW DIAGRAM A001 OVERALL SITE PLAN A100 FLOOR PLAN - LOWER GARAGE LEVEL A101 GROUND FLOOR PLAN - OVERALL A101A GROUND FLOOR PLAN - S GARAGE A101B GROUND FLOOR PLAN - MID GARAGE A101C GROUND FLOOR PLAN - N GARAGE A101D GROUND FLOOR PLAN - HEALTH CENTER A101E GROUND FLOOR PLAN - CORE A101F GROUND FLOOR PLAN - WELLNESS A102 1ST FLOOR PLAN - OVERALL A102A 1ST FLOOR PLAN - VILLA A S A102B 1ST FLOOR PLAN - VILLA A N A102C 1ST FLOOR PLAN - VILLA B & H A102D 1ST FLOOR PLAN - VILLA C A102E 1ST FLOOR PLAN - VILLA D & G A102F 1ST FLOOR PLAN - VILLA E & F A103 2ND & 3RD FLOOR PLAN - OVERALL A103A TYPICAL FLOOR PLAN - VILLA A S A103B TYPICAL FLOOR PLAN - VILLA A N A103C TYPICAL FLOOR PLAN - VILLA B&H A103D TYPICAL FLOOR PLAN - VILLA C A103E TYPICAL FLOOR PLAN - VILLA D & G A103F TYPICAL FLOOR PLAN - VILLA E & F A104 4TH FLOOR PLAN - OVERALL A104A 4TH FLOOR PLAN - VILLA D & G A105 5TH FLOOR PLAN - OVERALL A105A 5TH FLOOR PLAN - VILLA A S A105B 5TH FLOOR PLAN - VILLA C A105C 5TH FLOOR PLAN - VILLA E & F A106 ROOF PLAN - OVERALL A201-E EXISTING EXTERIOR ELEVATIONS A201 EXTERIOR ELEVATIONS SE A202-E EXISTING EXTERIOR ELEVATIONS A202 EXTERIOR ELEVATIONS NE & SW A203-E EXISTING EXTERIOR ELEVATIONS A203 EXTERIOR ELEVATIONS NW

A204 MATERIAL BOARD A205 BUILDING OUTLINES - EXISTING AND PROPOSED A206 BUILDING OUTLINES - LANDSCAPE OVERLAY A207 SITE CROSS-SECTIONS A301 OVERALL SITE SECTION A302 ADJACENT PROPERTIES SECTIONS ADJACENT PROPERTIES SECTIONS SHADOW STUDY - DECEMBER SHADOW STUDY - JUNE SITE PHOTOS A403 SITE PHOTOS A404 SITE PHOTOS RENDERING IMAGES PERSPECTIVE - BEFORE AND AFTER

RENDERED IMAGE PROGRESSION A408 PERSPECTIVE - BEFORE AND AFTER

(XXX.XX) - EXISTING ELEVATION

A501 TYPICAL IL UNIT PLANS

#### **CIVIL IMPROVEMENTS ABBREVIATIONS**

IRR - IRRIGATION WATER

EP - EDGE OF PAVEMENT JS - JUNCTION STRUCTURE S - SEWER OR SOUTH AC - ASPHALT EX - EXISTING LP - LOW POINT SD - STORM DRAIN STA - STATION BLDG - BUILDING FF - FINISHED FLOOR MH - MANHOLE BW - BACK OF WALK N - NORTH SS - SANITARY SEWER FG - FINISHED GRADE CB - CATCH BASIN FL - FLOW LINE PCC - PORTLAND CEMENT CONCRETE SW - SIDEWALK C/L - CENTERLINE FS - FINISHED SURFACE P/L - PROPERTY LINE T - TELEPHONE CO - CLEAN OUT FW - FIRE WATER PROP. - PROPOSED TELE - TELECOMMUNICATION TC - TOP OF CURB CONC. - CONCRETE G - GAS PUE - PUBLIC UTILITY EASEMENT DI - DRAIN INLET GB - GRADE BREAK PVC - POLYVINYL CHLORIDE TW - TOP OF WALL ELEVATION DW - DOMESTIC WATER W - WATER OR WEST HP - HIGH POINT R - RIDGE OR RADIUS INV - INVERT **RW - RECLAIMED WATER** XXX.XX - PROPOSED ELEVATION

R/W - RIGHT-OF-WAY

#### **FIRE PROTECTION ABBREVIATIONS**

FPR - FIRE PROTECTION RISER (STANDPIPE) FSP - FIRE STANDPIPE

ELEC - ELECTRIC

ESMT - EASEMENT

# PERKINS— **EASTMAN**

100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900





PRO	DJECT DATA
LOS GATOS MEADOWS (CONTIN	NUING CARE RETIREMENT COMMUNITY)
APN:	510 47 038
ADDRESS:	110 WOOD ROAD
	LOS GATOS CA, 95030
SITE AREA (GSF):	472,185 GSF
SITE AREA (NET):	10.66 ACRES
GROSS SITE AREA (ACRES):	10.84 ACRES
PROPOSED SITE AREA COVERAGE:	0.225**
ZONING:	RESIDENTIAL:PLANNED DEVELOPMENT
LAND USE:	MEDIUM DENSITY RESIDENTIAL
FLOOD ZONE:	X
WILDLAND URBAN INTERFACE:	YES
WUI ZONE NAME:	STATE MANDATED LRA (VHFHA)
WITHIN HILLSIDE AREA MAP BOUNDARY:	NO
TYPE OF CONSTRUCTION:	IA
OCCUPANCY:	R2.1
GE	ROSS DATA
I FVFI	GSF* PARKING SE BALCONY SE

GROSS DATA							
LEVEL	GSF*	PARKING SF	BALCONY SF				
LOWER PARKING GARAGE	0	22,136					
GRADE LEVEL	52,904	69,691					
TERRACE LEVEL	89,271		4,586				
SECOND LEVEL	85,821		6,591				
THIRD LEVEL	85,821		6,591				
FOURTH LEVEL	73,043		7,462				
FIFTH LEVEL	43,956		6,097				
TOTAL GSF	430,816	91,827	31,327				
*GSF excludes Parking, Balconies (not used for egress) and Generator/Cooling Tower Enclosure Areas							

LEVEL			GSF* PARKING SF			BALCONY SF	
TOTAL EXISTING GSF		150,475 45,000				13,350	
	UNI	T DATA					
	CHIDDODTING			ILU	JNITS		
	SUPPORTING CARE UNITS	1-BED	1-BED W DEN	2-BED	2-BED W DEN	2-BED PENT	APT TOTAL
GRADE LEVEL	17	-	-	-	-	-	0
TERRACE LEVEL	-	5	2	10	11	-	28
SECOND LEVEL	-	1	13	17	13	-	44
THIRD LEVEL	-	1	13	17	13	-	44
FOURTH LEVEL	-	1	12	13	9	2	37
FIFTH LEVEL	-	1	8	9	-	3	21
SUBTOTAL	17	9	48	66	46	5	
TOTAL	17						174
	PA	RKING					
TOTAL PARKING REQUIRED							77
TOTAL STANDARD SPACES I	PROVIDED						78
ADDITIONAL TANDEM SPACE	S PROVIDED PE	R OWNE	R OPER	ATIONAL	REQUIRE	MENT	122
TOTAL SPACES, STANDARD + TANDEM							200
ACCESSIBLE SPACES PROVIDED 2% OF MULTIFAMILY, 5% OF OTHER USES							
ACCESSIBLE VAN SPA							2
EV SPACES FOR FUTU	RE EVSÉ	10% (	OF SPAC	ES PRO	/IDED		20

SCOPE OF WORK
THE PROPOSED SENIOR LIVING DEVELOPMENT INCLUDES 174 INDEPENDENT RESIDENTIAL APARTMENTS AND 17 SUPPORTING CARE UNITS AS WELL AS AMENITY SPACE, BACK OF HOUSE SPACE AND SUBTERRANEAN PARKING. TOTAL SITE COVERAGE IS APPROXIMATELY 22.5% AND WITH A MAXIMUM HEIGHT OF 85.5 FEET FROM THE GROUND FLOOR ELEVATION (488'). THE PROJECT WILL BE LICENSED AS A  $RESIDENTIAL\ CARE\ FACILITY\ AND\ WILL\ COMPLY\ WITH\ THE\ ACCESSIBILITY\ GUIDELINES\ IN THE\ CALIFORNIA\ BUILDING\ CODE.\ PER\ THE$ CALIFORNIA ENERGY CODE AND IN KEEPING WITH THE INTENT OF THE TOWN CODE. A MINIMUM OF 15% OF THE TOTAL ROOF AREA WIL BE A DEDICATED SOLAR ZONE. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS AND STRUCTURES INCLUDING COVERED WALKWAYS. A FIRE ALARM SYSTEM PER CFC SEC. 907 (NFPA 72) SHALL BE PROVIDED ** PROPOSED SITE AREA COVERAGE

VILLA (APT) BUILDINGS HEALTH CENTER COVERED BALCONIES COVERED WALKWAYS TERRACE OVERLOOK EXISTING SITE AREA COVERAGE
(CALCULATED FROM EXISTING DRAWING SET) RESIDENT (APT) BUILDINGS SUBTERRANEAN GARAGE ENTRANCE CANOPY INCL IN GARAGE SF COVERED BALCONIES INCL IN RESIDENTIAL BLDG TERRACE COURTYARDS TERRACE OVERLOOK 116,427 SF

# PLANNING SUBMITTAL

PROJECT No. 70581.00 JULY 27, 2021 CORRECTED



NO. DATE ISSUE

NOT FOR CONSTRUCTION

KEY PLAN

# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400 Civil / Site:

**KIMLEY-HORN** 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: **GATES + ASSOCIATES**2671 CROW CANYON RD
SAN RAMON, CA 94583
(925) 736-8176 Structural:

KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004

Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

# LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

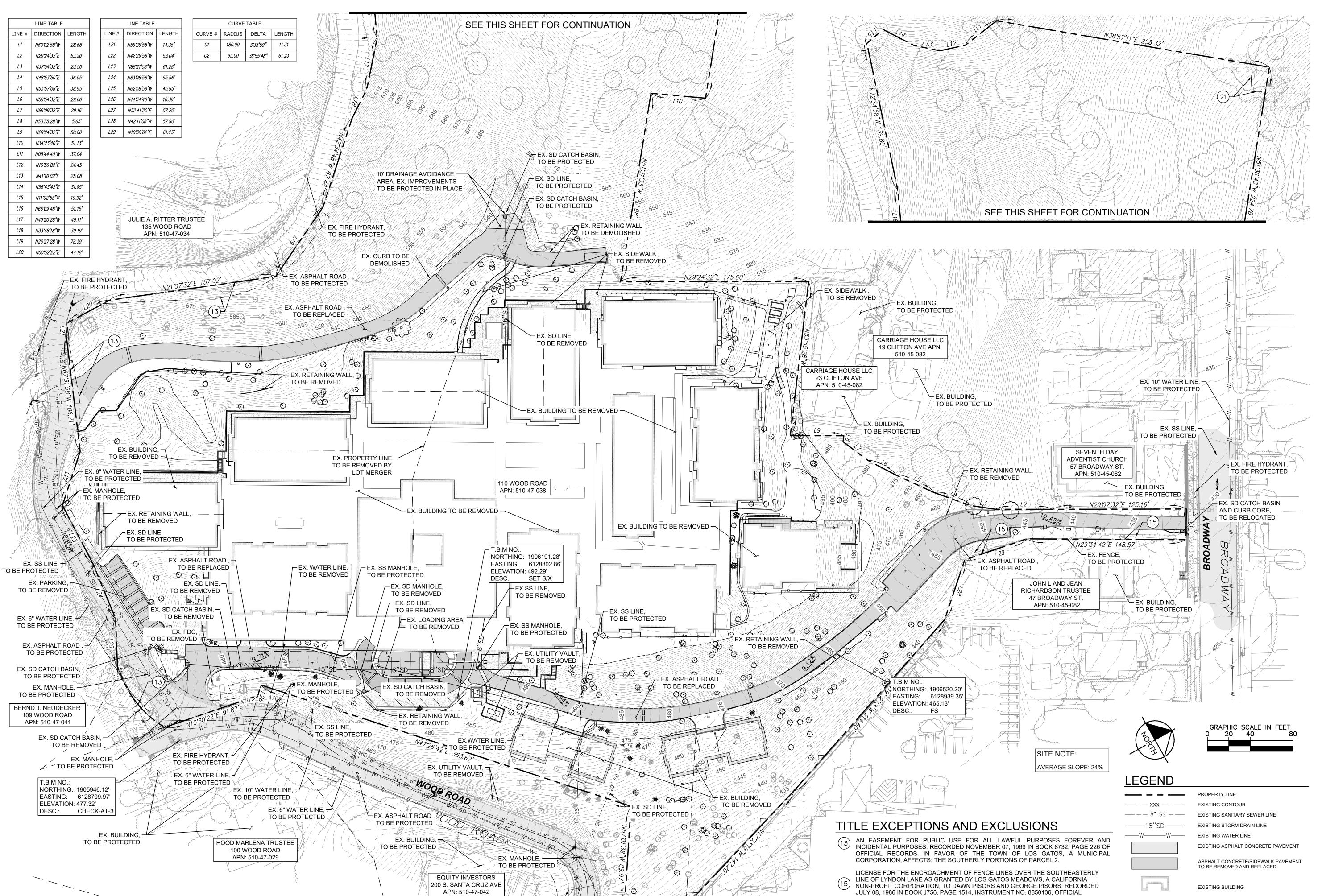
DRAWING TITLE: **AERIAL VIEW** DIAGRAM

SCALE: 1" = 100'-0"

**A000** 

PLANNING SUBMITTAL

JULY 27, 2021



RAYMOND F. & GRACE LESTER

142 S. SANTA CRUZ AVE

APN: 510-45-090

EX. FIRE HYDRANT,

TO BE PROTECTED

LG HOTEL LLC.

APN: 510-45-065

140 S. SANTA CRUZ AVE |

AN EASEMENT FOR THE DISTRIBUTION OF ELECTRIC ENERGY AND COMMUNICATION

PURPOSES AND INCIDENTAL PURPOSES, RECORDED APRIL 25, 2013 AS INSTRUMENT

NO. 22191749 OF OFFICIAL RECORDS. IN FAVOR OF PACIFIC GAS AND ELECTRIC

COMPANY, A CALIFORNIA CORPORATION, AFFECTS: AS DESCRIBED THEREIN.

NO. DATE

4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588 PHONE:925-398-4840 FAX: 925-398-4849 WWW.KIMLEY-HORN.COM

#### Applicant: **ROCKWOOD PACIFIC** 36 SOUTHWOOD DRIVE

ORINDA, CA 94563 (415) 816-7944

# COVIA

Civil / Site:

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

#### **KIMLEY-HORN**

(415) 989-1004

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

### Landscape:

**GATES + ASSOCIATES** 2671 CROW CANYON RD SAN RAMON, CA 94583

### (925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105

#### Mechanical, Electrical & Plumbing: **GLUMAC**

150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

#### General Contractor: **DEVCON CONSTRUCTION INC**

690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

# LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

## DRAWING TITLE: **PRELIMINARY DEMOLITION PLAN**

SCALE: 1" = 40' ON 24" X 36"

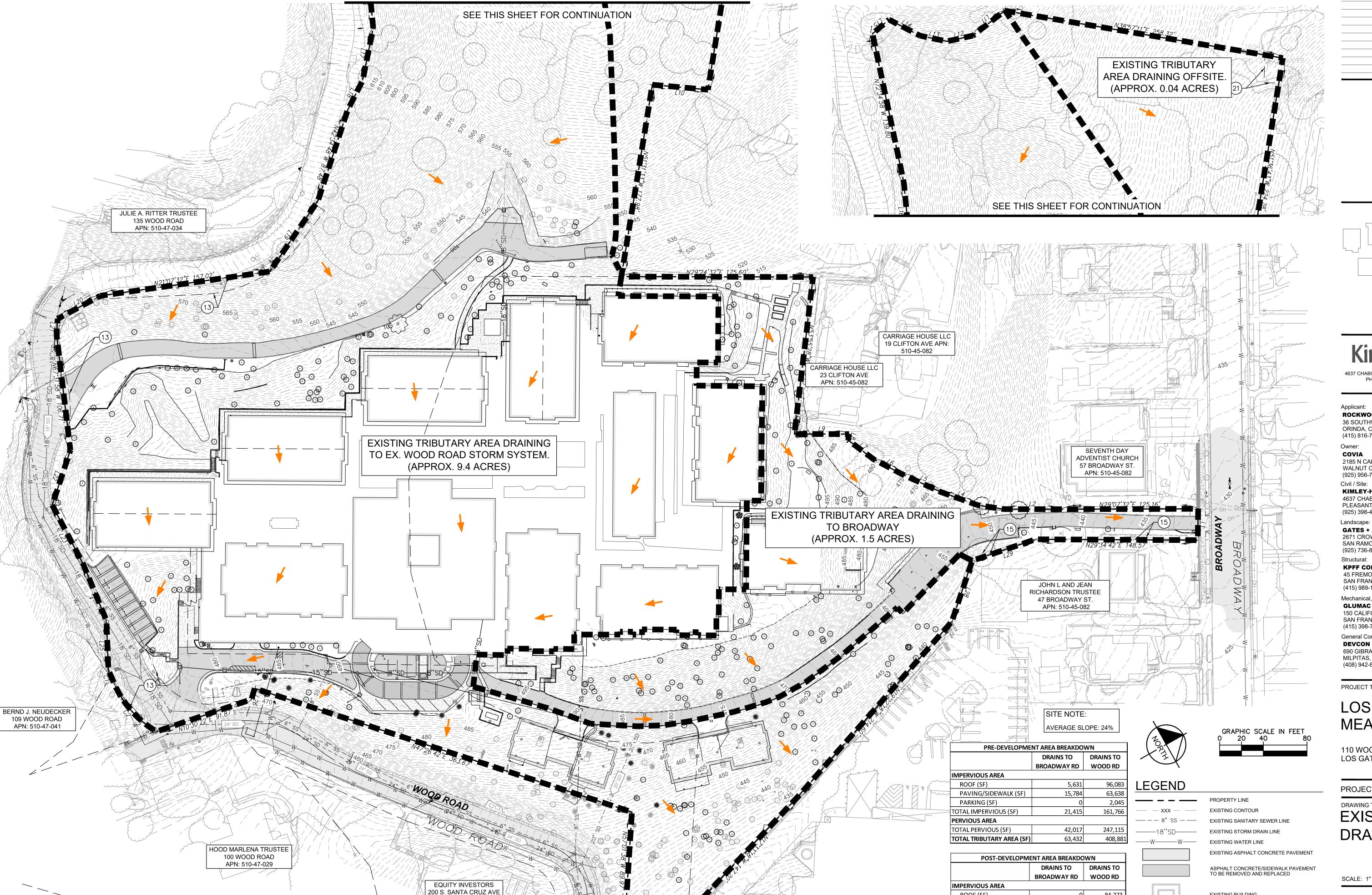
PLANNING SUBMITTAL

2021-07-27

EXISTING TREES / REMOVE OR REPLACE (REFER TO LANDSCAPE TREE PLANS)

EXISTING SANITARY SEWER/STORM DRAIN

EXISTING FIRE HYDRANT



RAYMOND F. & GRACE LESTER

142 S. SANTA CRUZ AVE

APN: 510-45-090

APN: 510-47-042

ROOF (SF)

PARKING (SF)

PERVIOUS AREA

LG HOTEL LLC.

140 S. SANTA CRUZ AVE

APN: 510-45-065

PAVING/SIDEWALK (SF)

TOTAL IMPERVIOUS (SF)

TOTAL PERVIOUS (SF)

TOTAL TRIBUTARY AREA (SF

84,273

100,052

185,125

277,533

462,658

6,853

6,853

2,802

9,655

EXISTING BUILDING

EXISTING FIRE HYDRANT

EXISTING TREES / REMOVE OR REPLACE

EXISTING SANITARY SEWER/STORM DRAIN

(REFER TO LANDSCAPE TREE PLANS)

NO. DATE

4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588 PHONE:925-398-4840 FAX: 925-398-4849 WWW.KIMLEY-HORN.COM

#### Applicant: **ROCKWOOD PACIFIC** 36 SOUTHWOOD DRIVE

ORINDA, CA 94563 (415) 816-7944

### COVIA

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

### **KIMLEY-HORN**

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

#### GATES + ASSOCIATES

2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

## Structural:

**KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

#### Mechanical, Electrical & Plumbing: GLUMAC

150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

#### General Contractor: **DEVCON CONSTRUCTION INC**

690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

# LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

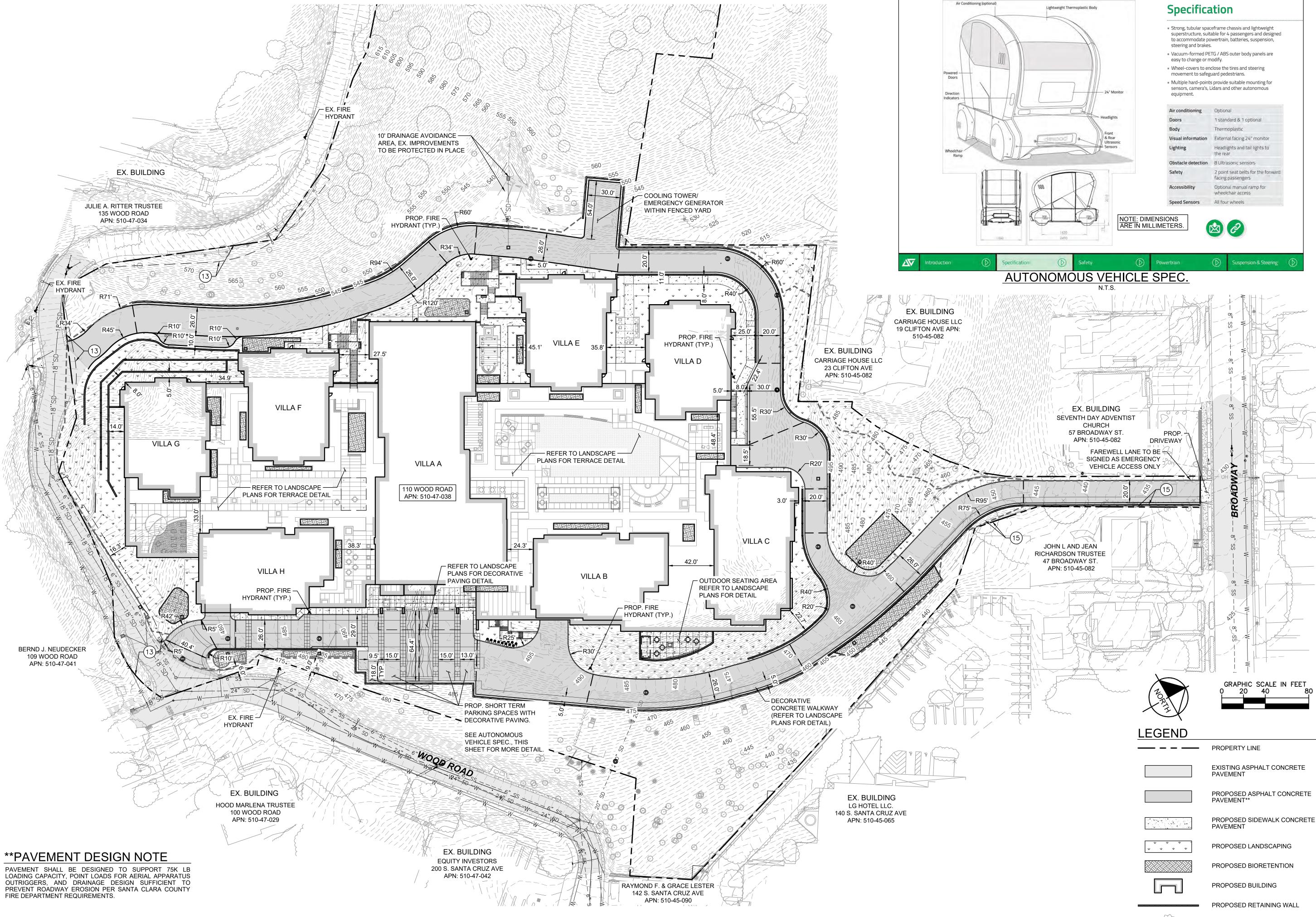
## DRAWING TITLE: **EXISTING** DRAINAGE PLAN

SCALE: 1" = 40' ON 24" X 36"

C101.1

PLANNING SUBMITTAL

2021-07-27



NO. DATE ISSUE

SEAL

# (imley»Horn

4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588 PHONE:925-398-4840 FAX: 925-398-4849 WWW.KIMLEY-HORN.COM

Applicant:

ROCKWOOD PACIFIC

36 SOUTHWOOD DRIVE

ORINDA, CA 94563 (415) 816-7944

**COVIA**2185 N CALIFORNIA BLVD, SUITE 215
WALNUT CREEK, CA 94596
(925) 956-7400

Civil / Site:

KIMLEY-HORN

4637 CHABOT DRIVE, SUITE 300
PLEASANTON, CA 94588

PLEASANTON, CA 94588 (925) 398-4840 Landscape:

**GATES + ASSOCIATES** 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS**45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004

Mechanical, Electrical & Plumbing: **GLUMAC**150 CALIFORNIA ST, 3RD FLOOR
SAN FRANCISCO, CA 94111

(415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC**690 GIBRALTAR DRIVE
MILPITAS, CA 95035
(408) 942-8200

PROJECT TITLE:

# LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:

PRELIMINARY

PRELIMINARY CIVIL SITE PLAN

SCALE: 1" = 40' ON 24" X 36"

C102

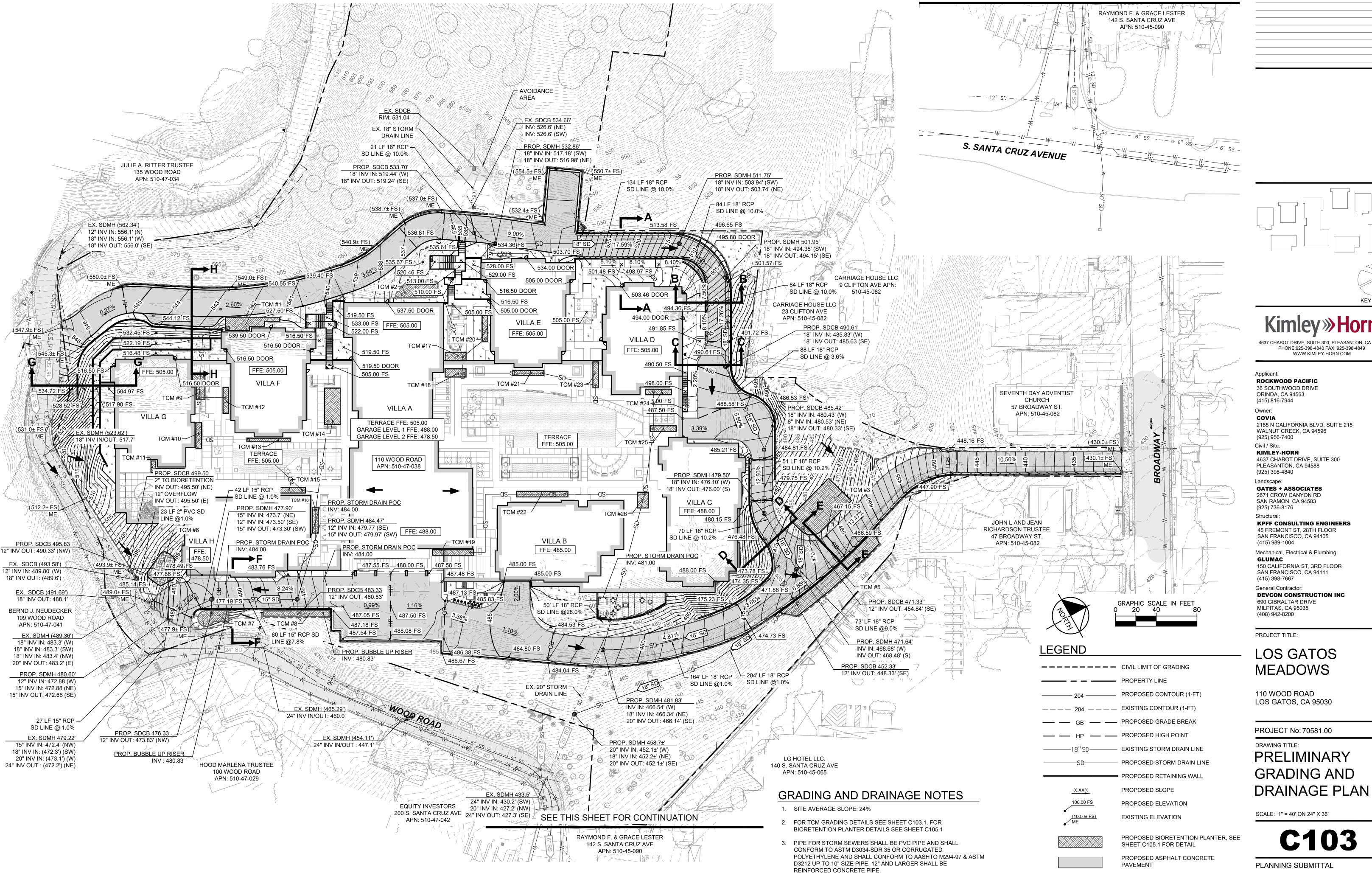
PLANNING SUBMITTAL

2021-07-27

**EXISTING TREES** 

PROPOSED FIRE HYDRANT

PROPOSED STANDPIPE LOCATION



4. ALL TOP OF CURB IS 6", UNLESS OTHERWISE NOTED.

NO. DATE

SEE THIS SHEET FOR CONTINUATION

4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588 PHONE:925-398-4840 FAX: 925-398-4849

# **GRADING AND**

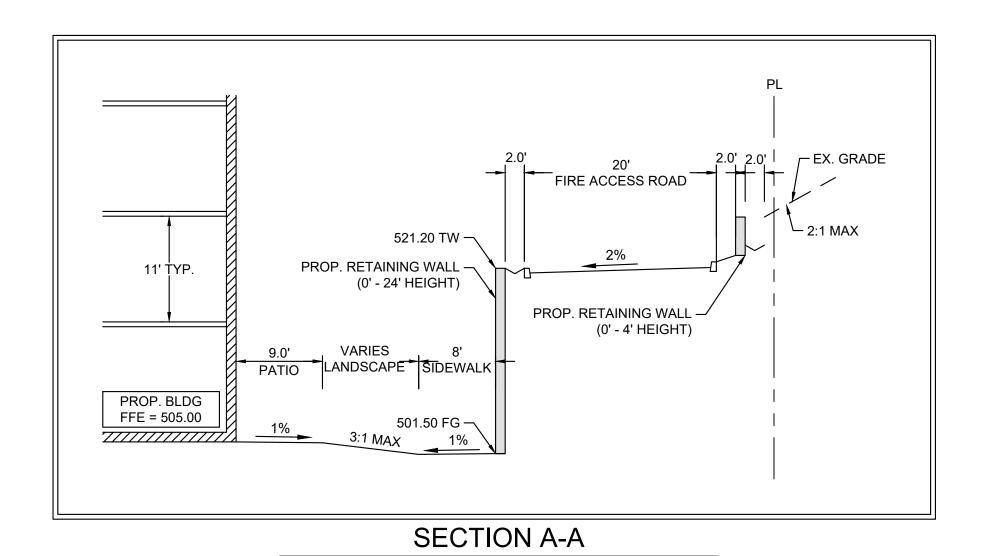
C103

2021-07-27

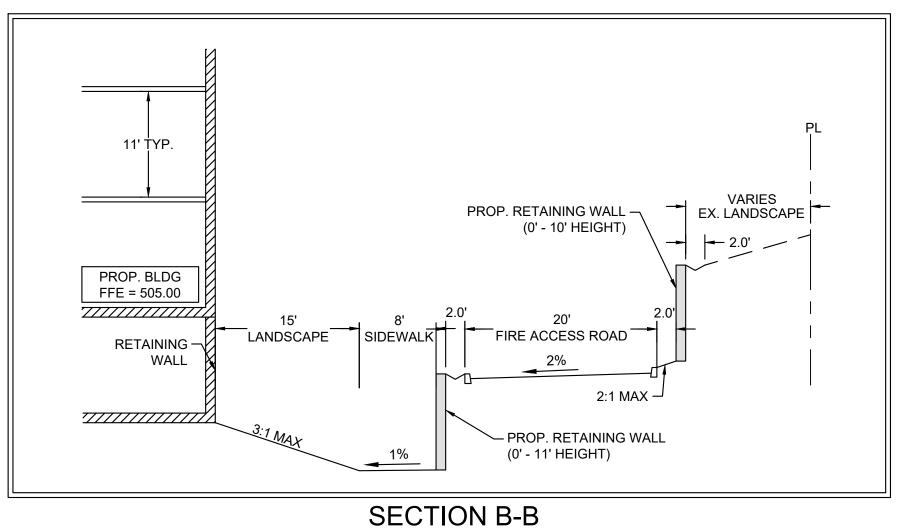
PROPOSED STORM DRAIN MANHOLE

PROPOSED STORM DRAIN CATCH BASIN

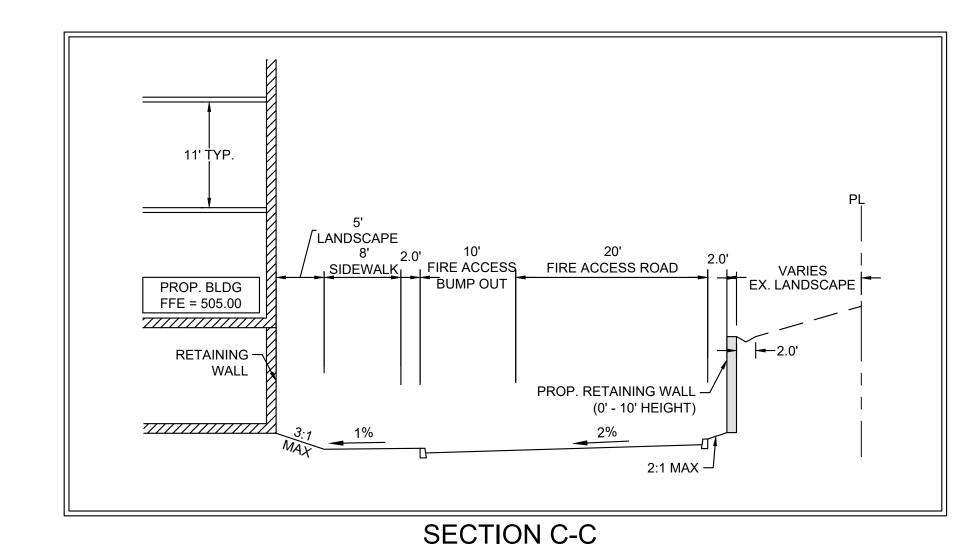
PROPOSED OVERLAND FLOW DIRECTION



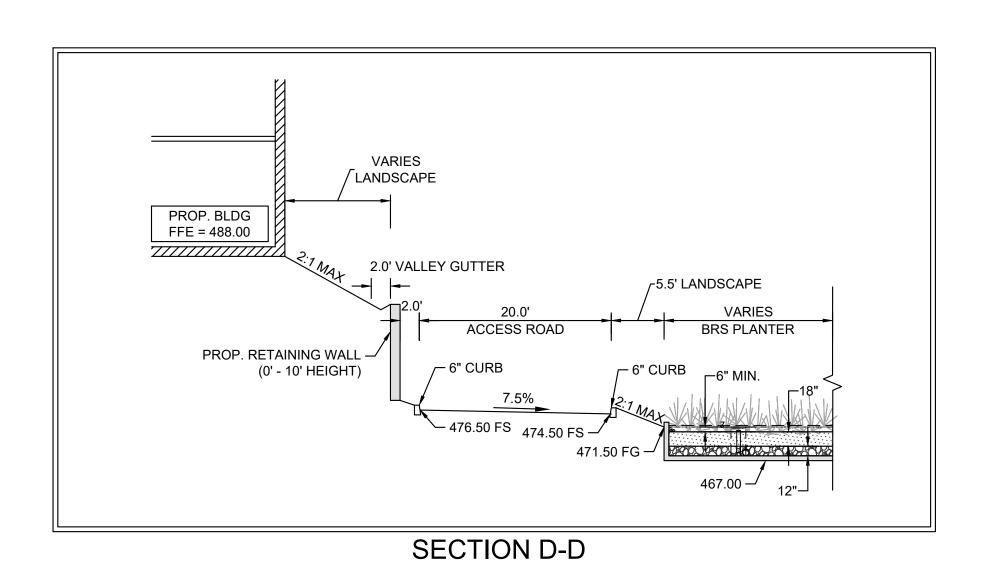
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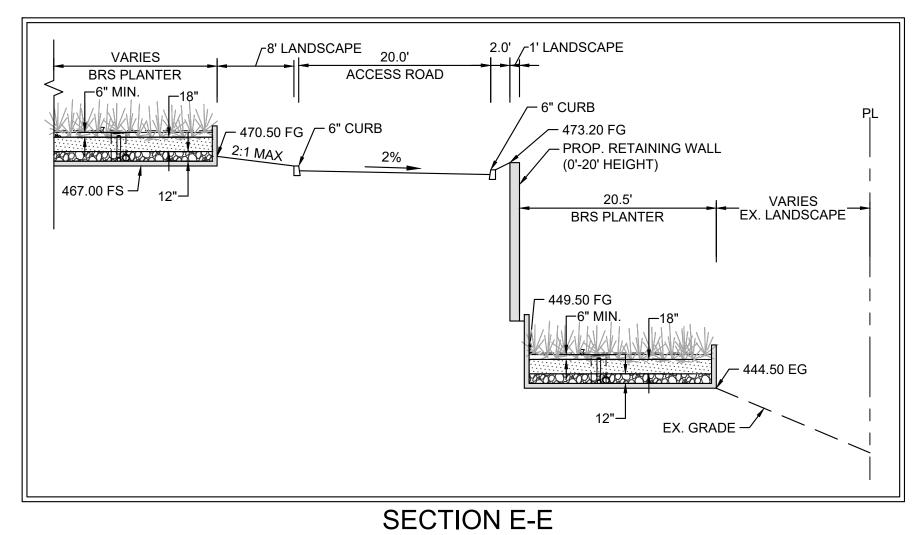


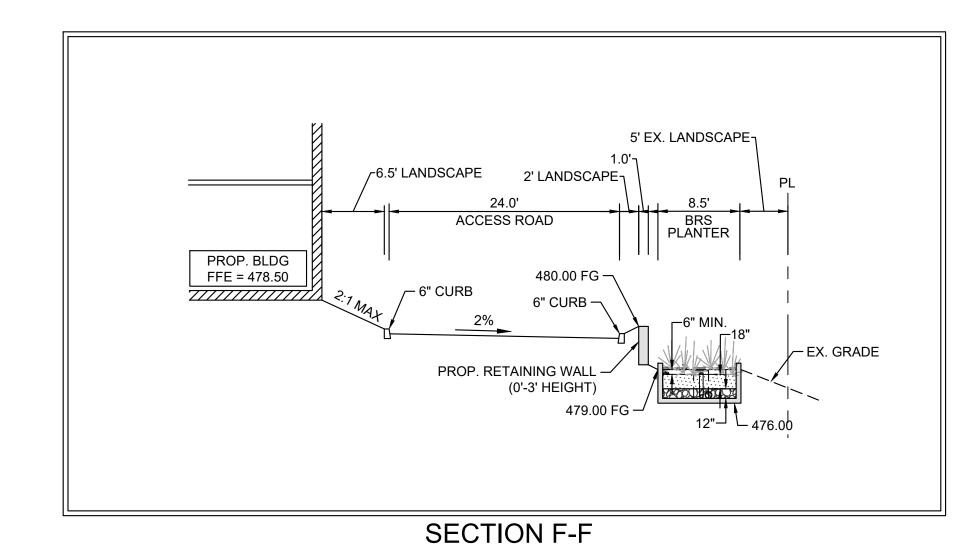
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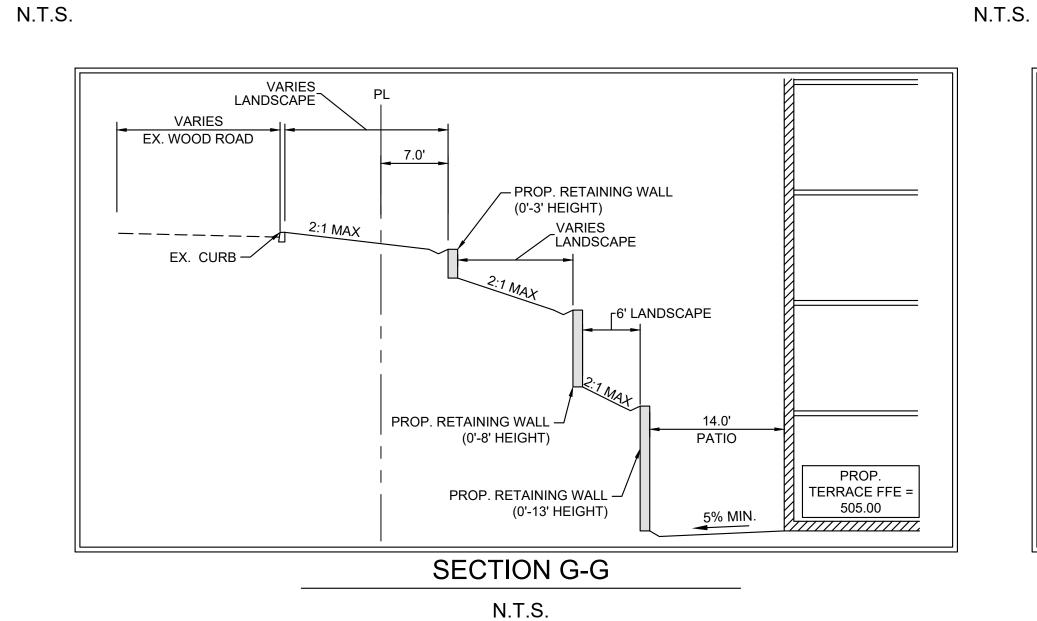
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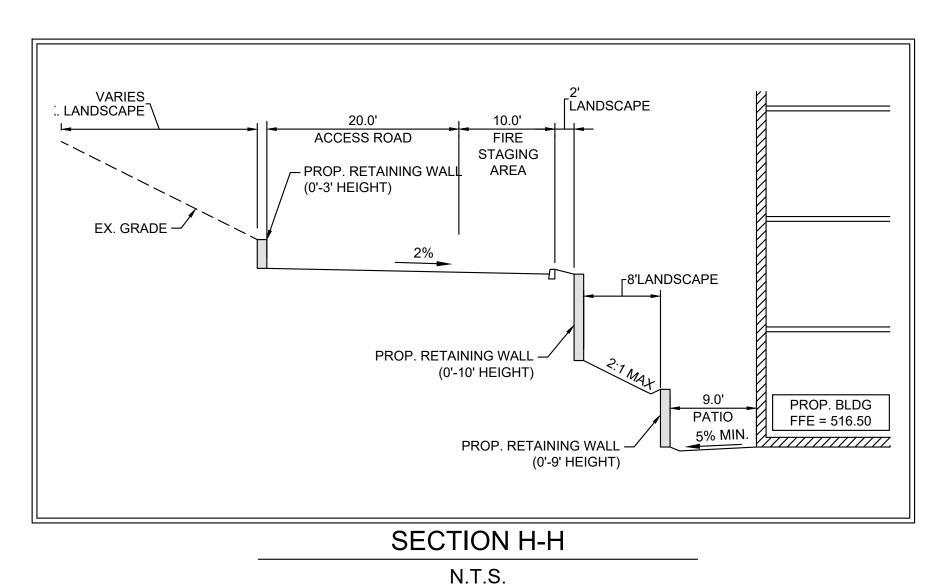






N.T.S.





Kimley» Horn

Kimley» Horn

4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588
PHONE:925-398-4840 FAX: 925-398-4849
WWW.KIMLEY-HORN.COM

Applicant:
ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:
COVIA

NO. DATE ISSUE

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840 Landscape: GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

(925) 956-7400

**KIMLEY-HORN** 

Civil / Site:

Structural: **KPFF CONSULTING ENGINEERS**45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596

Mechanical, Electrical & Plumbing: **GLUMAC**150 CALIFORNIA ST, 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC**690 GIBRALTAR DRIVE
MILPITAS, CA 95035
(408) 942-8200

PROJECT TITLE:

# LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

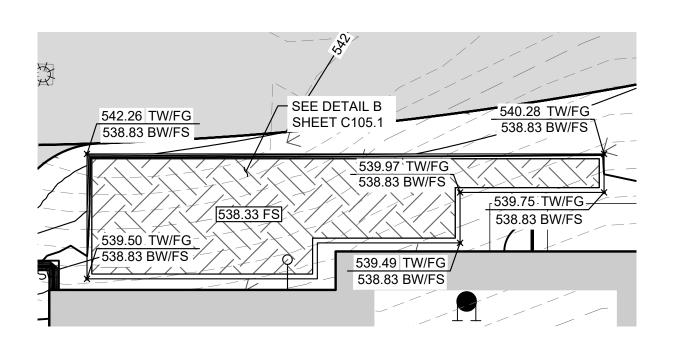
GRADING
SECTIONS

SCALE: 1" = 40' ON 24" X 36"

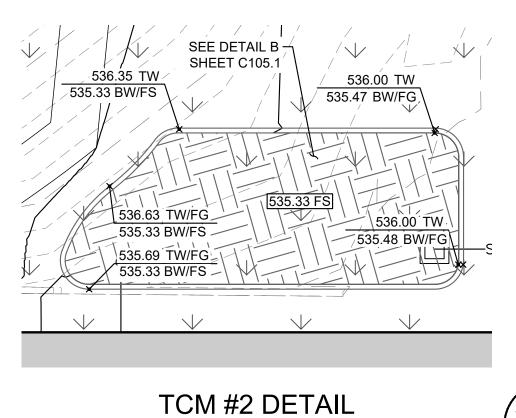
C103.1

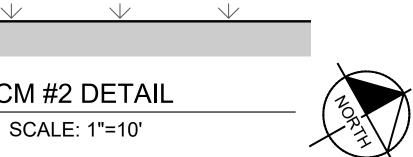
PLANNING SUBMITTAL

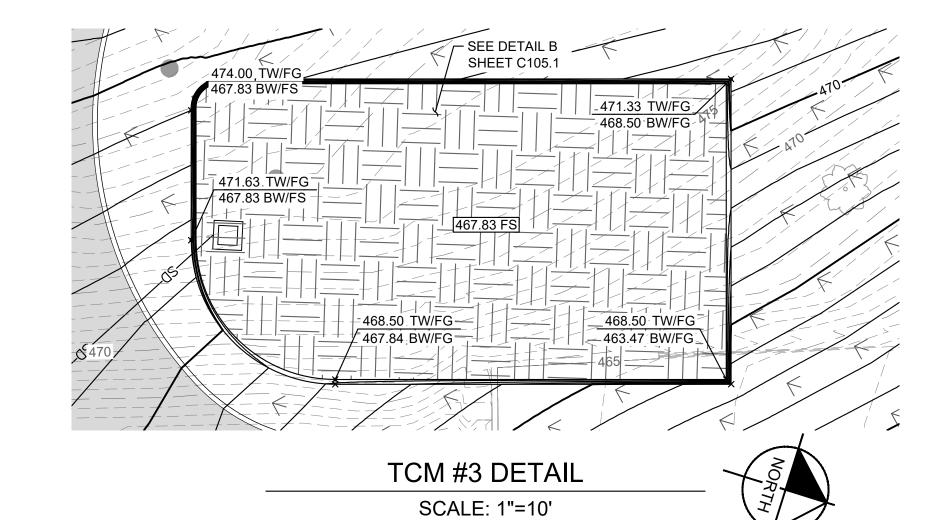
2021-07-27

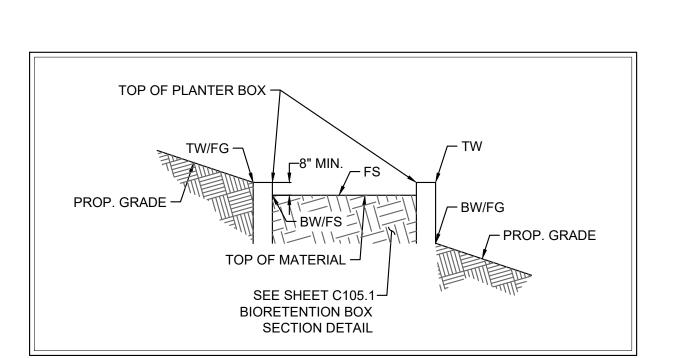




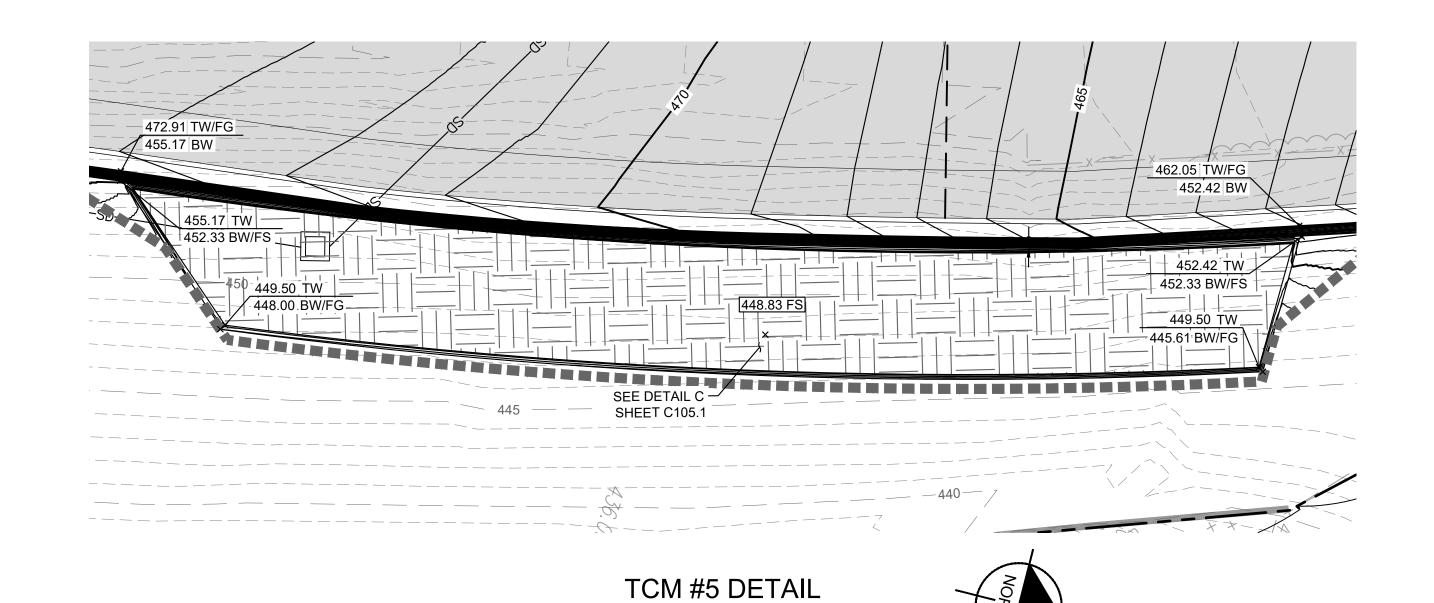




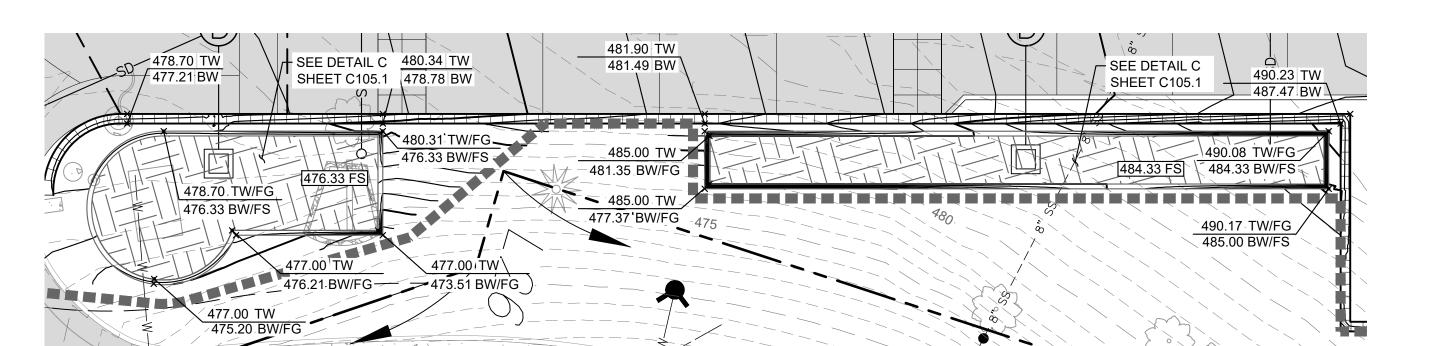


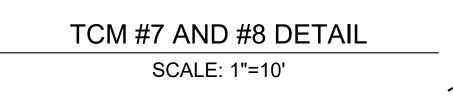


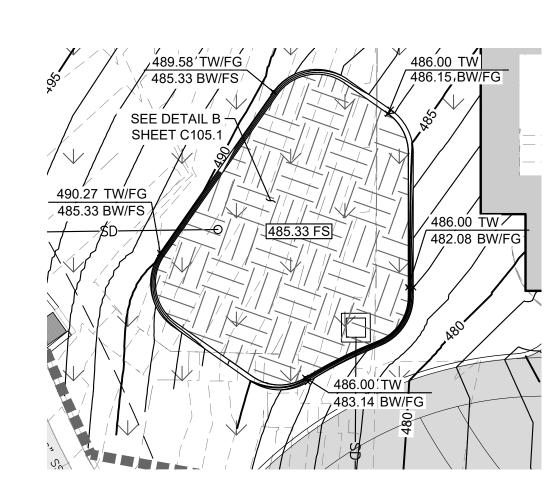
BIORETENTION GRADING SECTION N.T.S.



SCALE: 1"=10'

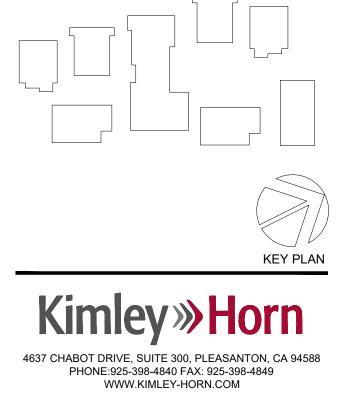






TCM #6 DETAIL SCALE: 1"=10'





ROCKWOOD PACIFIC 36 SOUTHWOOD DRIVE

NO. DATE

ORINDA, CA 94563 (415) 816-7944

Owner:

COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: **KIMLEY-HORN** 

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840 Landscape:

GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

(415) 989-1004

Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105

Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

# LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

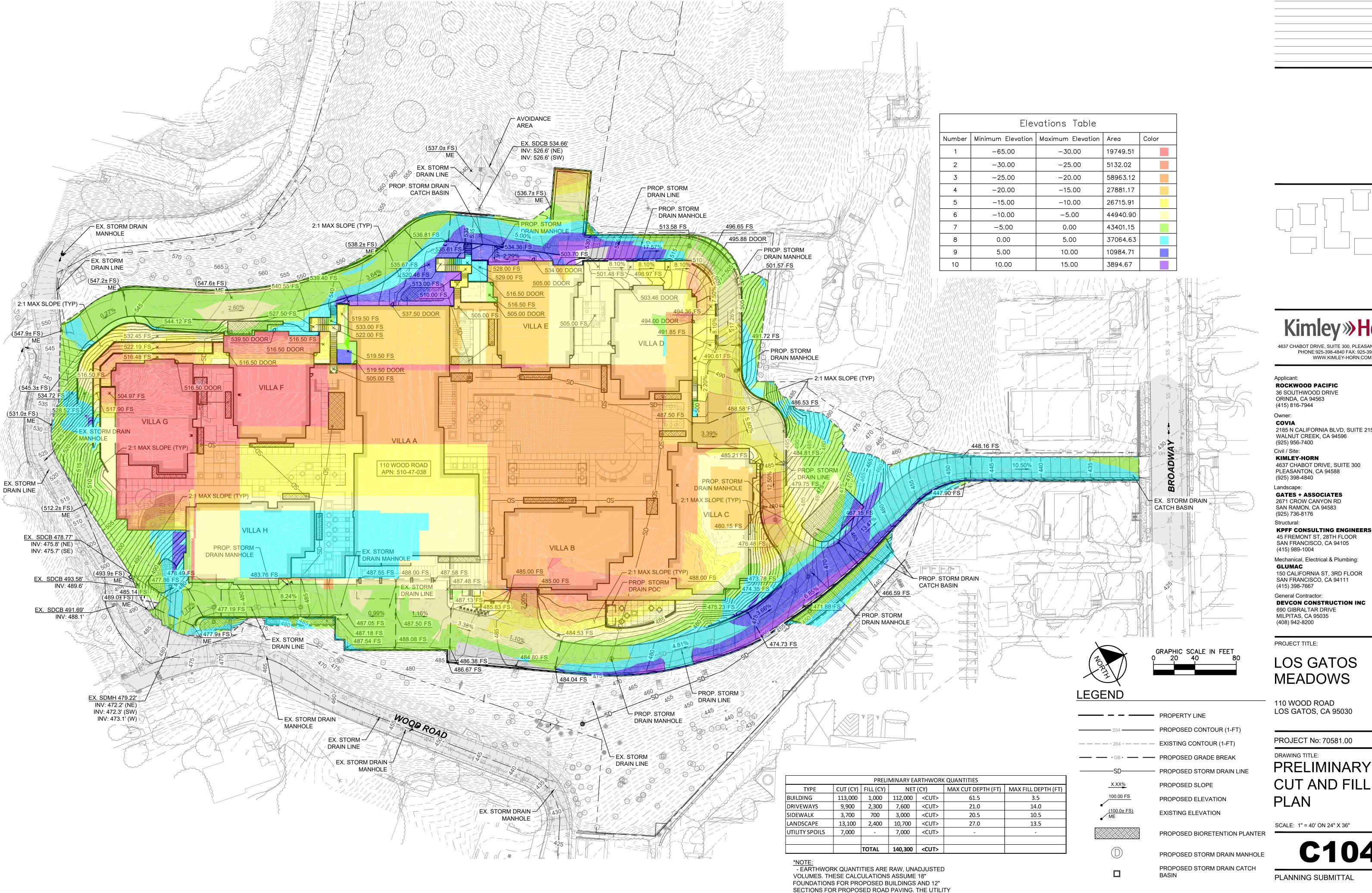
DRAWING TITLE: PRELIMINARY GRADING **DETAILS** 

SCALE: 1" = 40' ON 24" X 36"

C103.2

PLANNING SUBMITTAL

2021-07-27



Page 341

SPOILS ARE PRELIMINARY.

NO. DATE

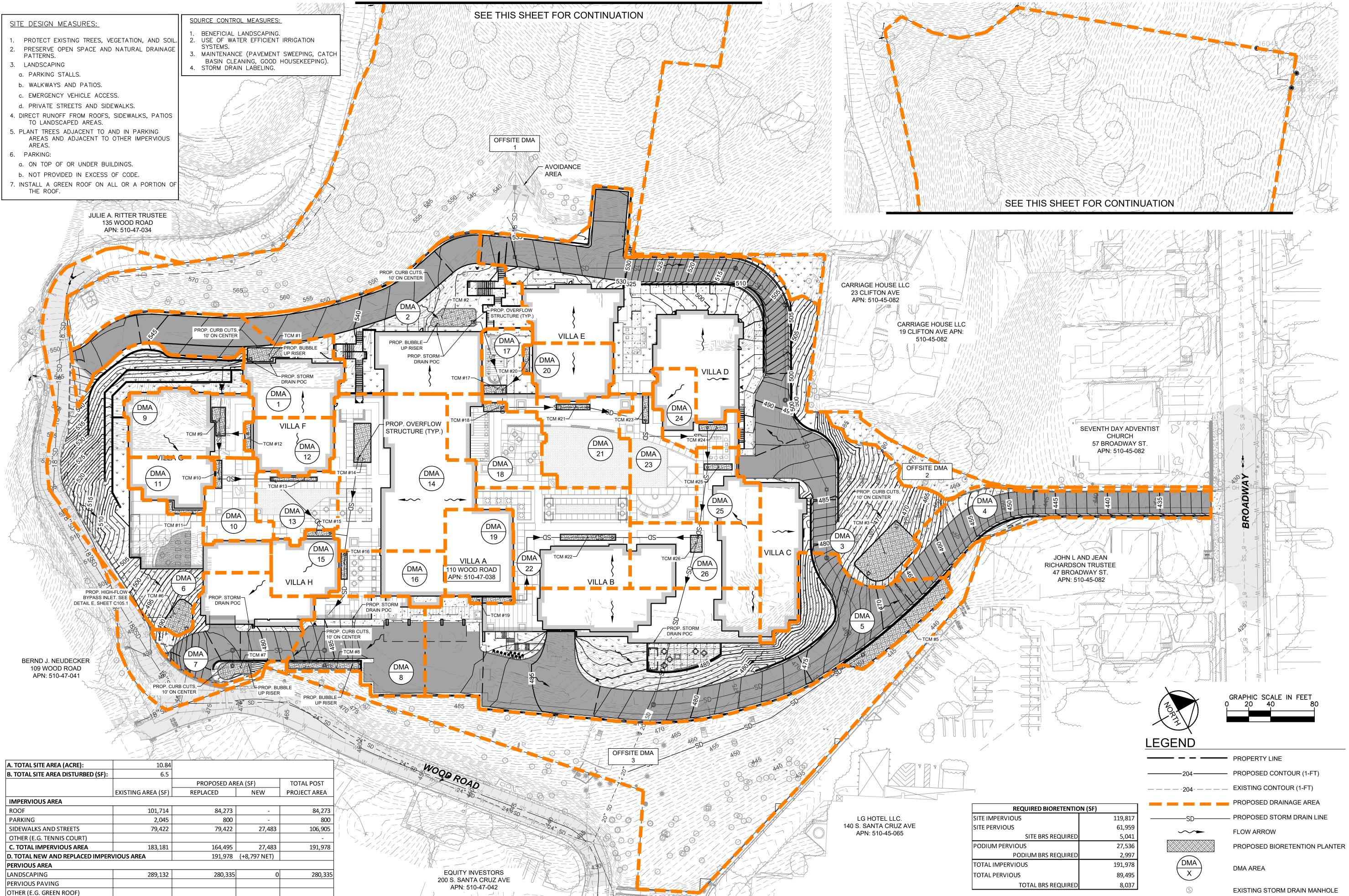
4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588 PHONE:925-398-4840 FAX: 925-398-4849 WWW.KIMLEY-HORN.COM

2185 N CALIFORNIA BLVD, SUITE 215

**PRELIMINARY CUT AND FILL** 

C104

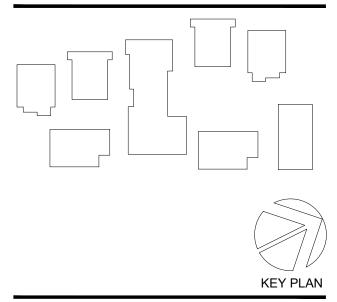
2021-07-27



RAYMOND F. & GRACE LESTER

142 S. SANTA CRUZ AVE APN: 510-45-090 NO. DATE ISSUE

CE A



# (imley»Horn

4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588 PHONE:925-398-4840 FAX: 925-398-4849 WWW.KIMLEY-HORN.COM

## Applicant: ROCKWOOD PACIFIC

36 SOUTHWOOD DRIVE ORINDA, CA 94563 (415) 816-7944

Owner:

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596

#### (925) 956-7400 Civil / Site:

**KIMLEY-HORN**4637 CHABOT DRIVE, SUITE 300
PLEASANTON, CA 94588

#### (925) 398-4840

Landscape:

GATES + ASSOCIATES

2671 CROW CANYON RD

#### 2671 CROW CANYON RD

SAN RAMON, CA 94583 (925) 736-8176

#### (925) 736-8176 Structural:

KPFF CONSULTING ENGINEERS 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

## Mechanical, Electrical & Plumbing: **GLUMAC**

150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

## General Contractor: **DEVCON CONSTRUCTION INC**

690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

# LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:

# PRELIMINARY STORMWATER CONTROL PLAN

SCALE: 1" = 40' ON 24" X 36"

C105

PLANNING SUBMITTAL

PROPOSED STORM DRAIN CATCH

PROPOSED STORM DRAIN MANHOLE

2021-07-27

Dans 2/

E. TOTAL PERVIOUS AREA

289,132

F. PERCENT REPLACEMENT OF IMPERVIOUS AREA IN REDEVELOPMENT PROJECTS (REPLACED

280,335

280,335

90%

** IN-LIEU TREATMENT:

TOWARDS THE DMA 6 TOTAL AREA.

THE 6,853 SF OF IMPERVIOUS AREA THAT IS GOING

IN DMA 6. 6,853 SF OF IMPERVIOUS PAVEMENT ON

DMA	AREA (ACRE)	AREA (SF)
1	0.28	12,085
2	0.45	19,545
3	1.27	55,120
4	0.22	9,655
5	1.06	46,325
6	0.48	**20,782
7	0.22	9,407
8	0.20	8,857
9	0.16	7,100
10	0.10	4,500
11	0.08	3,270
12	0.07	3,225
13	0.14	5,990
14	0.35	15,250
15	0.07	3,225
16	0.08	3,450
17	0.11	4,707
18	0.11	4,650
19	0.12	5,180
20	0.07	3,225
21	0.19	8,475
22	0.20	8,900
23	0.14	6,060

25

26

0.09

0.11

Offsite 1 3.36 146,310

Offsite 2 0.09 3,782

Offsite 3 0.94 40,748

Totals 10.84 472,313

3,815

4,700

765

1,105

146,310

3,782

40,748

280,335

Landscape

Landscape

Landscape

Landscape

Landscape

					TREATMI	ENT CONTROL ME	ASURE SUMMAR	Y - SURFACE BIOR	ETENTION				
						IMPE	RVIOUS SURFACE	TYPE					
DMA	AREA (ACRE)	AREA (SF)	PERVIOUS SURFACE (SF)	PERVIOUS SURFACE TYPE	IMPERVIOUS SURFACE (SF)	ROOF	SIDEWALK	ROAD/DRIVE	RUNOFF COEFFICIENT	TREATMENT METHOD	TCM NUMBER	TREA†MENT REQUIRED (APPROX. SF)	TREATMENT PROVIDED (SF)
1	0.28	12,085	1,976	Landscape	10,109	4548	304	5257	0.85	Bioretention (Planter Box)	TCM 1	412	444
2	0.45	19,545	5,862	Landscape	13,683	5405	2565	5713	0.85	Bioretention (Planter Box)	TCM 1	571	582
3	1.27	55,120	19,282	Landscape	35,838	14991	5,064	15783	0.85	Bioretention (Planter Box)	TCM 3	1511	1650
4	0.22	9,655	2,802	Landscape	6,853	0	0	**6,853	0.85	Bioretention (Planter Box)		285 **	0
5	1.06	46,325	12,676	Landscape	33,649	5757	8,961	18931	0.85	Bioretention (Planter Box)	TCM 5	1397	1400
6	0.48	**20,782	16,668	Landscape	4,114	2694	1,420	**6835	0.85	Bioretention (Planter Box)	TCM 6	505 **	595 **
7	0.22	9,407	1,385	Landscape	8,022	4002	509	3511	0.85	Bioretention (Planter Box)	TCM 7	326	265
8	0.20	8,857	1,308	Landscape	7,549	0	2,350	5199	0.85	Bioretention (Planter Box)	TCM 8	307	315
9	0.16	7,100	1,085	Landscape	6,015	4727	1,288	0	0.85	Bioretention (Planter Box)	TCM 9	245	247
10	0.10	4,500	1,550	Landscape	2,950	0	2,950	0	0.85	Bioretention (Planter Box)	TCM 10	124	125
11	0.08	3,270	126	Landscape	3,144	3144	0	0	0.85	Bioretention (Planter Box)	TCM 11	126	126
12	0.07	3,225	125	Landscape	3,100	3100	0	0	0.85	Bioretention (Planter Box)	TCM 12	125	125
13	0.14	5,990	3,150	Landscape	2,840	0	2,840	0	0.85	Bioretention (Planter Box)	TCM 13	126	126
14	0.35	15,250	2,355	Landscape	12,895	10761	2,134	0	0.85	Bioretention (Planter Box)	TCM 14	525	525
15	0.07	3,225	125	Landscape	3,100	3100	0	0	0.85	Bioretention (Planter Box)	TCM 15	125	125
16	0.08	3,450	366	Landscape	3,084	1234	1,850	0	0.85	Bioretention (Planter Box)	TCM 16	125	125
17	0.11	4,707	2,585	Landscape	2,122	0	2,122	0	0.85	Bioretention (Planter Box)	TCM 17	95	95
18	0.11	4,650	1,000	Landscape	3,650	1401	2,249	0	0.85	Bioretention (Planter Box)	TCM 18	150	150
19	0.12	5,180	200	Landscape	4,980	4980	0	0	0.85	Bioretention (Planter Box)	TCM 19	200	200
20	0.07	3,225	125	Landscape	3,100	3100	0	0	0.85	Bioretention (Planter Box)	TCM 20	125	125
21	0.19	8,475	5,665	Landscape	2,810	0	2,810	0	0.85	Bioretention (Planter Box)	TCM 21	135	135
22	0.20	8,900	3,000	Landscape	5,900	4658	1,242	0	0.85	Bioretention (Planter Box)	TCM 22	248	250
23	0.14	6,060	3,263	Landscape	2,797	0	2,797	0	0.85	Bioretention (Planter Box)	TCM 23	125	125
24	0.09	3,975	946	Landscape	3,029	2005	1,024	0	0.85	Bioretention (Planter Box)	TCM 24	125	125

Bioretention

(Planter Box)

Bioretention

(Planter Box)

N/A

N/A

N/A

TCM 25

TCM 26

N/A

N/A

N/A

125

N/A

N/A

N/A

0.85

0.85

0.35

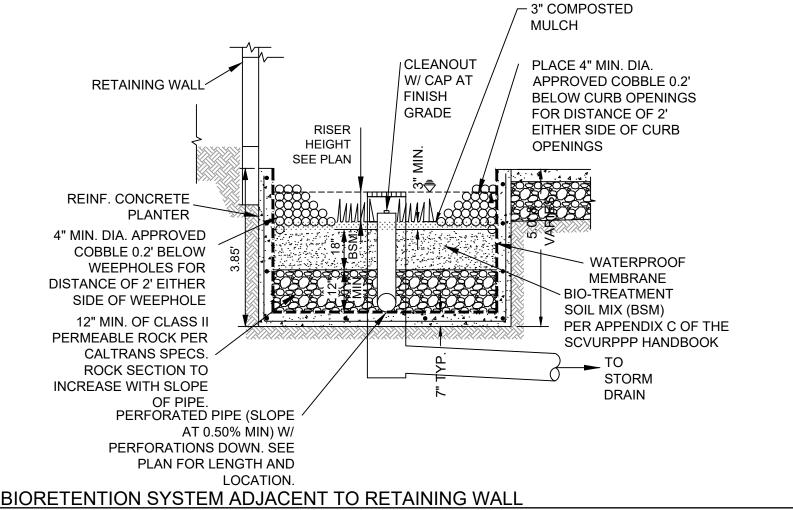
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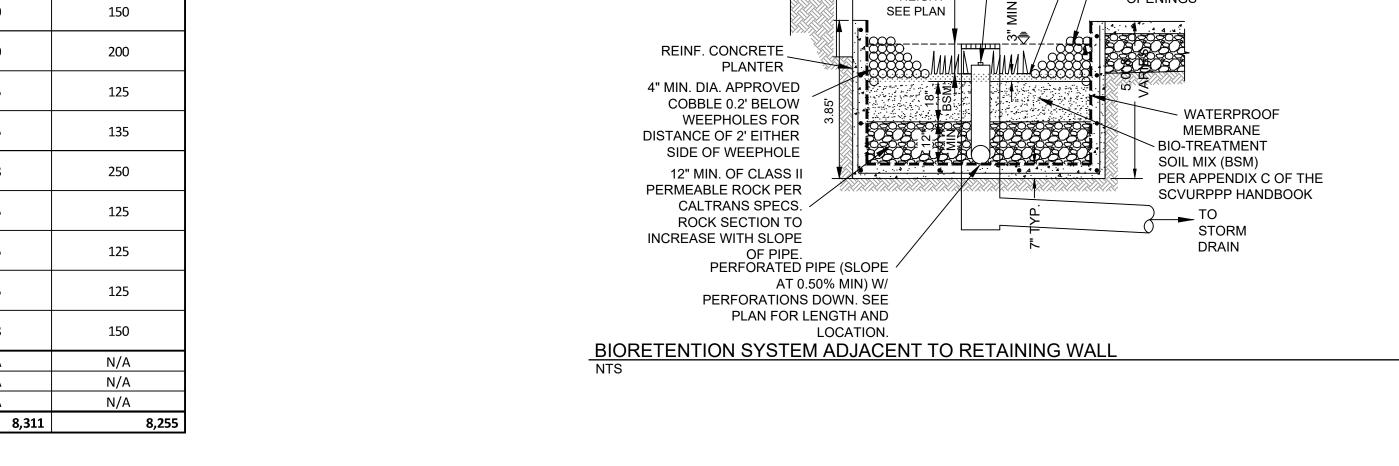
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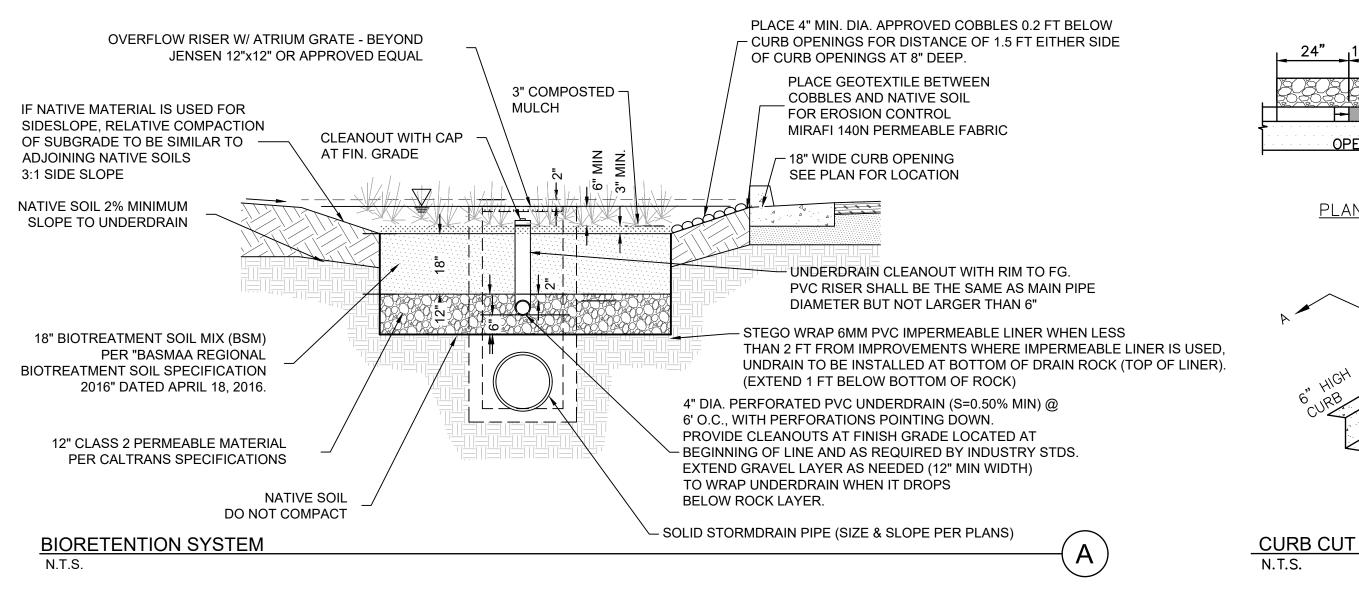
**ICLEANOUT** PLACE 4" MIN. DIA. W/ CAP AT APPROVED COBBLE 0.2' FINISH BELOW CURB OPENINGS **BUILDING WALL** GRADE FOR DISTANCE OF 2' EITHER SIDE OF CURB HEIGHT OPENINGS SEE PLAN REINF. CONCRETE PLANTER 4" MIN. DIA. APPROVED COBBLE 0.2' BELOW - WATERPROOF DOWNSPOUTS FOR MEMBRANE DISTANCE OF 2' EITHER UNTREATED TO BROADWAY IS BEING ACCOUNTED FOR BIO-TREATMENT SIDE OF DOWNSPOUT SOIL MIX (BSM) WOOD ROAD HAS BEEN INCLUDED IN DMA 6 AND TCM 6 12" MIN. OF CLASS II PER APPENDIX C OF THE HAS BEEN SIZED TO TREAT THIS ADDITIONAL WATER PERMEABLE ROCK PER SCVURPPP HANDBOOK QUALITY FLOW. THE 6,853 SF AREA IS NOT COUNTED CALTRANS SPECS. TO STORM ROCK SECTION TO **INCREASE WITH SLOPE** DRAIN OF PIPE. PERFORATED PIPE (SLOPE AT 0.50% MIN) W/ PERFORATIONS DOWN. SEE PLAN FOR LENGTH AND LOCATION. **BIORETENTION SYSTEM ADJACENT TO BUILDING** 

~ 3" COMPOSTED

MULCH







3,050

3,595

0

191,978

2098

2568

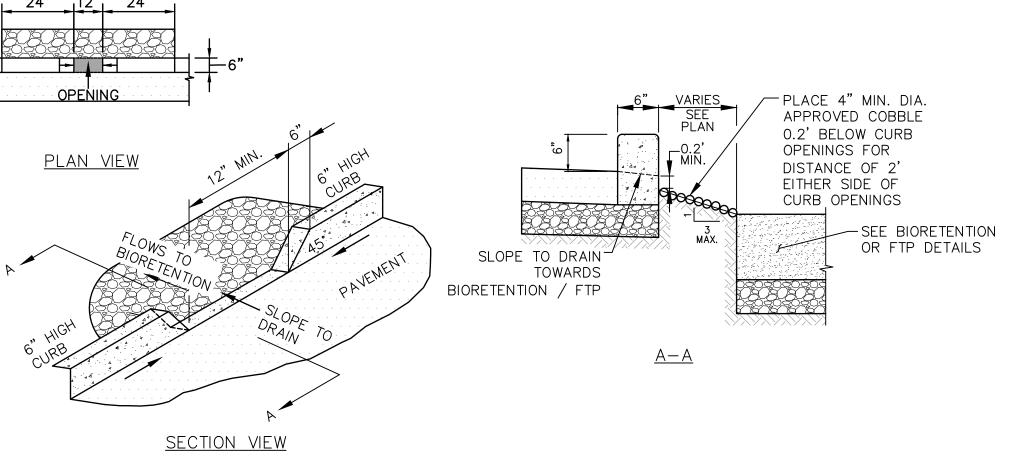
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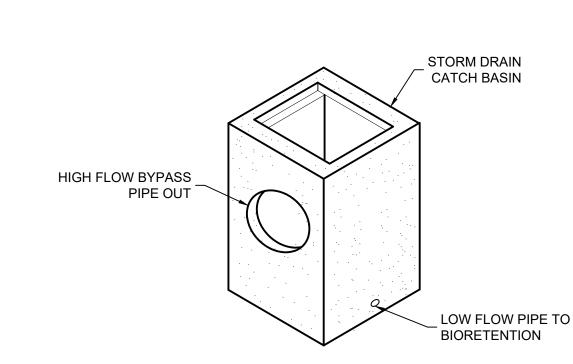
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N/A

952

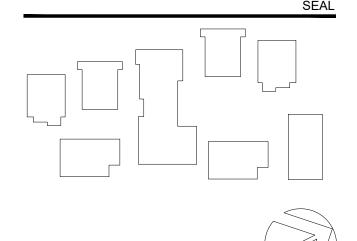
1027





HIGH FLOW BYPASS INLET N.T.S.

NO. DATE



4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588 PHONE:925-398-4840 FAX: 925-398-4849 WWW.KIMLEY-HORN.COM

#### Applicant: ROCKWOOD PACIFIC 36 SOUTHWOOD DRIVE ORINDA, CA 94563

(415) 816-7944 Owner: COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

#### Civil / Site: KIMLEY-HORN 4637 CHABOT DRIVE, SUITE 300

PLEASANTON, CA 94588 (925) 398-4840 Landscape:

#### **GATES + ASSOCIATES** 2671 CROW CANYON RD SAN RAMON, CA 94583

(925) 736-8176 Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105

(415) 989-1004

#### Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111

(415) 398-7667 General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

# LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE: **PRELIMINARY** STORMWATER CONTOL DETAILS

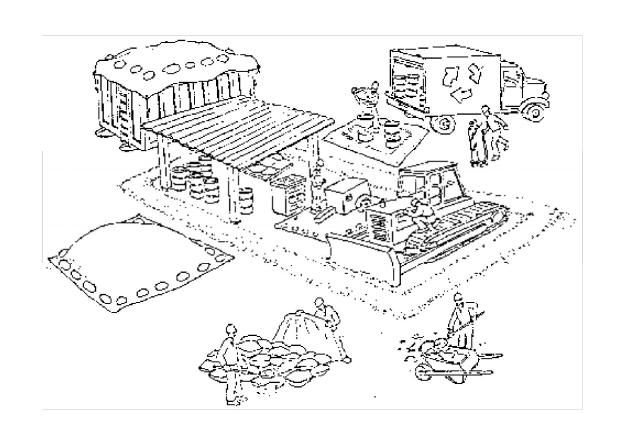
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C105.1

PLANNING SUBMITTAL

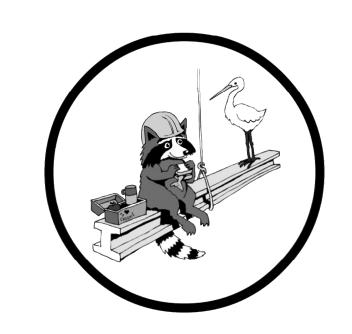
2021-07-27

# Pollution Prevention — It's Part of the Plan



# Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



# Materials storage & spill cleanup

# Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✔ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

## Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

## Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

# Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.

off the site.

Earthwork & contaminated soils

✓ Keep excavated soil on the site where it is least likely to collect in the street.

✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt

✓ Avoid scheduling earth moving activities

during the rainy season if possible. If

grading activities during wet weather

are allowed in your permit, be sure to

Mature vegetation is the best form of

existing vegetation whenever possible.

erosion control. Minimize disturbance to

If you disturb a slope during construction,

prevent erosion by securing the soil with

growing grasses as soon as possible. Place

erosion control fabric, or seed with fast-

hay bales down-slope until soil is secure.

to prevent erosion.

implement all control measures necessary

Transfer to dump trucks should take place on the site, not in the street.

✓ If you suspect contamination (from site history, discoloration, odor, texture,

department for help in determining what testing should be done.

abandoned underground tanks or pipes, or buried debris), call your local fire

✓ Manage disposal of contaminated soil according to Fire Department instructions.



# Saw cutting

Dewatering

operations

extent possible.

✓ Reuse water for dust control, irrigation,

✓ Be sure to call your city's storm drain

sediment trap may be required.

off-site for proper disposal.

or another on-site purpose to the greatest

inspector before discharging water to a

✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.

street, gutter, or storm drain. Filtration or diversion through a basin, tank, or

In areas of known contamination, testing is required prior to reuse or discharge

of groundwater. Consult with the city inspector to determine what testing to do

and to interpret results. Contaminated groundwater must be treated or hauled

- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

# Paving/asphalt work



- ✓ Do not pave during wet weather or when rain is forecast.
- Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- Place drip pans or absorbent material under paving equipment when not in use.
- ✔ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

# Concrete, grout, and mortar storage & waste disposal

- ✔ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



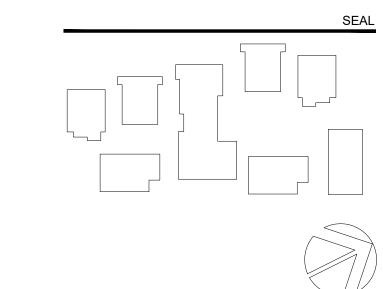
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

# Painting

- Never rinse paint brushes or materials in a gutter or street
- Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.



- ✔ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



Kimley»Horn

4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 9 PHONE:925-398-4840 FAX: 925-398-4849 WWW.KIMLEY-HORN.COM

## ROCKWOOD PACI

36 SOUTHWOOD DRIN ORINDA, CA 94563

## (415) 816-7944

**COVIA** 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596

## Civil / Site:

**KIMLEY-HORN**4637 CHABOT DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 398-4840

# Landscape: GATES + ASSOCIATES

2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

# Structural: **KPFF CONSULTING ENGINEERS**45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105

Mechanical, Electrical & Plumbing: **GLUMAC**150 CALIFORNIA ST, 3RD FLOOR
SAN FRANCISCO, CA 94111

General Contractor: **DEVCON CONSTRUCTION INC**690 GIBRALTAR DRIVE
MILPITAS, CA 95035

PROJECT TITLE:

(408) 942-8200

(415) 398-7667

# LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:

CALIFORNIA
BLUEPRINT FOR A
CLEAN BAY AREA

SCALE: 1" = 40' ON 24" X 36"

C105.2

PLANNING SUBMITTAL

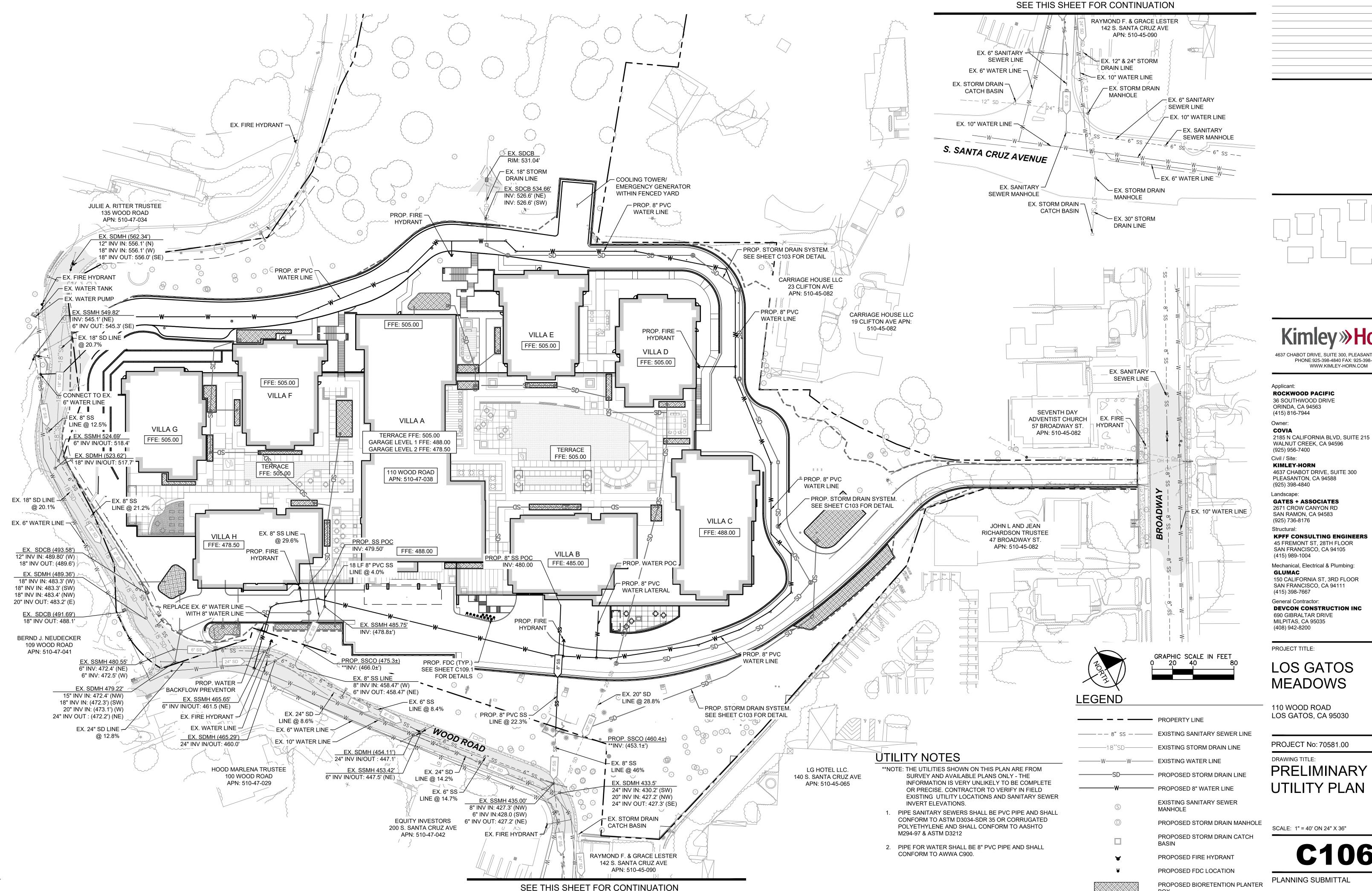
2021-07-27

B A S M A A

Bay Area Stormwater Management
Agencies Association (BASMAA)

1-888-BAYWISE

Storm drain polluters may be liable for fines of up to \$10,000 per day!



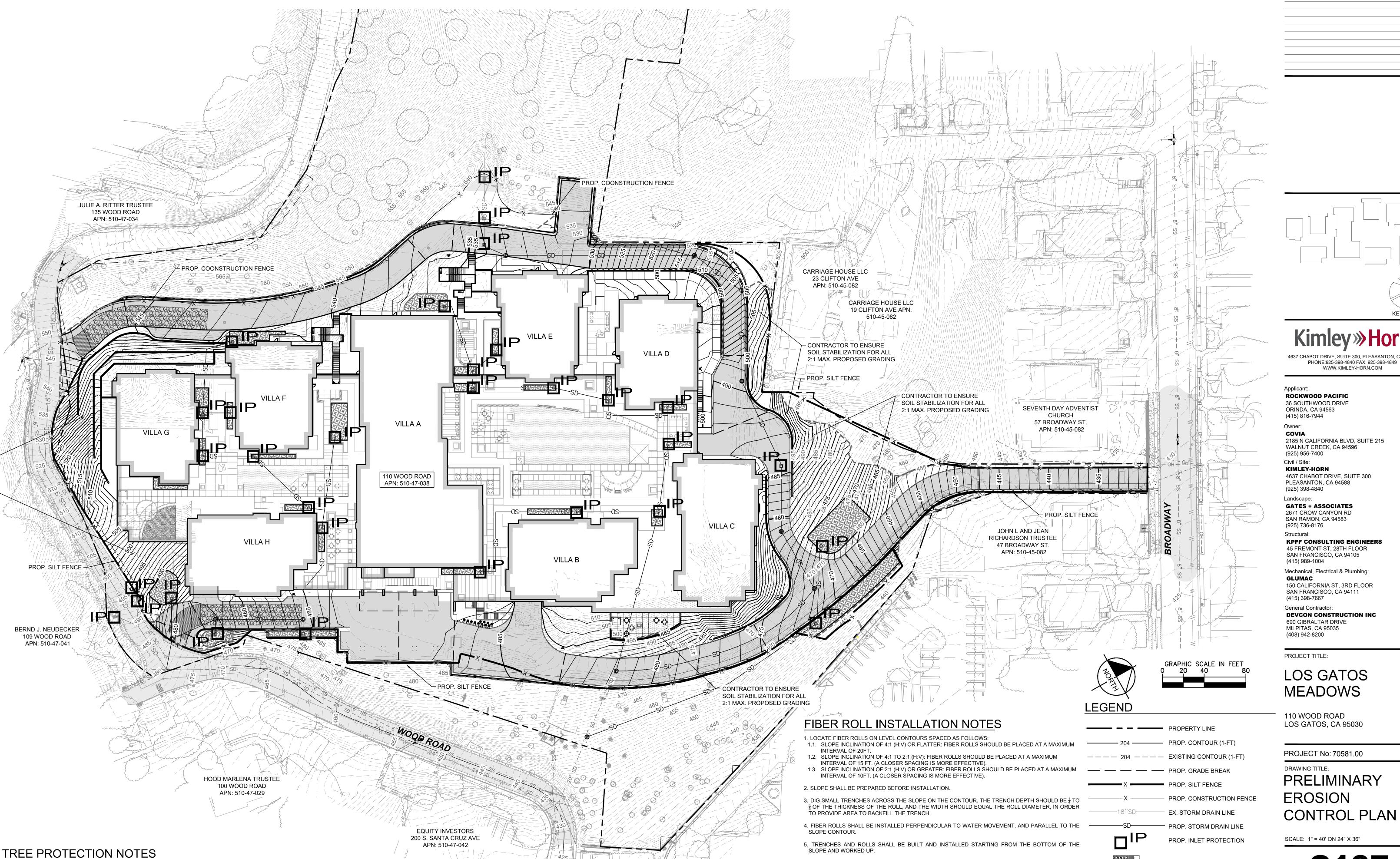
Page 345

NO. DATE ISSUE

4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588 PHONE:925-398-4840 FAX: 925-398-4849

C106

2021-07-27



RAYMOND F. & GRACE LESTER

142 S. SANTA CRUZ AVE

APN: 510-45-090

NO. DATE

4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588 PHONE:925-398-4840 FAX: 925-398-4849 WWW.KIMLEY-HORN.COM

## ROCKWOOD PACIFIC

36 SOUTHWOOD DRIVE ORINDA, CA 94563

## (415) 816-7944

COVIA 2185 N CALIFORNIA BLVD, SUITE 215

#### WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site:

# **KIMLEY-HORN**

GLUMAC

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

#### Landscape: **GATES + ASSOCIATES**

2671 CROW CANYON RD

#### SAN RAMON, CA 94583 (925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS** 

#### 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105

(415) 989-1004 Mechanical, Electrical & Plumbing:

#### 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111

(415) 398-7667 General Contractor:

# **DEVCON CONSTRUCTION INC**

690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

# LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

## DRAWING TITLE: PRELIMINARY **EROSION**

SCALE: 1" = 40' ON 24" X 36"

**C107** 

PLANNING SUBMITTAL

2021-07-27

PROP. CONSTRUCTION ENTRANCE

PROP. BIORETENTION PLANTER

PROP. ASPHALT CONCRETE

PROP. STORM DRAIN MANHOLE

PROP. STORM DRAIN CATCH BASIN

**PAVEMENT** 

6.PILOT HOLES SHALL BE DRIVEN THROUGH THE FIBER ROLL AND INTO THE SOIL FOR THE WOODEN

7.THE ENDS OF THE FIBER ROLL SHALL BE TURNED UP SLOPE TO PREVENT RUNOFF FROM GOING

8.IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED, NOT

9.1. DRIVE STAKES AT THE END OF EACH FIBER ROLL AND SPACED 4FT MAXIMUM ON CENTER. 9.2. USE WOOD STAKES WITH A NOMINAL CLASSIFICATION OF 0.75 BY 0.75 IN. AND MINIMUM LENGTH

STAKES USING A STRAIGHT BAR.

9.STAKE FIBER ROLLS IN TO THE TRENCH.

1.REFER TO TREE PRESERVATION/REMOVAL PLAN, SHEETS T1-T3, BY OTHERS

2. WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OT THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAULING BEEN MET BY THE

3. CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION 51-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CUR. 22

4. ADDRESS IDENTIFICATION. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (1 2.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1.

5. FIRE LANE MARKINGS FOR ALL ROADWAYS WITHIN THE PROJECT SHALL BE PER FIRE DEPARTMENT SPECIFICATIONS. INSTALLATIONS SHALL ALSO CONFORM TO LOCAL GOVERNMENT STANDARDS AND FIRE DEPARTMENT STANDARD DETAILS AND

6. TWO-WAY COMMUNICATION SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ALL CURRENT EDITIONS OF NFPA 72, THE CALIFORNIA ELECTRICAL CODE, THE CALIFORNIA FIRE CODE, THE CALIFORNIA BUILDING CODE, AND THE CITY OR TOWN ORDINANCES, POLICIES, AND STANDARDS WHERE A TWO-WAY SYSTEM IS BEING INSTALLED. OTHER STANDARDS ALSO CONTAIN DESIGN/INSTALLATION CRITERIA FOR SPECIFIC LIFE SAFETY RELATED EQUIPMENT. THESE OTHER STANDARDS ARE REFERRED TO IN NFPA 72.

7. FARWELL LANE TO BE SIGNED AS AN EMERGENCY VEHICLE ACCESS ONLY.

SEAL OF THE PRIMARY O

# **Kimley** » Horn

4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588 PHONE:925-398-4840 FAX: 925-398-4849 WWW.KIMLEY-HORN.COM

Applicant:

ROCKWOOD PACIFIC

36 SOUTHWOOD DRIVE

NO. DATE

36 SOUTHWOOD DRIVE ORINDA, CA 94563 (415) 816-7944

**COVIA**2185 N CALIFORNIA BLVD, SUITE 215
WALNUT CREEK, CA 94596
(925) 956-7400

Civil / Site:

KIMLEY-HORN

4637 CHABOT DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 398-4840

Landscape:

GATES + ASSOCIATES
2671 CROW CANYON RD

SAN RAMON, CA 94583 (925) 736-8176 Structural: KPFF CONSULTING ENGINEERS

45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004 Mechanical, Electrical & Plumbing:

GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC**690 GIBRALTAR DRIVE
MILPITAS, CA 95035
(408) 942-8200

PROJECT TITLE:

# LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:

PRELIMINARY FIRE ACCESS PLAN

SCALE: 1" = 40' ON 24" X 36"

C108

PLANNING SUBMITTAL

2021-07-27

**EXISTING TREES** 

GARAGE LEVEL

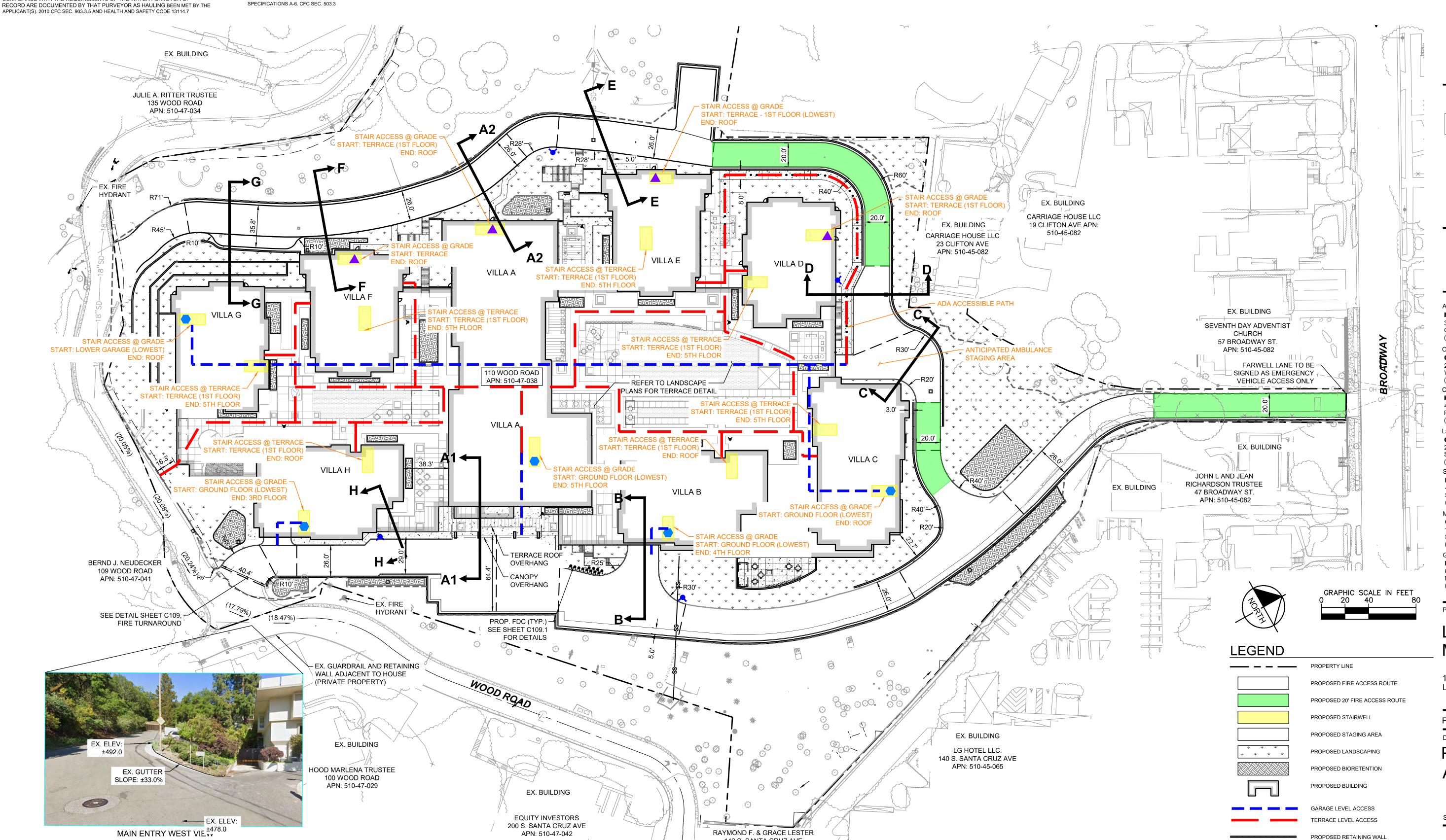
* GROUND LEVEL IS EQUIVALENT TO GARAGE LEVEL 1

AND GROUND LEVEL*

PROPOSED FIRE HYDRANT

STAIRWELL WITH ACCESS TO LOWER

STAIRWELL WITH ACCESS TO ACCESS ROADS

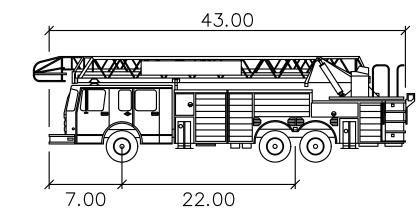


142 S. SANTA CRUZ AVE

APN: 510-45-090

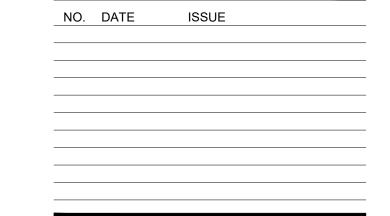
(UP WOOD ROAD)

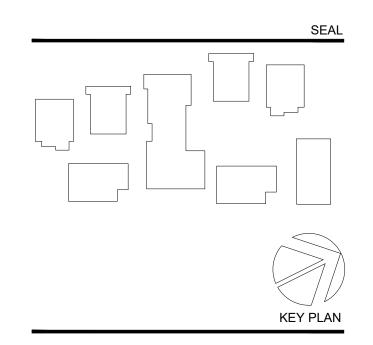




Aerial Fire Truck

	feet
Width Track	: 8.50 : 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 33.3





4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588 PHONE:925-398-4840 FAX: 925-398-4849 WWW.KIMLEY-HORN.COM

#### Applicant: **ROCKWOOD PACIFIC**

36 SOUTHWOOD DRIVE ORINDA, CA 94563 (415) 816-7944

#### Owner: COVIA

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

#### Civil / Site:

**KIMLEY-HORN** 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

### Landscape:

**GATES + ASSOCIATES** 2671 CROW CANYON RD SAN RAMON, CA 94583

#### (925) 736-8176 Structural:

**KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

#### Mechanical, Electrical & Plumbing: GLUMAC

150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

#### General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035

PROJECT TITLE:

(408) 942-8200

# LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE: FIRE TURNAROUND **DETAILS - REAR** ACCESS

SCALE: 1" = 40' ON 24" X 36"

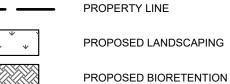
C108.1

PLANNING SUBMITTAL

2021-07-27



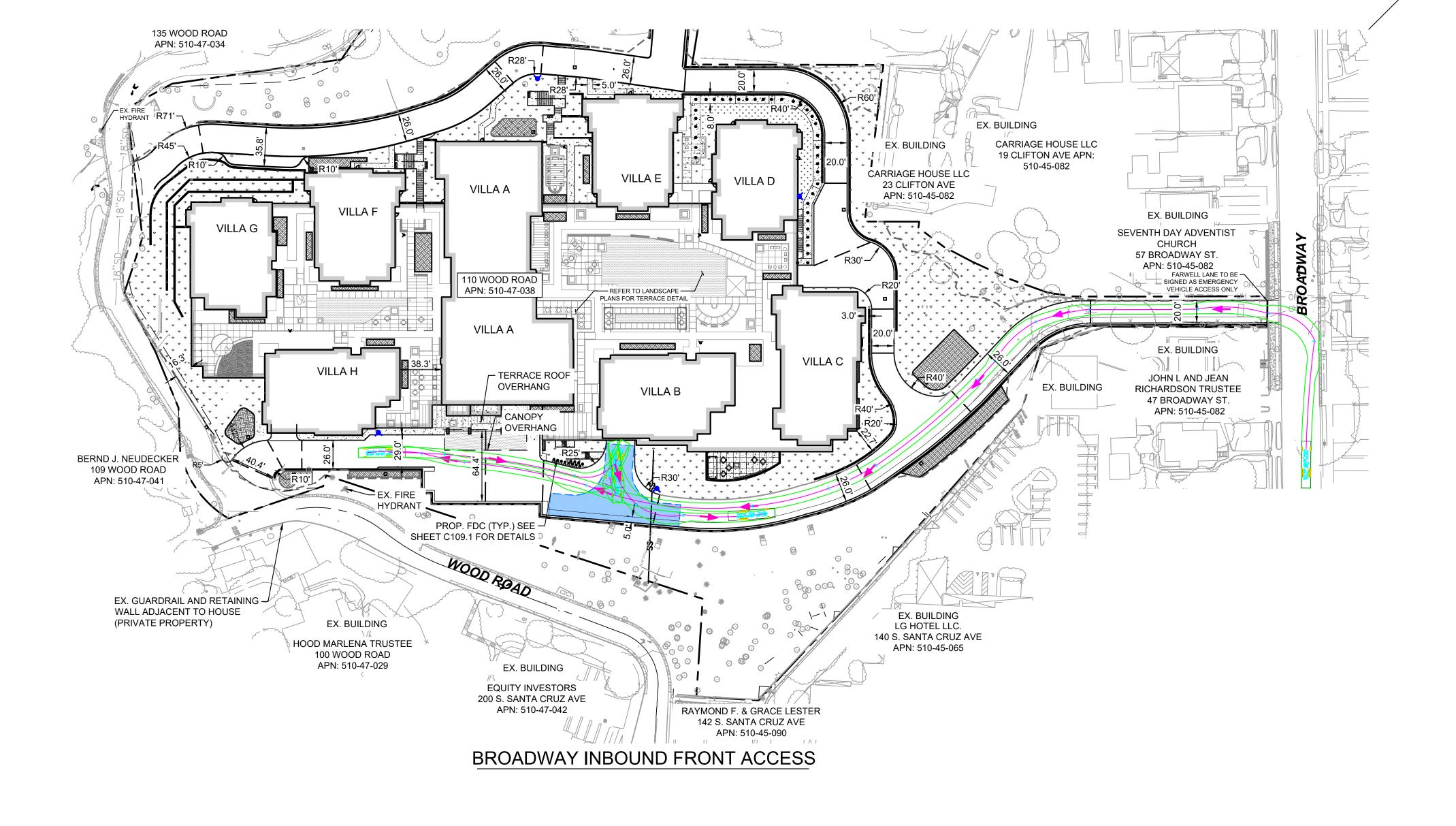
**LEGEND** 

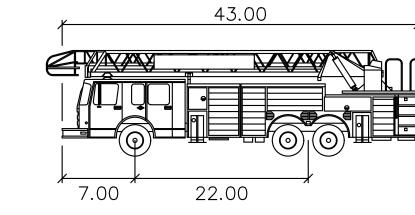


PROPOSED BUILDING PROPOSED RETAINING WALL

EXISTING TREES

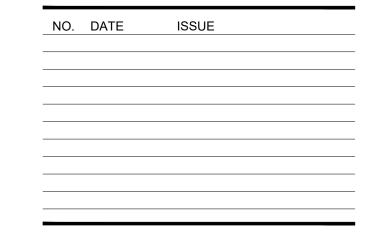
PROPOSED FIRE HYDRANT

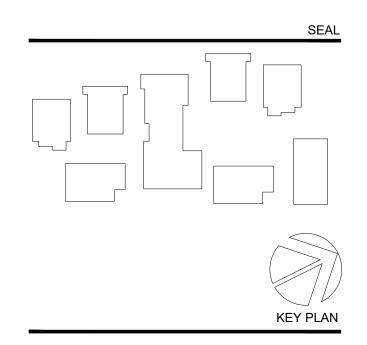




## Aerial Fire Truck

	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 33.3





4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588 PHONE:925-398-4840 FAX: 925-398-4849 WWW.KIMLEY-HORN.COM

#### Applicant: **ROCKWOOD PACIFIC**

36 SOUTHWOOD DRIVE ORINDA, CA 94563 (415) 816-7944

#### Owner:

COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

#### Civil / Site:

**KIMLEY-HORN** 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

## Landscape:

**GATES + ASSOCIATES** 2671 CROW CANYON RD SAN RAMON, CA 94583

### (925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105

#### (415) 989-1004 Mechanical, Electrical & Plumbing:

GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

#### General Contractor: **DEVCON CONSTRUCTION INC**

690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

# LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:

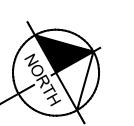
# FIRE TURNAROUND **DETAILS - FRONT** ACCESS

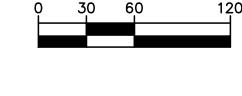
SCALE: 1" = 40' ON 24" X 36"

C108.2

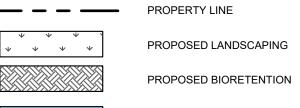
PLANNING SUBMITTAL

2021-07-27









PROPOSED LANDSCAPING

PROPOSED FIRE TRUCK TURNAROUND. SEE DETAIL ON SHEET C109

PROPOSED RETAINING WALL EXISTING TREES

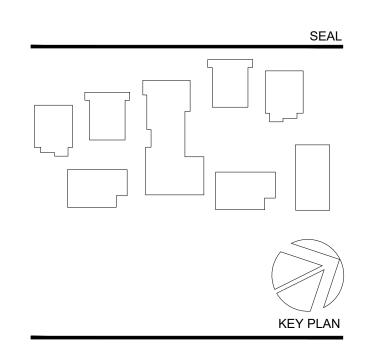
PROPOSED BUILDING

PROPOSED FIRE HYDRANT

VILLA F

Page 350

NO. DATE ISSUE



4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588 PHONE:925-398-4840 FAX: 925-398-4849 WWW.KIMLEY-HORN.COM

## Applicant: ROCKWOOD PACIFIC

36 SOUTHWOOD DRIVE ORINDA, CA 94563 (415) 816-7944

#### Owner: COVIA

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

#### Civil / Site: **KIMLEY-HORN**

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: **GATES + ASSOCIATES**2671 CROW CANYON RD
SAN RAMON, CA 94583
(925) 736-8176

# Structural:

KPFF CONSULTING ENGINEERS 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

#### Mechanical, Electrical & Plumbing: **GLUMAC**

150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

### General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

# LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:

# FIRE ROOF **ACCESS SECTIONS**

SCALE: 1" = 40' ON 24" X 36"

C108.3

PLANNING SUBMITTAL

2021-07-27

VERTICAL

VILLA H

2. WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OT THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAULING BEEN MET BY THE 3. CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION 51-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC

4. ADDRESS IDENTIFICATION. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (1 2.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1.

FIRE LANE MARKINGS FOR ALL ROADWAYS WITHIN THE PROJECT SHALL BE PER FIRE DEPARTMENT SPECIFICATIONS. INSTALLATIONS SHALL ALSO CONFORM TO LOCAL GOVERNMENT STANDARDS AND FIRE DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS A-6. CFC SEC. 503.3

HOOD MARLENA TRUSTEE

100 WOOD ROAD

APN: 510-47-029

6. TWO-WAY COMMUNICATION SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ALL CURRENT EDITIONS OF NFPA 72, THE CALIFORNIA ELECTRICAL CODE, THE CALIFORNIA FIRE CODE, THE CALIFORNIA BUILDING CODE, AND THE CITY OR TOWN ORDINANCES, POLICIES, AND STANDARDS WHERE A TWO-WAY SYSTEM IS BEING INSTALLED. OTHER STANDARDS ALSO CONTAIN DESIGN/INSTALLATION CRITERIA FOR SPECIFIC LIFE SAFETY RELATED EQUIPMENT. THESE OTHER STANDARDS ARE REFERRED TO IN NFPA 72.

Building	# of Apartments	Gross Square Feet (GSF)	Building Height (ft) ²
Building A	46	157,054 ¹	85.5
Building B	20	41,483	70.5
Building C	29	56,891	81.5
Building D	15	31,426	70.5
Building E	18	40,712	82
Building F	17	40,712	82
Building G	14	31,426	70.5
Building H	15	31,112	59

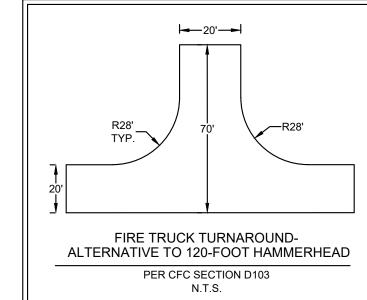
LG HOTEL LLC.

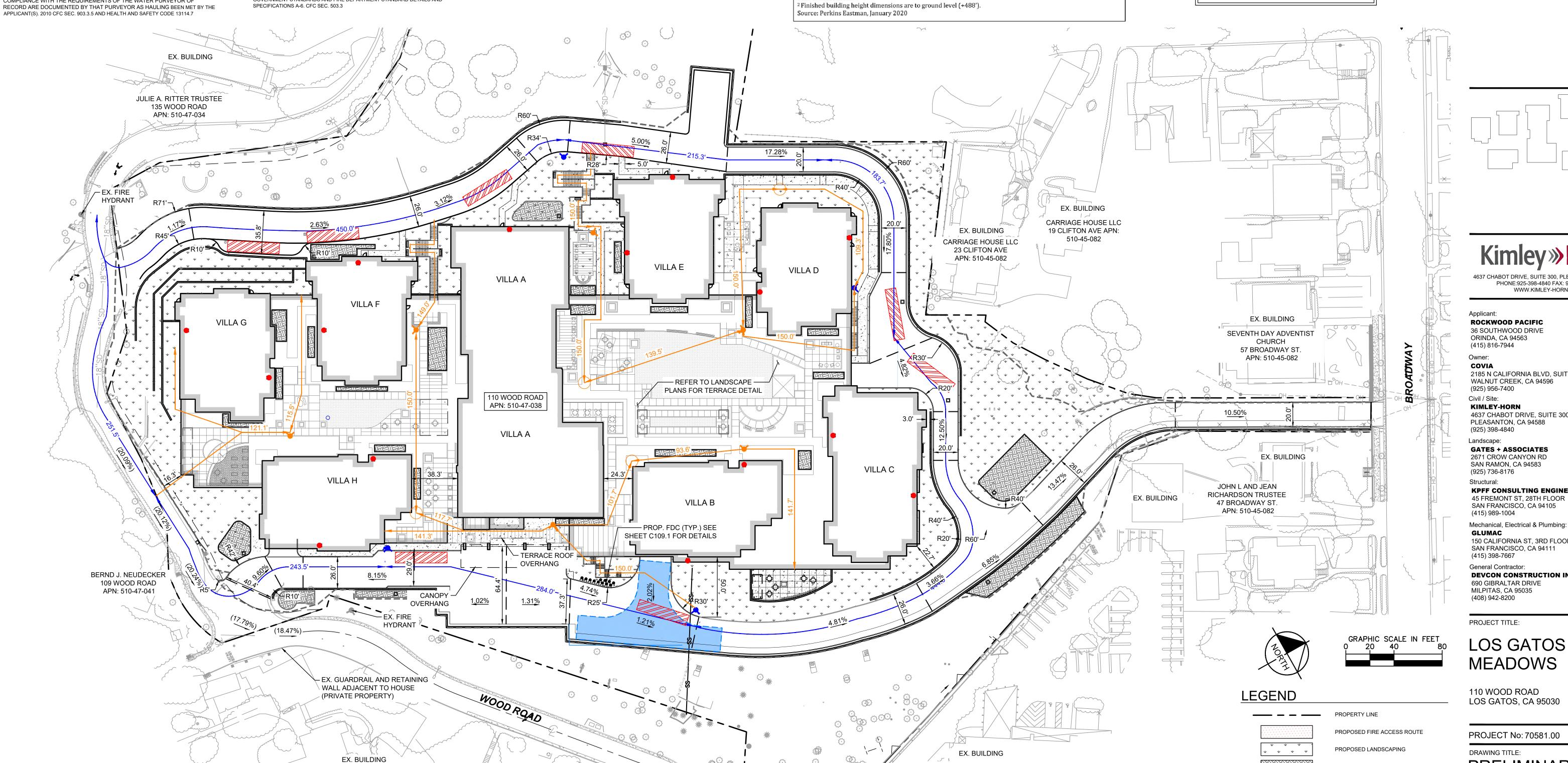
140 S. SANTA CRUZ AVE

APN: 510-45-065

TABLE 2: SUMMARY OF PROPOSED BUILDING FIRE AREAS

¹Building A GSF includes service spaces on Level G including entry/reception, fitness area, health center and several





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RAYMOND F. & GRACE LESTER

142 S. SANTA CRUZ AVE

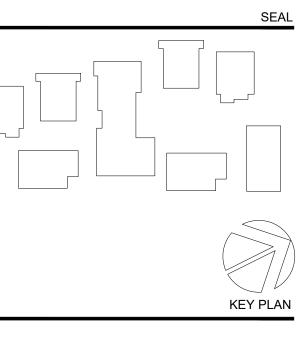
APN: 510-45-090

EX. BUILDING

**EQUITY INVESTORS** 

200 S. SANTA CRUZ AVE

APN: 510-47-042



4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588 PHONE:925-398-4840 FAX: 925-398-4849 WWW.KIMLEY-HORN.COM

#### Applicant: ROCKWOOD PACIFIC 36 SOUTHWOOD DRIVE ORINDA, CA 94563 (415) 816-7944

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596

#### Civil / Site: KIMLEY-HORN 4637 CHABOT DRIVE, SUITE 300

(925) 398-4840 Landscape: **GATES + ASSOCIATES** 

#### 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176 Structural:

**KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

#### **GLUMAC** 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111

(415) 398-7667 General Contractor: **DEVCON CONSTRUCTION INC** 

PROJECT TITLE:

# LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:

PROPOSED BIORETENTION

PROPOSED STAGING AREA

PROPOSED BUILDING

**EXISTING TREES** 

PROPOSED RETAINING WALL

PROPOSED GROUND FIRE HYDRANT

PROPOSED BUILDING STANDPIPE LOCATION

PROPOSED TERRACE STANDPIPE LOCATION

PROPOSED FIRE TRUCK TURNAROUND. SEE DETAIL ON THIS SHEET

**PRELIMINARY** HOSE PULL PLAN

SCALE: 1" = 40' ON 24" X 36"

C109

PLANNING SUBMITTAL

2021-07-27

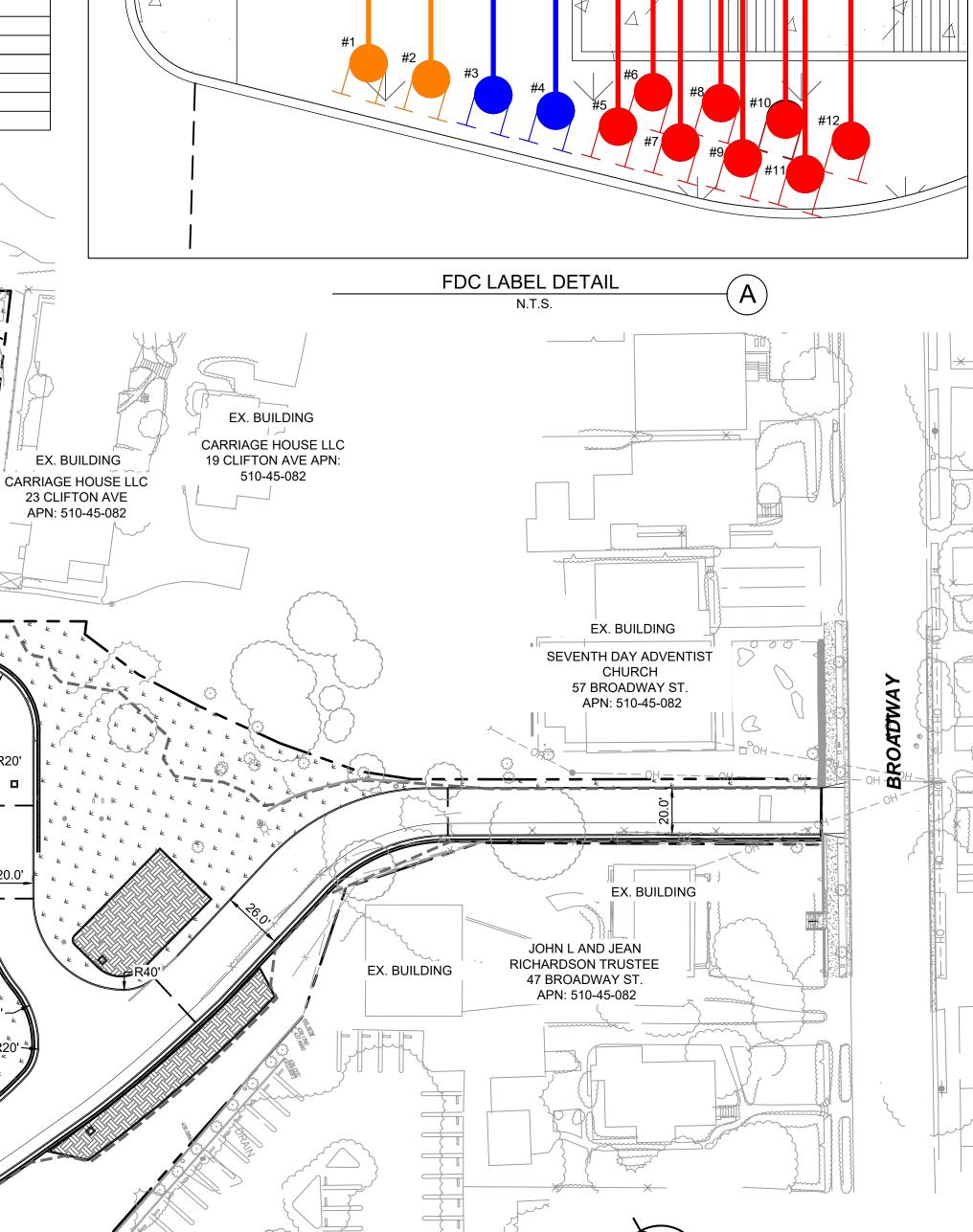
EX. BUILDING

VILLA G

JULIE A. RITTER TRUSTEE 135 WOOD ROAD APN: 510-47-034

HYDRANT

BERND J. NEUDECKER 109 WOOD ROAD APN: 510-47-041



FDC LABEL

VILLA D

VILLA E

VILLA B

٥

RAYMOND F. & GRACE LESTER

142 S. SANTA CRUZ AVE

APN: 510-45-090

VILLA A

TERRACE ROOF -

CANOPY -

SEE DETAIL A, HEREON

FOR FDC LABELS

EX. BUILDING

**EQUITY INVESTORS** 

200 S. SANTA CRUZ AVE

APN: 510-47-042

OVERHANG

OVERHANG

EX. FIRE

– EX. GUARDRAIL AND RETAINING WALL ADJACENT TO HOUSE

(PRIVATE PROPERTY)

EX. BUILDING

HOOD MARLENA TRUSTEE

100 WOOD ROAD

APN: 510-47-029

HYDRANT 3

110 WOOD ROAD

APN: 510-47-038

VILLA A

VILLA F

VILLA H

EX. FDC, TO BE

PROTECTED

#1 P TERRACE STANDPIPES 1-3 #2 TERRACE STANDPIPES 4-6

DESCRIPTION OF SERVICE

#3 | BUILDING STANDPIPES FOR VILLA A, F, G & H #4 BUILDING STANDPIPES FOR VILLA B, C, D & E

VILLA C

EX. BUILDING

LG HOTEL LLC.

140 S. SANTA CRUZ AVE

APN: 510-45-065

#5 FIRE SPRINKLER SYSTEM FOR VILLA H #6 📍 FIRE SPRINKLER SYSTEM FOR VILLA G #7 📍 FIRE SPRINKLER SYSTEM FOR VILLA F #8 👂 FIRE SPRINKLER SYSTEM FOR VILLA A #9 📍 FIRE SPRINKLER SYSTEM FOR VILLA C #10 FIRE SPRINKLER SYSTEM FOR VILLA B #11 👂 FIRE SPRINKLER SYSTEM FOR VILLA D #12 FIRE SPRINKLER SYSTEM FOR VILLA E

LEGEND PROPERTY LINE _____

PROPOSED LANDSCAPING PROPOSED BIORETENTION

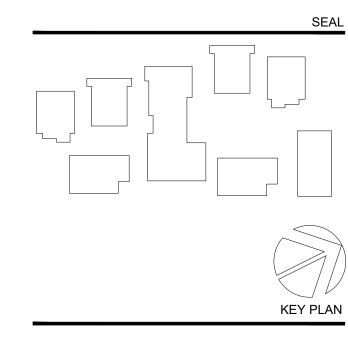
PROPOSED BUILDING

PROPOSED RETAINING WALL EXISTING TREES

PROPOSED GROUND FIRE HYDRANT PROPOSED BUILDING STANDPIPE LOCATION PROPOSED FDC LOCATION PROPOSED TERRACE FIRE STANDPIPE PLUMBING TO BUILDING STANDPIPE PLUMBING TO BUILDING FIRE SPRINKLER PLUMBING TO TERRACE STANDPIPE

FIRE SPRINKLER NOTE

1. REFER TO ARCHITECTURAL PLANS FOR BUILDING AND VILLA SQUARE FOOTAGE.



4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588 PHONE:925-398-4840 FAX: 925-398-4849 WWW.KIMLEY-HORN.COM

#### ROCKWOOD PACIFIC 36 SOUTHWOOD DRIVE

ORINDA, CA 94563 (415) 816-7944

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400 Civil / Site:

## **KIMLEY-HORN** 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: **GATES + ASSOCIATES** 2671 CROW CANYON RD SAN RAMON, CA 94583

#### (925) 736-8176 Structural:

**KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

#### Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR

SAN FRANCISCO, CA 94111 (415) 398-7667

#### General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

# LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

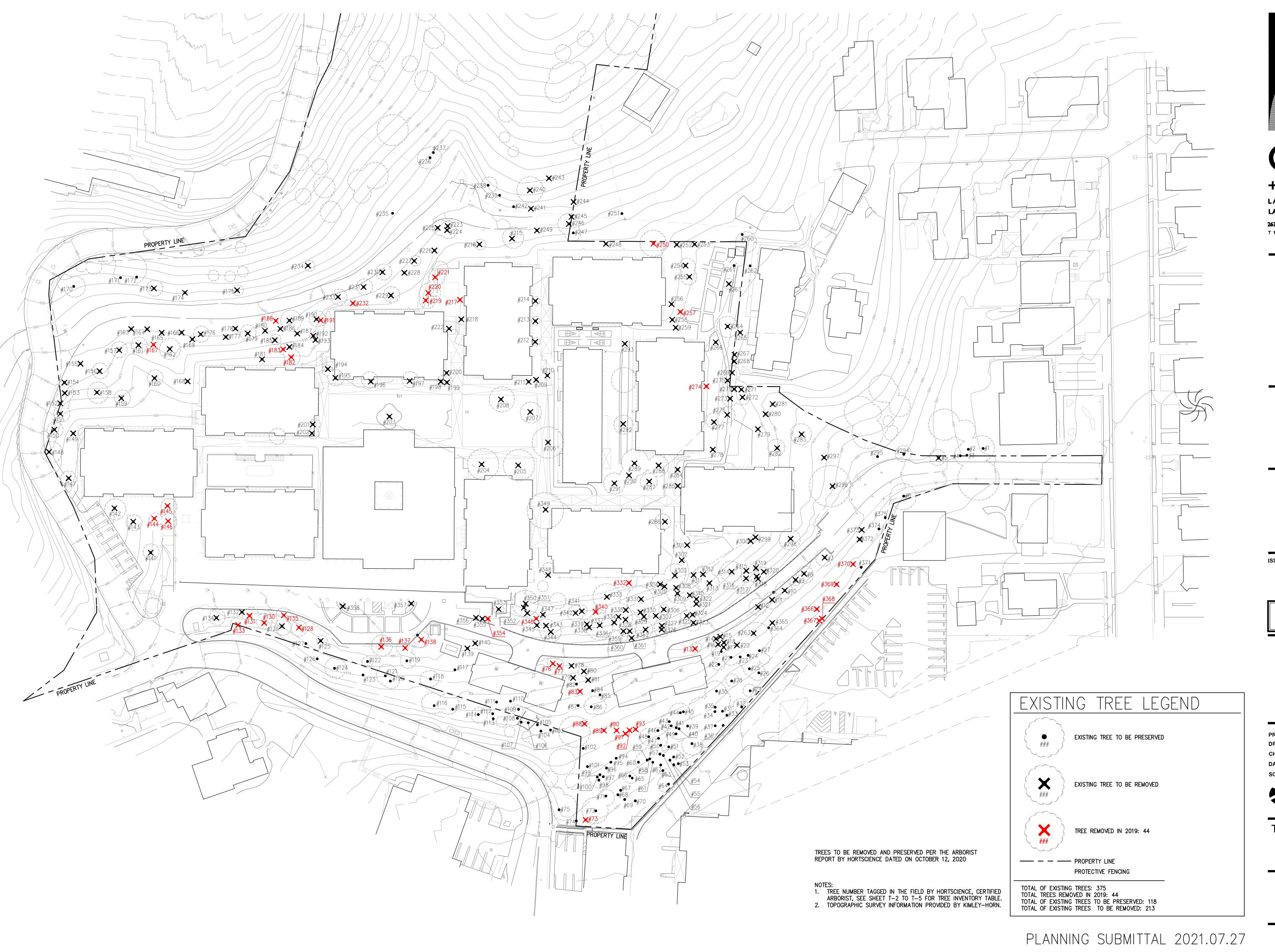
## DRAWING TITLE: PRELIMINIARY FDC PLAN

SCALE: 1" = 40' ON 24" X 36"

C109.1

PLANNING SUBMITTAL

2021-07-27



GATES +ASSOCIATES

LANDSCAPE ARCHITECTURE
LAND PLANNING · URBAN DESIGN

**2671 CROW CANYON RD. SAN RAMON, CA 94583**T 925.736.8176 www.dgates.com

LOS GATOS MEADOWS

> 110 WOOD ROAD LOS GATOS CALIFORNIA

ISSUE: DESCRIPTION:

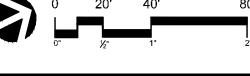
NOT FOR CONSTRUCTION



PROJECT NUMBER:
DRAWN:
CHECK:
DATE:

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0 20'



07/27/2021

TREE PRESERVATION/ REMOVAL PLAN

T-1

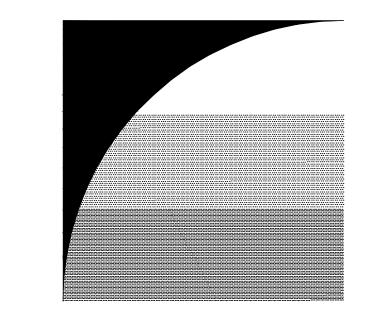
IKEE	E INVENTORY	IAB	LŁ					
TREE/ TAG NO.	TREE NAME	TRUNK DIAMETER (INCHES)	APPROX. CROWN DIAMETER (FEET)	CONDITION OUT OF 100%	SUITABILITY FOR PRESERVATION	PROTECTED STATUS	REMOVAL	REASON FOR REMOVAL
1	Coast Redwood Sequioa sempervirens	40	~30	50%	Mod	Protected		
2	California Bay Umbellularia californica	8,8,7	~30	50%	Low	Protected		
3	California Bay Umbellularia californica	6,5	~30	30%	Low	Protected		
4	Valley Oak <i>Quercus Iobata</i>	17	~30	50%	Mod	Protected		
5	Valley Oak <i>Quercus Iobata</i>	14	~20	30%	Low	Protected	Х	New EVA. construction
6	Coast Live Oak <i>Quercus agrifolia</i>	23	~30	70%	High	Protected		
7	Blue Gum <i>Eucalyptus globulus</i>	40	~30	30%	Low	Protected	Х	Invasive, fire prone
8	Blue Gum <i>Eucalyptus globulus</i>	38	~30	30%	Low	Protected	Х	Invasive, fire prone
9	Blue Gum <i>Eucalyptus globulus</i>	20,7	~20	30%	Low	Exception	Х	Invasive, fire prone
10	Blue Gum <i>Eucalyptus globulus</i>	54	~50	30%	Low	Protected	Х	Invasive, fire prone
11	Blue Gum <i>Eucalyptus globulus</i>	28	~30	30%	Low	Protected	Х	Invasive, fire prone
12	Blue Gum <i>Eucalyptus globulus</i>	39	~30	30%	Low	Protected	Х	Invasive, fire prone
13	Canary Island Pine Pinus canariensis	21	~30	70%	High	Protected	2019 X	Fire prone, within 50 feet of structures
14	Coast Live Oak  Quercus agrifolia	15	~20	50%	Low	Protected	X	New EVA. construction
15	California Bay  Umbellularia californica	10	~20	50%	Mod	Protected	Х	New EVA. construction
16	California Bay Umbellularia californica	10	~20	50%	Mod	Protected	Х	New EVA. construction
17	California Bay Umbellularia californica	9,9	~20	30%	Low	Protected	Х	New EVA. construction
18	California Bay Umbellularia californica	5	~20	10%	Low	Protected	Х	New EVA. construction
19	California Bay Umbellularia californica	13,8	~30	50%	Mod	Protected		
20	California Bay Umbellularia californica	11	~20	30%	Low	Protected	Х	Within grading limits
21	California Bay Umbellularia californica	13	~30	30%	Low	Protected		
22	California Buckeye Aesculus californica	9	~30	50%	Mod	Protected		
23	California Bay Umbellularia californica	7	~50	30%	Low	Protected		
24	California Bay Umbellularia californica	17,16	~50	70%	High	Protected		
25	California Bay Umbellularia californica	11	~20	30%	Low	Protected		
26	California Bay Umbellularia californica	12	~20	50%	Low	Protected		
27	California Bay Umbellularia californica	7	~20	10%	Low	Protected		
28	California Bay <i>Umbellularia californica</i>	8	~20	10%	Low	Protected		
29	California Bay <i>Umbellularia californica</i>	12,7,6	~50	10%	Low	Protected		
30	Valley Oak <i>Quercus Iobata</i>	34	~60	70%	High	Large Protected		
31	California Bay <i>Umbellularia californica</i>	16	~30	50%	Low	Protected		
32	California Bay <i>Umbellularia californica</i>	8	~20	50%	Low	Protected		
33	California Bay <i>Umbellularia californica</i>	14,6	~20	50%	Low	Protected		
34	California Bay <i>Umbellularia californica</i>	8	~20	30%	Low	Protected		
35	California Bay <i>Umbellularia californica</i>	11,10,7	~30	50%	Low	Protected		
36	Coast Live Oak <i>Quercus agrifolia</i>	19	~30	50%	Mod	Protected		
37	California Bay <i>Umbellularia californica</i>	10	~20	30%	Low	Protected		
38	Blue Oak <i>Quercus douglasii</i>	19	~20	30%	Low	Protected		
39	Coast Live Oak <i>Quercus agrifolia</i>	27	~30	50%	Low	Large Protected		
40	Valley Oak <i>Quercus lobata</i>	17	~20	30%	Low	Protected		

TRFF	INVENTORY	TABLE (	CONT.	)
· · · · — —			$\langle \circ \circ \circ \circ \rangle$	/

IKE	E INVENTORY	IAB	LE ('	CONI	.)			
TREE/ TAG NO.	TREE NAME	TRUNK DIAMETER (INCHES)	APPROX. CROWN DIAMETER (FEET)	CONDITION OUT OF 100%	SUITABILITY FOR PRESERVATION	PROTECTED STATUS	REMOVAL	REASON FOR REMOVAL
41	California Bay	8,5,4	~20	50%	Mod	Protected		
	Umbellularia californica  California Bay							
42	Umbellularia californica  Valley Oak	5	~20	50%	Low	Protected		
43	<i>Quercus Iobata</i> Coast Live Oak	14	~30	50%	Mod	Protected		
44	Quercus agrifolia	22	~50	50%	Low	Protected		
45	California Bay Umbellularia californica	6,5	~20	50%	Low	Protected		
46	California Bay Umbellularia californica	6	~20	50%	Low	Protected		
47	Valley Oak <i>Quercus Iobata</i>	17,13	~50	50%	Mod	Protected		
48	California Bay <i>Umbellularia californica</i>	22,12	~50	10%	Low	Protected		
49	California Bay <i>Umbellularia californica</i>	7	~20	50%	Low	Protected		
50	California Bay <i>Umbellularia californica</i>	7	~20	50%	Low	Protected		
51	California Bay <i>Umbellularia californica</i>	7	~30	30%	Low	Protected		
52	California Bay <i>Umbellularia californica</i>	9	~30	30%	Low	Protected		
53	California Bay Umbellularia californica	10	~20	50%	Low	Protected		
54	California Bay Umbellularia californica	13,9	~30	50%	Low	Protected		
55	California Bay	6,5,5,4	~30	50%	Low	Protected		
56	Umbellularia californica  California Bay	7	~30	30%	Low	Protected		
57	Umbellularia californica  California Bay	9,8	~30	30%	Low	Protected		
	Umbellularia californica  California Bay							
58	Umbellularia californica  Coast Live Oak	12	~30	30%	Low	Protected Large		
59	<i>Quercus agrifolia</i> California Bay	27,16	~60	50%	Mod	Protected		
60	Umbellularia californica	14	~20	10%	Low	Protected		
61	California Bay Umbellularia californica	15	~30	30%	Low	Protected		
62	California Bay <i>Umbellularia californica</i>	13	~30	30%	Low	Protected		
63	California Bay <i>Umbellularia californica</i>	6	~20	50%	Low	Protected		
64	California Bay <i>Umbellularia californica</i>	10,9	~30	50%	Low	Protected		
65	California Bay <i>Umbellularia californica</i>	9	~30	30%	Low	Protected		
66	California Bay <i>Umbellularia californica</i>	11	~20	30%	Low	Protected		
67	Olive <i>Olea spp</i> .	5,4,3,2	~20	30%	Low	Exception		
68	California Bay <i>Umbellularia californica</i>	6	~20	50%	Low	Protected		
69	California Bay <i>Umbellularia californica</i>	7	~20	30%	Low	Protected		
70	Coast Live Oak  Quercus agrifolia	6	~20	50%	Mod	Protected		
71	California Bay	17,8	~30	50%	Mod	Protected		
72	Valley Oak	33	~60	70%	High	Large		
73	Quercus Iobata Olive	5	~10	50%	Mod	Protected Exception	2019	Invasive
74	Olea spp.  Coast Live Oak	6	~20	50%	Mod	Protected	X	
	Quercus agrifolia Coast Live Oak					Large		
75	Quercus agrifolia Monterery Pine	30	~50	50%	Mod	Protected	2019	Fire prone, within 50
76	Pinus radiata  Monterery Pine	15	~20	50%	Low	Protected	X 2019	feet of structures  Fire prone, within 50
77	Pinus radiata  Coast Redwood	17	~20	50%	Low	Protected	Х	feet of structures
78	Sequioa sempervirens	7	~10	90%	High	Protected	Х	New EVA. construction
79	Coast Redwood Sequioa sempervirens	13	~20	90%	High	Protected	Х	Within grading limits
80	Blue Oak <i>Quercus douglasii</i>	12	~20	50%	Mod	Protected	Х	New EVA. construction
				_	_		_	

# TREE INVENTORY TABLE (CONT.)

IKEE	<u>- INVENTORY</u>	IAB		CON I	· <i>)</i>	1		
TREE/ FAG NO.	TREE NAME	TRUNK DIAMETER (INCHES)	APPROX. CROWN DIAMETER (FEET)	CONDITION OUT OF 100%	SUITABILITY FOR PRESERVATION	PROTECTED STATUS	REMOVAL	REASON FOR REMOVAL
81	Coast Redwood	5	~10	90%	High	Protected	X	Within grading limits
82	Sequioa sempervirens Coast Redwood	7	~20	30%	Low	Protected		
83	Sequioa sempervirens  Monterery Pine	14	~20	50%	Low	Protected	2019	Fire prone, within 50
	Pinus radiata Big Leaf Maple						X	feet of structures
84	Acer macrophylla  Coast Redwood	9	~30	30%	Low	Protected		
85	<i>Sequioa sempervirens</i> Valley Oak	7	~10	90%	High	Protected		
86	Quercus Iobata  Coast Redwood	19	~50 	70%	Mod	Protected		
87	Sequioa sempervirens	10	~20	90%	High	Protected	0010	F: :II:-
88	Monterery Pine  Pinus radiata	8	~20	50%	Low	Protected	2019 X	Fire prone, within 50 feet of structures
89	Monterery Pine  Pinus radiata	8	~20	50%	Mod	Protected	2019 X	Fire prone, within 50 feet of structures
90	Blackwood Acacia <i>Acacia melanoxylon</i>	10,6	~20	30%	Low	Exception	2019 X	Invasive, Fire prone
91	Blackwood Acacia <i>Acacia melanoxylon</i>	5	~20	30%	Low	Exception	2019 X	Invasive, Fire prone
92	Blackwood Acacia <i>Acacia melanoxylon</i>	8,7,4	~20	30%	Low	Exception	2019 X	Invasive, Fire prone
93	Blackwood Acacia <i>Acacia melanoxylon</i>	5,5,5,4	~20	30%	Low	Exception	2019 X	Invasive, Fire prone
94	California Bay <i>Umbellularia californica</i>	10	~20	30%	Low	Protected		
95	California Bay <i>Umbellularia californica</i>	16	~30	30%	Low	Protected		
96	California Bay Umbellularia californica	5	~10	10%	Low	Protected		
97	California Bay	19,6,5.	~30	50%	Low	Protected		
98	Valley Oak	4,4 17,16	~50	50%	Mod	Protected		
99	Quercus Iobata  California Bay	7,6,6,5	~30	50%	Low	Protected		
100	Umbellularia californica  California Bay	6	~20	50%	Low	Protected		
101	Umbellularia californica  California Bay	5	~20	70%	High	Protected		
	Umbellularia californica  California Bay	5,5,5,4,4						
102	Umbellularia californica  Coast Redwood	,3,3,2,2	~50	70%	Mod	Protected		
103	Sequioa sempervirens  Coast Redwood	9	~20	50%	Mod	Protected		
104	Sequioa sempervirens  Coast Redwood	8	~20	90%	High	Protected		
105	Sequioa sempervirens	9	~20	90%	High	Protected		
106	Coast Redwood Sequioa sempervirens	10	~20	90%	High	Protected		
107	Coast Redwood <i>Sequioa sempervirens</i>	8	~20	90%	High	Protected		
108	Coast Redwood <i>Sequioa sempervirens</i>	4	~10	90%	High	Protected		
109	Grecian Laurel <i>Laurus nobilis</i>	10,9,9	~20	30%	Low	Protected		
110	Grecian Laurel <i>Laurus nobilis</i>	6,6,5,5, 4,3,3,2	~20	30%	Low	Protected		
111	Grecian Laurel <i>Laurus nobilis</i>	5,4,4,4,4 ,4,3,3,3	~20	30%	Low	Protected		
112	Olive <i>Olea spp.</i>	6	~10	50%	Mod	Exception		
113	Olive Olea spp.	12,7	~20	50%	Mod	Exception		
114	Olive Olea spp.	10,6,5,4	~20	50%	Mod	Exception		
115	Valley Oak <i>Quercus Iobata</i>	21	~30	50%	Low	Protected		
116	Blue Gum	47,32,	~60	50%	Low	Large		
117	Eucalyptus globulus  Bronze Loquat	17 6	~20	30%	Low	Protected Protected		
118	Eriobotrya deflexa  Coast Live Oak	19,15	~50	70%	High	Protected		
	<i>Quercus agrifolia</i> Coast Live Oak							
119	<i>Quercus agrifolia</i> Valley Oak	19	~50	70%	High	Protected		
120	Quercus lobata	14	~30	50%	Mod	Protected		



# GATES +ASSOCIATES

LAND SCAPE ARCHITECTURE
LAND PLANNING · URBAN DESIGN

2671 CROW CANYON RD. SAN RAMON, CA 94583

T 925.736.8176 www.dgates.com

# LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS CALIFORNIA

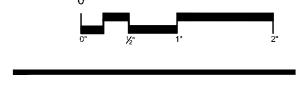
ISSUE: DESCRIPTION:

NOT FOR CONSTRUCTION



PROJECT NUMBER:
DRAWN:
CHECK:
DATE:

MF/T2 K0 07/27/202



TREE INVENTORY TABLE

T-2

				/
TDFF	INVFNT(	$J \cap V \setminus T \setminus F$	$\supset I \subset I$	$/ \cap \cap \cap \cap \cap$
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1111	-	$\mathcal{M}$	)	

TREE/TAG NO.	TREE NAME	TRUNK DIAMETER (INCHES)	APPROX. CROWN DIAMETER T (FEET)	CONDITION OUT OF 100%	SUITABILITY FOR PRESERVATION	PROTECTED STATUS	REMOVAL	REASON FOR REMOVAL
121	Valley Oak <i>Quercus Iobata</i>	19	~30	50%	Low	Protected		
122	Coast Live Oak  Quercus agrifolia	11	~20	50%	Mod	Protected		
123	Olive Olea spp.	7,7,5,4, 4,3	~20	50%	Mod	Exception		
124	Coast Live Oak <i>Quercus agrifolia</i>	25	~30	10%	Low	Large Protected		
125	Coast Redwood Sequioa sempervirens	19	~20	10%	Low	Protected	Х	New retaining wall construction
126	Coast Live Oak  Quercus agrifolia	7,7	~20	10%	Low	Protected		Construction
127	Coast Live Oak <i>Quercus agrifolia</i>	8	~20	10%	Low	Protected		
128	Canary Island Pine Pinus canariensis	28	~30	70%	Mod	Protected	2019 X	Fire prone, within 50 feet of structures
129	Coast Live Oak  Quercus agrifolia	15	~30	50%	Low	Protected	X	New bio-retention construction
130	Canary Island Pine Pinus canariensis	23	~30	70%	High	Protected	2019 X	Fire prone, within 50 feet of structures
131	Canary Island Pine Pinus canariensis	26	~30	30%	Low	Protected	2019 X	Fire prone, within 50 feet of structures
132	Coast Redwood  Sequioa sempervirens	7	~20	90%	Mod	Protected	X	New building construction
133	Canary Island Pine Pinus canariensis	22	~30	70%	High	Protected	2019 X	Fire prone, within 50 feet of structures
134	Coast Live Oak  Quercus agrifolia	18	~50	70%	Mod	Protected	X	New building construction
135	Canary Island Pine Pinus canariensis	22	~30	70%	Mod	Protected	2019 X	Fire prone, within 50 feet of structures
136	Canary Island Pine Pinus canariensis	23	~30	70%	High	Protected	2019 X	Fire prone, within 50 feet of structures
137	Canary Island Pine Pinus canariensis	21	~30	70%	High	Protected	2019 X	Fire prone, within 50 feet of structures
138	Canary Island Pine Pinus canariensis	21	~30	70%	High	Protected	2019 X	Fire prone, within 50 feet of structures
139	Bronze Loquat <i>Eriobotrya deflexa</i>	5,3,3,3	~20	50%	Mod	Protected	Х	New EVA. construction
140	Bronze Loquat <i>Eriobotrya deflexa</i>	6,4,2	~20	30%	Low	Protected	Х	New EVA. construction
141	Crabapple <i>Malus spp.</i>	8	~30	70%	High	Exception	Х	New building construction
142	Coast Live Oak <i>Quercus agrifolia</i>	18	~30	70%	High	Protected	Х	New building construction
143	Coast Live Oak <i>Quercus agrifolia</i>	16	~30	70%	High	Protected	Х	New building construction
144	Canary Island Pine  Pinus canariensis	18	~30	50%	Mod	Protected	2019 X	Fire prone, within 50 feet of structures
145	Canary Island Pine <i>Pinus canariensis</i>	22	~30	70%	High	Protected	2019 X	Fire prone, within 50 feet of structures
146	Canary Island Pine <i>Pinus canariensis</i>	26	~30	70%	Mod	Protected	2019 X	Fire prone, within 50 feet of structures
147	Douglas Fir <i>Pseudosuga menziesii</i>	18	~30	70%	Mod	Protected	Х	Within grading limits
148	Douglas Fir <i>Pseudosuga menziesii</i>	29	~30	70%	Mod	Protected	Х	New EVA. constructio
149	Hollywood Juniper Juniperus chinensis	9,5	~30	70%	High	Protected	Х	New building construction
150	Douglas Fir <i>Pseudosuga menziesii</i>	15	~30	50%	Mod	Protected	Х	Within grading limits
151	Douglas Fir <i>Pseudosuga menziesii</i>	15	~30	30%	Low	Protected	Х	Within grading limits
152	Douglas Fir <i>Pseudosuga menziesii</i>	18	~30	50%	Low	Protected	Х	Within grading limits
153	Douglas Fir <i>Pseudosuga menziesii</i>	14	~30	50%	Mod	Protected	Х	New retaining wall construction
154	Valley Oak <i>Quercus Iobata</i>	11	~30	70%	High	Protected	Х	New retaining wall construction
155	Silk Oak <i>Grevillea robusta</i>	11	~30	50%	Low	Protected	Х	New retaining wall construction
156	Coast Live Oak <i>Quercus agrifolia</i>	17	~30	70%	High	Protected	Х	New retaining wall construction
157	Coast Live Oak <i>Quercus agrifolia</i>	15	~50	30%	Low	Protected	Х	New retaining wall construction
158	Douglas Fir Pseudosuga menziesii	22	~30	30%	Low	Protected	Х	New retaining wall construction
159	Coast Live Oak <i>Quercus agrifolia</i>	21	~30	50%	Mod	Protected	Х	New building construction
	)/ II	1		<del> </del>	<del>                                     </del>	1	<del>                                     </del>	<del>                                     </del>

New building

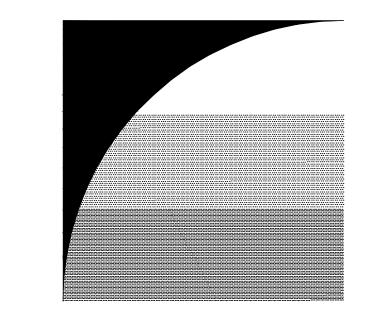
construction

TREE INVENTORY TABLE (CONT.)

IKE	- INVENTORY	IAB	LE (	CONI	.)			
TREE/	TDEE NAME	TRUNK DIAMETER (INCHES)	APPROX. CROWN DIAMETER (FEET)	CONDITION OUT OF 100%	SUITABILITY FOR PRESERVATION	PROTECTED STATUS	REMOVAL	REASON FOR REMOVAL
TAG NO.	TREE NAME Valley Oak	16				_		New retaining wall
161	<i>Quercus Iobata</i> Coast Live Oak		~30	30%	Low	Protected	X	construction  New retaining wall
162	<i>Quercus agrifolia</i> Italian Cypress	20	~30	50%	Mod	Protected	X	construction
163	Cupressus sempervirens  Italian Cypress	5	~10	90%	High	Protected	Х	New EVA. construction
164	Cupressus sempervirens	6	~10	90%	High	Protected	X	New EVA. construction
165	Italian Cypress Cupressus sempervirens	6	~10	90%	High	Protected	Х	New EVA. construction
166	Italian Cypress Cupressus sempervirens	5	~10	90%	High	Protected	X	New EVA. construction
167	Monterery Pine <i>Pinus radiata</i>	4	~20	90%	High	Protected	2019 X	Fire prone, within 50 feet of structures
168	Red Horsechestnut <i>Aesculus x carnea</i>	5,2	~20	90%	High	Protected	Х	New building construction
169	Coast Live Oak <i>Quercus agrifolia</i>	7	~20	50%	Low	Protected	X	New EVA. construction
170	California Bay <i>Umbellularia californica</i>	17,10,6	~50	30%	Low	Protected		
171	California Bay <i>Umbellularia californica</i>	7,7,7,6, 5,5,5,5	~30	30%	Low	Protected		
172	California Bay <i>Umbellularia californica</i>	8,5,5,4	~30	30%	Low	Protected		
173	California Bay <i>Umbellularia californica</i>	16	~30	50%	Mod	Protected	Х	Tested positive for SOD
174	Coast Live Oak <i>Quercus agrifolia</i>	8	~20	70%	Mod	Protected	Х	Retaining Wall Construction
175	Coast Live Oak <i>Quercus agrifolia</i>	15	~30	30%	Low	Protected	Х	Retaining Wall Construction
176	Sugar Gum Tree <i>Liquidambar styraciflua</i>	17,16	~30	50%	Mod	Protected	Х	New EVA. construction
177	Sugar Gum Tree Liquidambar styraciflua	12,11,11, 1,1	~50	30%	Low	Protected	Х	New building construction
178	Deodar Cedar Cedrus deodara	6	~20	90%	High	Protected	Х	New EVA. construction
179	Coast Live Oak  Quercus agrifolia	14	~30	50%	Mod	Protected	Х	New building construction
180	Italian Cypress  Cupressus sempervirens	5	~10	90%	High	Protected	Х	New EVA. construction
181	Sitka Spruce <i>Picea sitchensis</i>	6	~10	70%	High	Protected	Х	New building construction
182	Italian Stone Pine <i>Pinus Pinea</i>	22	~30	50%	Mod	Protected	2019 X	Fire prone, within 50 feet of structures
183	Italian Stone Pine <i>Pinus Pinea</i>	19	~30	50%	Mod	Protected	2019 X	Fire prone, within 50 feet of structures
184	Red Ironbark <i>Eucalyptus sideroxylon</i>	13	~20	10%	Low	Exception	Х	Poor condition, SOD carrier, fire prone
185	Incense Cedar  Calocedrus decurrens	11	~20	90%	High	Protected	Х	New building construction
186	Italian Cypress Cupressus sempervirens	5	~10	50%	Mod	Protected	Х	New EVA. construction
187	Italian Cypress  Cupressus sempervirens	5	~10	90%	High	Protected	Х	New building construction
188	Blackwood Acacia  Acacia melanoxylon	4	~10	70%	Low	Exception	2019 X	Invasive, Fire prone
189	Coast Live Oak  Quercus agrifolia	19	~50	50%	Mod	Protected	X	New EVA. construction
190	Red Ironbark  Eucalyptus sideroxylon	13	~30	10%	Low	Exception	Х	Poor condition, SOD carrier, fire prone
191	Blackwood Acacia  Acacia melanoxylon	17	~30	50%	Low	Exception	2019 X	Invasive, Fire prone
192	Red Ironbark  Eucalyptus sideroxylon	14	~30	10%	Low	Exception	X	Poor condition, SOD carrier, fire prone
193	Hollywood Juniper  Juniperus chinensis	17	~20	70%	High	Protected	Х	New building construction
194	Hollywood Juniper  Juniperus chinensis	5,5,4,3, 3,3	~20	50%	Low	Protected	Х	New building construction
195	Hollywood Juniper  Juniperus chinensis	11,7	~20	50%	Low	Protected	Х	New building construction
196	Blue Blossom  Ceanothus thysiflorus	5,4,4	~20	30%	Low	Protected	Х	New building construction
197	Hollywood Juniper  Juniperus chinensis	18	~20	50%	Low	Protected	Х	New building construction
198	Hollywood Juniper  Juniperus chinensis	13	~20	50%	Low	Protected	Х	New building
199	Hollywood Juniper	11	~20	50%	Low	Protected	X	construction  New building
200	Juniperus chinensis  Hollywood Juniper	10	~20	50%	Low	Protected	X	construction  New building
	Juniperus chinensis	10	20	JU/6	LO **	, , , , , , , , , , , , , , , , , , , ,	^	construction

TREE INVENTORY TABLE (CONT.)

TREE/ TAG NO.	TREE NAME	TRUNK DIAMETER (INCHES)	APPROX. CROWN DIAMETER (FEET)	CONDITION OUT OF 100%	SUITABILITY FOR PRESERVATION	PROTECTED STATUS	REMOVAL	REASON FOR REMOVAL
201	Hollywood Juniper <i>Juniperus chinensis</i>	12	~20	50%	Low	Protected	X	New building construction
202	Hollywood Juniper <i>Juniperus chinensis</i>	13	~20	50%	Low	Protected	X	New building construction
203	Crabapple <i>Malus spp</i> .	4,3	~20	70%	High	Exception	Х	New building construction
204	Sawleaf Zelkova <i>Zelkova serrata</i>	23	~50	50%	Mod	Protected	Х	New building construction
205	Sawleaf Zelkova <i>Zelkova serrata</i>	22	~50	30%	Low	Protected	Х	New building construction
206	Valley Oak <i>Quercus Iobata</i>	24	~50	70%	Mod	Large Protected	Х	New building construction
207	Sawleaf Zelkova Zelkova serrata	19	~50	30%	Low	Protected	Х	New building construction
208	Sawleaf Zelkova Zelkova serrata	18	~50	30%	Low	Protected	Х	New building construction
209	Mayten Tree M <i>aytens boaria</i>	7	~20	30%	Low	Protected	Х	New building construction
210	Italian Cypress Cupressus sempervirens	14	~10	70%	Mod	Protected	Х	New building construction
211	Italian Cypress	14	~10	70%	Low	Protected	Х	New building
212	Cupressus sempervirens Crabapple	12	~20	50%	Mod	Exception	X	construction  New building
213	Malus spp. Crabapple	11	~20	50%	Mod	Exception	X	construction  New building
214	<i>Malus spp.</i> Crabapple	11	~20	30%	Low	Exception	X	construction  New building
215	<i>Malus spp.</i> Coast Live Oak	22,22	~50	50%	Low	Protected	X	construction  New EVA. construction
215	<i>Quercus agrifolia</i> California Bay	10	~20	50%	Mod	Protected	_ ^ _ x	Poor condition, SOD
	Umbellularia californica  Brazilian Peppertree						2019	carrier, fire prone
217	Schinus terebinthifolia Loquat	5	~20	50%	Low	Protected	Х	Invasive New building
218	<i>Eriobotrya japonica</i> Blue Gum	6	~20	70%	Mod	Protected	X 2019	construction
219	Eucalyptus globulus  Blue Gum	36	~50	50%	Mod	Protected  Large	X 2019	Invasive, Fire prone
220	Eucalyptus globulus  Blue Gum	62	~60	50%	Mod	Protected	X 2019	Invasive, Fire prone
221	Eucalyptus globulus  African Fern Pine	36	~50	50%	Mod	Protected	X X	Invasive, Fire prone
222	Afrocarpus gracilior	5	~20	70%	Mod	Protected	X	New building construction
223	California Bay <i>Umbellularia californica</i>	13	~20	50%	Mod	Protected	Х	Poor condition, SOD carrier, fire prone
224	California Bay <i>Umbellularia californica</i>	13,13	~30	50%	Mod	Protected	Х	Poor condition, SOD carrier, fire prone
225	Coast Live Oak <i>Quercus agrifolia</i>	20	~50	70%	Mod	Protected	Х	New EVA. construction
226	Red Horsechestnut <i>Aesculus x carnea</i>	8	~20	30%	Low	Protected	X	New EVA. construction
227	Red Horsechestnut <i>Aesculus x carnea</i>	8	~20	30%	Low	Protected	X	New EVA. construction
228	Red Horsechestnut Aesculus x carnea	5	~20	50%	Mod	Protected	X	New EVA. construction
229	Coast Live Oak <i>Quercus agrifolia</i>	23	~30	70%	Mod	Protected	Х	New EVA. construction
230	Red Ironbark <i>Eucalyptus sideroxylon</i>	22	~30	30%	Low	Exception	Х	New EVA. construction
231	Red Ironbark <i>Eucalyptus sideroxylon</i>	5,5,5,5, 4	~20	30%	Low	Exception	Х	New EVA. construction
232	Purpleleaf PLum  Prunus cerasifera	4	~10	30%	Low	Protected	2019 X	Invasive
233	Red Ironbark  Eucalyptus sideroxylon	19	~20	50%	Low	Exception	X	New EVA. construction
234	Coast Live Oak  Quercus agrifolia	10,9	~20	50%	Mod	Protected	Х	Retaining Wall Construction
235	Toyon  Heteromeles arbutifloia	6,5,4,4	~20	50%	Mod	Protected		JOHSH UCHOH
236	California Bay	12	~30	50%	Low	Protected		
237	Umbellularia californica  California Bay	11	~20	50%	Mod	Protected		
238	Umbellularia californica Coast Live Oak	14	~30	50%	Low	Protected		
239	Quercus agrifolia Olive	10,5,5	~20	50%	Mod	Exception		
	<i>Olea spp.</i> Coast Live Oak					Large	\ <u>\</u>	Within anadina limit-
240	Quercus agrifolia	28	~20	50%	Low	Protected	X	Within grading limits



# GATES +ASSOCIATES

LANDSCAPE ARCHITECTURE LAND PLANNING · URBAN DESIGN 2671 CROW CANYON RD. SAN RAMON, CA 94583 T 925.736.8176 www.dgates.com

# LOS GATOS **MEADOWS**

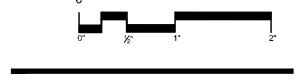
110 WOOD ROAD LOS GATOS CALIFORNIA

ISSUE: DESCRIPTION:





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TREE INVENTORY TABLE

Valley Oak *Quercus lobata* 

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50%

Mod Protected X

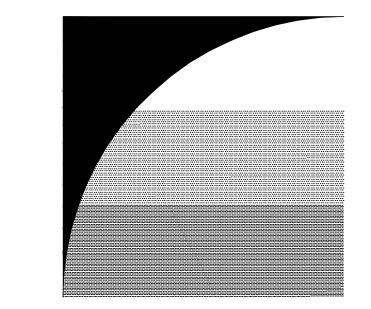
TRFF	INVENTORY	TABLE (	(CONT.)	)
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	TREE	<u>E INVENTORY</u>	TAB	LE (	CONT	.)			
	TREE/ TAG NO.	TREE NAME	TRUNK DIAMETER (INCHES)	APPROX. CROWN DIAMETER (FEET)	CONDITION OUT OF 100%	SUITABILITY FOR PRESERVATION	PROTECTED STATUS	REMOVAL	REASON FOR REMOVAL
	241	California Bay <i>Umbellularia californica</i>	6	~20	50%	Low	Protected	Х	Within grading limits
	242	California Bay <i>Umbellularia californica</i>	5	~20	50%	Low	Protected		
	243	Coast Live Oak <i>Quercus agrifolia</i>	27	~30	10%	Low	Large Protected	Х	Within grading limits
	244	Valley Oak <i>Quercus Iobata</i>	15	~20	30%	Low	Protected	Х	New EVA. construction
	245	Coast Live Oak <i>Quercus agrifolia</i>	4,4,4,3, 3,2,2,2	~20	30%	Low	Protected	Х	New EVA. construction
	246	Valley Oak <i>Quercus Iobata</i>	26	~30	50%	Low	Large Protected	Х	New EVA. construction
	247	Coast Live Oak <i>Quercus agrifolia</i>	16	~30	50%	Low	Protected		
	248	Coast Live Oak <i>Quercus agrifolia</i>	6,5,3	~20	30%	Low	Protected	Х	New building construction
	249	Victorian Box <i>Pittosporum undulatum</i>	5,4,4,4, 4,3,2	~20	30%	Low	Protected	Х	New EVA. construction
	250	Blue Gum <i>Eucalyptus globulus</i>	50	~50	30%	Low	Large Protected	2019 X	Invasive, Fire prone
	251	Valley Oak <i>Quercus Iobata</i>	28	~50	70%	High	Large Protected		
	252	Crabapple <i>Malus spp</i> .	5	~20	50%	Low	Exception	Х	New building construction
	253	Plum <i>Prunus spp.</i>	6,5,3	~20	50%	Low	Exception	Х	New building construction
	254	Crabapple <i>Malus spp</i> .	7	~20	30%	Low	Exception	Х	New building construction
	255	Crabapple <i>Malus spp</i> .	11	~30	50%	Mod	Exception	Х	New building construction
	256	Bottlebrush <i>Callistemon spp</i> .	4,4	~20	70%	Mod	Protected	Х	New building construction
	257	Alepo Pine <i>Pinus halepensis</i>	6	~20	30%	Low	Protected	2019 X	Fire prone, within 50 feet of structures
	258	Victorian Box <i>Pittosporum undulatum</i>	4,3	~20	50%	Low	Protected	Х	New building construction
	259	Victorian Box <i>Pittosporum undulatum</i>	6,5,2,2	~20	50%	Mod	Protected	Х	New building construction
	260	Blue Gum <i>Eucalyptus globulus</i>	52	~50	50%	Low	Large Protected		
	261	Jacaranda <i>Jacaranda mimosifolia</i>	7	~20	50%	Mod	Protected		
	262	Portugal Laurel <i>Prunus Iusitanica</i>	6,5,4,4, 4	~20	30%	Low	Protected		
	263	Japanese Cherry <i>Prunus serrulata</i>	10	~20	50%	Low	Protected	X	Grading limits
	264	Coast Live Oak <i>Quercus agrifolia</i>	20	~30	70%	High	Protected	Х	New building construction
	265	Cherry <i>Prunus spp</i> .	12	~20	30%	Low	Exception	Х	Grading limits
	266	California Black Walnut Juglans californica	8	~20	30%	Low	Protected	X	New building construction
	267	Coast Live Oak <i>Quercus agrifolia</i>	7	<10	50%	Low	Protected	Х	Grading limits
	268	California Bay <i>Umbellularia californica</i>	5	<10	50%	Low	Protected	Х	Grading limits
	269	African sumac <i>Searsia lancea</i>	12	~30	10%	Low	Protected	X	Poor condition
	270	African sumac <i>Searsia lancea</i>	9,9	~30	10%	Low	Protected	Х	Poor condition
	271	Coast Live Oak <i>Quercus agrifolia</i>	11	~20	50%	Low	Protected	Х	Within grading limits
	272	Coast Live Oak <i>Quercus agrifolia</i>	13	~20	50%	Mod	Protected	Х	Within grading limits
	273	African sumac <i>Searsia lancea</i>	13,11	~20	50%	Low	Protected	Х	Within grading limits
	274	Glossy Privet <i>Ligustrum lucidum</i>	8,5	~20	50%	Mod	Exception	2019 X	Invasive
	275	African sumac <i>Searsia lancea</i>	9,7	~20	10%	Low	Protected	Х	Poor condition
	276	Crabapple <i>Malus spp.</i>	13	~20	70%	Mod	Exception	Х	New building construction
Ē -	277	Crabapple <i>Malus spp</i> .	13	~20	70%	Mod	Exception	X	New building construction
2:	278	California Bay <i>Umbellularia californica</i>	6,5	~20	70%	Mod	Protected	Х	New building construction
. /07 /0 :	279	Flowering Dogwood <i>Cornus florida</i>	9,4	~20	70%	High	Protected	Х	New EVA. construction
!		Coast Live Oak	1		I	1	1	I	

		TAD			· <i>)</i>	<u> </u>		
TREE/		TRUNK DIAMETER (INCHES)	APPROX. CROWN DIAMETER (FEET)	CONDITION OUT OF 100%	SUITABILITY FOR PRESERVATION	PROTECTED STATUS	REMOVAL	REASON FOR REMOVAL
TAG NO.	TREE NAME	TR.	API (FE	100	N	PRO	REI	RE
281	California Bay <i>Umbellularia californica</i>	6,4,3,2	~20	50%	Low	Protected	X	Within grading limits
282	Coast Live Oak <i>Quercus agrifolia</i>	15	~30	70%	High	Protected	X	Within grading limits
283	Coast Live Oak <i>Quercus agrifolia</i>	9	~20	50%	Low	Protected	X	Within grading limits
284	Windmill Palm Trachycarpus fortunei		~20	90%	Mod	Exception	X	New building construction
285	African Fern Pine Afrocarpus gracilior	4	~10	30%	Low	Protected	X	New building construction
286	Hollywood Juniper <i>Juniperus chinensis</i>	12,6,5	~20	50%	Low	Protected	X	New building construction
287	Red Maple <i>Acer rubrum</i>	12	~30	70%	High	Protected	X	New building construction
288	White Willow <i>Salix alba</i>	24	~50	70%	Mod	Protected	X	New building construction
289	Valley Oak <i>Quercus Iobata</i>	28	~30	30%	Low	Large Protected	X	New building construction
290	Sweet Gum Tree <i>Liquidambar styraciflua</i>	15	~30	70%	High	Protected	X	New building construction
291	Sweet Gum Tree <i>Liquidambar styraciflua</i>	20	~30	50%	Mod	Protected	X	New building construction
292	Coast Live Oak <i>Quercus agrifolia</i>	15	~30	30%	Low	Protected	Х	New building construction
293	Ginkgo <i>Ginkgo biloba</i>	5	~20	50%	Mod	Protected	Х	New building construction
294	Coast Live Oak <i>Quercus agrifolia</i>	19	~30	30%	Low	Protected		
295	California Bay <i>Umbellularia californica</i>	6	~20	30%	Low	Protected		
296	Coast Live Oak <i>Quercus agrifolia</i>	26,25, 17	~60	50%	Mod	Large Protected	X	Retaining Wall Construction
297	Arroyo Willow <i>Salix Iasiolepis</i>	18,16	~30	30%	Low	Protected	X	Poor condition
298	Coast Live Oak <i>Quercus agrifolia</i>	18	~30	50%	Low	Protected	X	New building construction
299	African Fern Pine <i>Afrocarpus gracilior</i>	8	~20	30%	Low	Protected	X	New building construction
300	African Fern Pine Afrocarpus gracilior	8	~20	30%	Low	Protected	X	New building construction
301	Japanese Maple <i>Acer palmatum</i>	5	~20	50%	Mod	Protected	X	New building construction
302	Crabapple <i>Malus spp.</i>	9	~20	50%	Low	Exception	X	New building construction
303	Coast Live Oak <i>Quercus agrifolia</i>	19	~30	50%	Mod	Protected	Х	New building construction
304	Coast Live Oak <i>Quercus agrifolia</i>	13	~20	50%	Low	Protected	Х	New building construction
305	Coast Live Oak <i>Quercus agrifolia</i>	5	~20	30%	Low	Protected	Х	New building construction
306	Coast Live Oak <i>Quercus agrifolia</i>	9	~20	30%	Low	Protected	X	New building construction
307	Coast Live Oak <i>Quercus agrifolia</i>	4	~20	30%	Low	Protected	Х	New building construction
308	Coast Live Oak <i>Quercus agrifolia</i>	12	~20	10%	Low	Protected	X	Poor condition
309	Sugar Gum Tree <i>Liquidambar styraciflua</i>	33	~50	30%	Low	Protected	X	Risk, poor condition
310	Sugar Gum Tree <i>Liquidambar styraciflua</i>	33	~50	30%	Low	Protected	X	Risk, poor condition
311	Coast Live Oak <i>Quercus agrifolia</i>	8	~20	50%	Low	Protected	X	New building construction
312	Coast Live Oak <i>Quercus agrifolia</i>	12	~30	50%	Low	Protected	X	New building construction
313	Coast Live Oak <i>Quercus agrifolia</i>	17	~30	50%	Low	Protected	X	New building construction
314	California Bay <i>Umbellularia californica</i>	18,14	~30	70%	High	Protected	X	New building construction
315	California Bay <i>Umbellularia californica</i>	9	~20	50%	Mod	Protected	X	New EVA. construction
316	California Bay <i>Umbellularia californica</i>	11	~20	50%	Mod	Protected	X	New EVA. construction
317	Valley Oak <i>Quercus Iobata</i>	18	~30	30%	Low	Protected	X	New EVA. construction
318	Coast Live Oak <i>Quercus agrifolia</i>	14	~20	50%	Low	Protected	Х	New EVA. construction
319	California Bay <i>Umbellularia californica</i>	9,6,5	~20	50%	Mod	Protected	Х	New EVA. construction
320	California Bay <i>Umbellularia californica</i>	9	~20	50%	Low	Protected	Х	New EVA. construction

# TREE INVENTORY TABLE (CONT.)

TREE/ TAG NO.	TREE NAME	TRUNK DIAMETER (INCHES)	APPROX. CROWN DIAMETER (FEET)	CONDITION OUT OF 100%	SUITABILITY FOR PRESERVATION	PROTECTED STATUS	REMOVAL	REASON FOR REMOVAL
321	Coast Live Oak <i>Quercus agrifolia</i>	14	~20	30%	Low	Protected	Х	New EVA. construction
322	California Bay <i>Umbellularia californica</i>	19	~30	50%	Mod	Protected	Х	New EVA. construction
323	Coast Live Oak <i>Quercus agrifolia</i>	10	~20	50%	Low	Protected	Х	New EVA. construction
324	Valley Oak <i>Quercus Iobata</i>	13	~30	30%	Low	Protected	Х	Risk, poor condition
325	Coast Live Oak <i>Quercus agrifolia</i>	8	~20	30%	Low	Protected	Х	New EVA. construction
326	Coast Live Oak <i>Quercus agrifolia</i>	13	~20	30%	Low	Protected	Х	Risk, poor condition
327	California Bay <i>Umbellularia californica</i>	10	~20	30%	Low	Protected	Х	Poor condition, SOD carrier, fire prone
328	California Bay <i>Umbellularia californica</i>	12	~20	30%	Low	Protected	Х	Poor condition, SOD carrier, fire prone
329	Coast Live Oak <i>Quercus agrifolia</i>	8	~20	30%	Low	Protected	Х	New building construction
330	California Bay Umbellularia californica	10	~20	30%	Low	Protected	Х	Poor condition, SOD carrier, fire prone
331	Coast Live Oak <i>Quercus agrifolia</i>	17,14	~30	70%	Mod	Protected	Х	New building construction
332	Purpleleaf Plum  Prunus spp.	8	~20	30%	Low	Protected	2019 X	Invasive
333	Coast Live Oak <i>Quercus agrifolia</i>	27	~30	10%	Low	Protected	X	Risk, poor condition
334	California Bay  Umbellularia californica	12,11	~30	30%	Low	Protected	Х	Poor condition, SOD carrier, fire prone
335	Coast Live Oak  Quercus agrifolia	10	~20	30%	Low	Protected	X	New building construction
336	California Bay  Umbellularia californica	10	~20	50%	Low	Protected	X	New building
337	Coast Live Oak	22,10	~30	30%	Low	Protected	Х	construction  New building
338	Quercus agrifolia  California Bay	11	~20	50%	Mod	Protected	X	construction Poor condition, SOD
339	Umbellularia californica  Coast Live Oak	 15	~20	50%	Low	Protected	Х	carrier, fire prone  New building
340	Quercus agrifolia  Blackwood Acacia	5	~20	70%	Low	Exception	2019	construction Invasive, Fire prone
341	Acacia melanoxylon  California Bay	12	~20	50%	Low	Protected	X	New building
342	Umbellularia californica California Bay	12	~20	50%	Low	Protected	X	construction  New building
343	Umbellularia californica  Coast Live Oak	14	~30	50%	Mod	Protected	X	construction  New building
344	<i>Quercus agrifolia</i> Coast Live Oak	18	~10	70%	Mod	Protected	X	construction  New building
	<i>Quercus agrifolia</i> Coast Live Oak	 						construction
345	<i>Quercus agrifolia</i> Olive		~20	10%	Low	Protected	X 2019	Poor condition
346	<i>Olea spp.</i> Coast Live Oak	9,7	~20	50%	Low	Protected	X	Invasive New building
347	<i>Quercus agrifolia</i> Marina Madrone	5	~20	30%	Low	Protected	X	construction  New building
348	<i>Arbutus 'Marina'</i> Valley Oak	14	~20	50%	High	Protected Large	X	construction
349	<i>Quercus lobata</i> Valley Oak	34	~30	30%	Low	Protected  Large	X	Risk, Poor condition  New building
350	Quercus lobata  Coast Live Oak	37	~50	50%	Low	Protected	X	construction  New building
351	Quercus agrifolia  Coast Live Oak	9	~20	50%	Low	Protected	X	construction
352	Quercus agrifolia  Coast Live Oak	10	~20	30%	Low	Protected	Х	New building construction
353	Quercus agrifolia  New Zealand Cabbage	13	~20	50%	Mod	Protected	X 2019	New building construction
354	Cordyline australis	5	~10	30%	Low	Exception	2019 X	Invasive
355	Hackberry <i>Celtis spp.</i>	6	~10	10%	Low	Protected	X	Poor condition
356	Hackberry  Celtis spp.	9	~20	30%	Low	Protected	Х	New building construction
357	Italian Cypress Cupressus sempervirens	6	~10	90%	Mod	Protected	Х	New building construction
358	Italian Cypress Cupressus sempervirens	8	~10	90%	Mod	Protected	Х	New building construction
359	California Bay <i>Umbellularia californica</i>	10	~20	30%	Low	Protected	Х	Poor condition, SOD carrier, fire prone
360	California Bay <i>Umbellularia californica</i>	9	~20	50%	Low	Protected	Х	Retaining Wall Construction



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# LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS CALIFORNIA

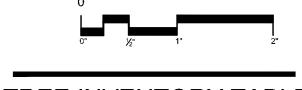
ISSUE: DESCRIPTION:





PROJECT NUMBER DRAWN: CHECK: DATE:

M 07/27/



TREE INVENTORY TABLE

**T-4** 

Coast Live Oak

Quercus agrifolia

12,10

~30

50%

Low

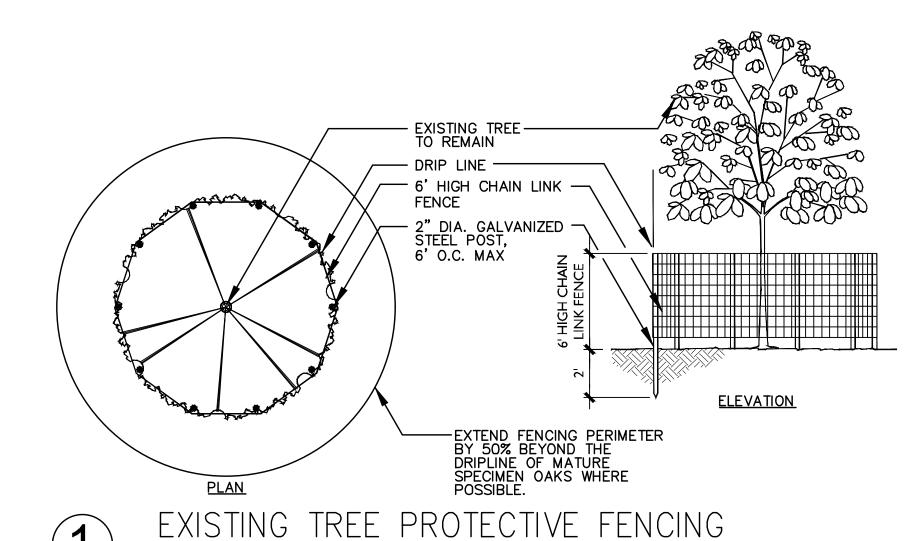
Protected X

New EVA. construction

## TREE INVENTORY TABLE (CONT.)

IKEE	LINVENTORY	IAB		JOINT	• )			
TREE/ TAG NO.	TREE NAME	TRUNK DIAMETER (INCHES)	APPROX. CROWN DIAMETER (FEET)	CONDITION OUT OF 100%	SUITABILITY FOR PRESERVATION	PROTECTED STATUS	REMOVAL	REASON FOR REMOVAL
361	California Bay <i>Umbellularia californica</i>	8	~20	30%	Low	Protected	Х	Poor condition, SOD carrier, fire prone
362	California Buckeye Aesculus californica	9	~20	50%	Low	Protected	Х	Retaining Wall Construction
363	Coast Live Oak <i>Quercus agrifolia</i>	5,4	~20	10%	Low	Protected	Χ	Within grading limits
364	Coast Live Oak <i>Quercus agrifolia</i>	4	~10	50%	Low	Protected		
365	California Bay <i>Umbellularia californica</i>	4	~10	50%	Low	Protected	X	New retaining wall construction of stormwater treatment area
366	Bailey acacia <i>Acacia baileyana</i>	5	~10	10%	Low	Protected	2019 X	Invasive
367	Bailey acacia <i>Acacia baileyana</i>	7	~20	30%	Low	Protected	2019 X	Invasive
368	Bailey acacia <i>Acacia baileyana</i>	5	~20	30%	Low	Protected	2019 X	Invasive
369	Bailey acacia <i>Acacia baileyana</i>	7,7,7,6	~30	30%	Low	Protected	2019 X	Invasive
370	Bailey acacia <i>Acacia baileyana</i>	1	~30	30%	Low	Protected	2019 X	Invasive
371	Plum <i>Prunus spp.</i>	5,4	~20	30%	Low	Protected		
372	Coast Live Oak <i>Quercus agrifolia</i>	9,8	~20	50%	Low	Protected	X	New retaining wall construction of stormwater treatment area
373	California Bay <i>Umbellularia californica</i>	8	~10	30%	Low	Protected	X	New EVA. construction
374	Coast Redwood <i>Sequioa sempervirens</i>	10	~20	90%	High	Protected		
375	Coast Redwood <i>Sequioa sempervirens</i>	14	~20	90%	High	Protected		

TREES TO BE REMOVED AND PRESERVED PER THE ARBORIST REPORT BY HORTSCIENCE DATED ON OCTOBER 12, 2020



## TREE PROTECTION NOTES:

THE FOLLOWING TREE PROTECTION MEASURES AND RECOMMENDATIONS ARE PREPARED BY HORTSCIENCE/BARTLETT CONSULTING DATED ON OCTOBER 12, 2020.

**Tree Preservation Guidelines**

The goal of tree preservation is not merely tree survival during development but maintenance of tree health and beauty for many years. Trees retained on sites that are either subject to extensive injury during construction or are inadequately maintained become a liability rather than an asset. The response of individual trees will depend on the amount of excavation and grading, the care with which demolition is undertaken, and the construction methods. Coordinating any construction activity inside the **Tree Protection Zone** can minimize these impacts.

The following recommendations will help reduce impacts to trees from development and maintain and improve their health and vitality through the clearing, grading and construction phases. All tree protection measures to comply with Town of Los Gatos Municipal Code Sec.29.10.1005-Protection of Trees During Construction.

#### Tree Protection Zone

- A TREE PROTECTION ZONE shall be identified for each tree to be preserved. The TREE PROTECTION ZONE for each tree shall be the dripline of the tree. In most cases, groups of trees can be protected collectively.
- 2. Fence all trees to be retained to completely enclose the TREE PROTECTION ZONE prior to demolition, grubbing or grading. Fences shall be 6 ft. chain link with 2-inch diameter galvanized iron posts driven into the ground to a depth of at least 2 feet at no more than 10-foot spacing, or equivalent as approved by the Town. Tree #75 shall be fenced at the edge of construction. Trees to remain in the sequences of #19-102 and 101-127 can be fenced along the western edge of their collective dripline. All other trees to remain can be protected by the perimeter fencing at their collective driplines at the limit of grading on the northern, eastern, and southern edges of the project.
- Fences must be installed before demolition, grading or construction permits are issued and
  must remain in place until construction is complete. Contractor shall first obtain the approval
  of the Consulting Arborist on record prior to removing a tree protection fence.
- No grading, excavation, construction or storage or dumping of materials shall occur within the TREE PROTECTION ZONE. Excavation within the dripline of tree #75 shall be approved by and
- No underground services including utilities, sub-drains, water or sewer shall be placed in the TREE PROTECTION ZONE.
- Warning sign. Each tree fence shall have prominently displayed an 8.5 x 11-inch sign stating: "Warning—Tree Protection Zone-this fence shall not be removed and is subject to penalty according to Town Code 29.10.1025".
- 7. The attachment of wires, signs or ropes to any protected tree is prohibited.

#### Design recommendations

monitored by the Consulting Arborist.

- Any changes to the plans affecting the trees should be reviewed by the consulting arborist
  with regard to tree impacts. These include, but are not limited to, site plans, improvement
  plans, utility and drainage plans, grading plans, landscape and irrigation plans, and
  demolition plans.
- Plan for tree preservation by designing adequate space around trees to be preserved. This is
  the TREE PROTECTION ZONE: No grading, excavation, construction or storage of materials
  should occur within that zone. Route underground services including utilities, sub-drains,
  water or sewer around the TREE PROTECTION ZONE.
- Consider the vertical clearance requirements near trees during design. Avoid designs that would require pruning more than 20% of a tree's canopy.
- All plans affecting trees shall be reviewed by the Consulting Arborist with regard to tree impacts. These include, but are not limited to, demolition plans, grading plans, drainage plans, utility plans, and landscape and irrigation plans.
- 5. Irrigation systems must be designed so that no trenching severs roots larger than 1" in diameter will occur within the **TREE PROTECTION ZONE**.
- Tree Preservation Guidelines prepared by the Consulting Arborist, which include specifications for tree protection during demolition and construction, should be included on all plans.
- 7. Any herbicides placed under paving materials must be safe for use around trees and labeled
- 8. Do not lime the subsoil within 50' of any tree. Lime is toxic to tree roots.
- As trees withdraw water from the soil, expansive soils may shrink within the root area.
   Therefore, foundations, footings and pavements on expansive soils near trees should be designed to withstand differential displacement.
- 10. Ensure adequate but not excessive water is supplied to trees; in some cases occasional irrigation will be required. Avoid directing runoff toward trees.

#### Pre-demolition and pre-construction treatments and recommendations

- The demolition and construction superintendents shall meet with the Consulting Arborist before beginning work to review all work procedures, access routes, storage areas, and tree protection measures.
- 2. Prior to the commencement of construction, install the fence at the dripline, or TREE PROTECTION ZONE around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TREE PROTECTION ZONE. The dripline shall not be altered in any way so as to increase the encroachment of the construction.
- 3. Branches extending into the work area that can remain following demolition shall be tied back and protected from damage.
- 4. Fences are to remain until all grading and construction is completed. Where demolition must occur close to trees, such as removing curb and pavement, install trunk protection devices such as winding silt sock wattling around trunks or stacking hay bales around tree trunks.
- Prune trees to be preserved to clean the crown of dead branches 1" and larger in diameter, raise canopies as needed for construction activities.
  - a. All pruning shall be done by a State of California Licensed Tree Contractor (C61/D49). All pruning shall be done by Certified Arborist or Certified Tree Worker in accordance with the Best Management Practices for Pruning (International Society of Arboriculture, 2002) and adhere to the most recent editions of the American National Standard for Tree Care Operations (Z133.1) and Pruning (A300).
  - b. The Consulting Arborist will provide pruning specifications prior to site demolition.c. Branches extending into the work area that can remain following demolition shall be tied back and protected from damage.
  - d. While in the tree the arborist shall perform an aerial inspection to identify any defects, weak branch and trunk attachments and decay not visible from the ground. Any additional work needed to mitigate defects shall be reported to the property owner.
- 6. Tree(s) to be removed that have branches extending into the canopy of tree(s) or located within the TREE PROTECTION ZONE of tree(s) to remain shall be removed by a Certified Arborist or Certified Tree Worker and not by the demolition contractor. The Certified Arborist or Certified Tree Worker shall remove the trees in a manner that causes no damage to the tree(s) and understory to remain. Stumps shall be ground below grade.

# 7. Trees to be removed shall be felled so as to fall away from TREE PROTECTION ZONE and avoid pulling and breaking of roots of trees to remain. If roots are entwined, the Consulting Arborist may require first severing the major woody root mass before extracting the trees, or grinding

- 8. All down brush and trees shall be removed from the TREE PROTECTION ZONE either by hand, or with equipment sitting outside the TREE PROTECTION ZONE. Extraction shall occur by lifting the material out, not by skidding across the ground. Brush shall be chipped and spread beneath the trees within the TREE PROTECTION ZONE
- 9. Structures and underground features to be removed within the TREE PROTECTION ZONE shall use equipment that will minimize damage to trees above and below ground, and operate from outside the TREE PROTECTION ZONE. Tie back branches and wrap trunks with protective materials to protect from injury as directed by the Project arborist. The Project arborist shall be on-site during all operations within the TREE PROTECTION ZONE to monitor demolition activity.
- 10. All tree work shall comply with the Migratory Bird Treaty Act as well as California Fish and Wildlife code 3503-3513 to not disturb nesting birds. To the extent feasible tree pruning and removal should be scheduled outside of the breeding season. Breeding bird surveys should be conducted prior to tree work. Qualified biologists should be involved in establishing work buffers for active nests.

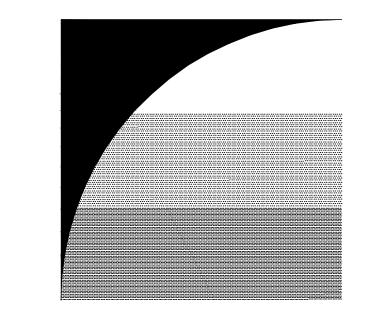
#### Recommendations for tree protection during construction

- 1. Any approved grading, construction, demolition or other work within the TREE PROTECTION ZONE should be monitored by the Consulting Arborist. The Consulting arborist shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project Consulting Arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
- 2. All contractors shall conduct operations in a manner that will prevent damage to trees to be preserved.
- Tree protection devices are to remain until all site work has been completed within the work area. Fences or other protection devices may not be relocated or removed without permission of the Consulting Arborist.
- 4. Construction trailers, traffic and storage areas must remain outside TREE PROTECTION ZONE at all times
- Construction activities within the TREE PROTECTION ZONE, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree are prohibited, unless approved by the Director, per Sec.10.29.1005.
- Any root pruning required for construction purposes shall receive the prior approval of and be supervised by the Project Arborist. Roots should be cut with a saw to provide a flat and smooth cut. Removal of roots larger than 2" in diameter should be avoided.
- 7. If roots 2" and greater in diameter are encountered during site work and must be cut to complete the construction, the Project Arborist must be consulted to evaluate effects on the
- health and stability of the tree and recommend treatment.

  8. Any brush clearing required within the TREE PROTECTION ZONE shall be accomplished with
- hand-operated equipment.
  9. All down brush and trees shall be removed from the TREE PROTECTION ZONE either by hand, or with equipment sitting outside the TREE PROTECTION ZONE. Extraction shall occur by lifting the material out, not by skidding across the ground.
- 10. Prior to grading or trenching, trees may require root pruning outside the TREE PROTECTION ZONE. Any root pruning required for construction purposes shall receive the prior approval of, and be supervised by, the Project Arborist.
- 11. Spoil from trench, footing, utility or other excavation shall not be placed within the TREE PROTECTION ZONE, neither temporarily nor permanently.
- 12. All grading within the dripline of trees shall be done using the smallest equipment possible. The equipment shall operate perpendicular to the tree and operate from outside the TREE PROTECTION ZONE. Any modifications must be approved and monitored by the Consulting Arborist
- 13. All trees shall be irrigated on a schedule to be determined by the Consulting Arborist (every 3 to 6 weeks is typical). Each irrigation shall wet the soil within the TREE PROTECTION ZONE to a depth of 30".
- 14. If injury should occur to any tree during construction, it should be evaluated as soon as possible by the Consulting Arborist so that appropriate treatments can be applied. The Director and Consulting Arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.
- 15. No excess soil, chemicals, debris, equipment or other materials shall be dumped or stored within the **TREE PROTECTION ZONE**. Disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree are prohibited.
- 16. Any additional tree pruning needed for clearance during construction must be performed by a Certified Arborist and not by construction personnel.
- 17. Trees that accumulate a sufficient quantity of dust on their leaves, limbs and trunk as judged by the Consulting Arborist shall be spray-washed at the direction of the Project Arborist.

#### Maintenance of impacted trees

Our procedures included assessing trees for observable defects in structure. This is not to say that trees without significant defects will not fail. Failure of apparently defect-free trees does occur, especially during storm events. Wind forces, for example, can exceed the strength of defect-free wood causing branches and trunks to break. Wind forces coupled with rain can saturate soils, reducing their ability to hold roots, and blow over defect-free trees. Although we cannot predict all failures, identifying those trees with observable defects is a critical component of enhancing public safety.



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# LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS CALIFORNIA

ISSUE: DESCRIPTION:

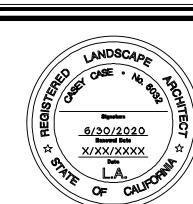
NOT FOR CONSTRUCTION

DATE:

MF/TZ

07/27/2021

KC



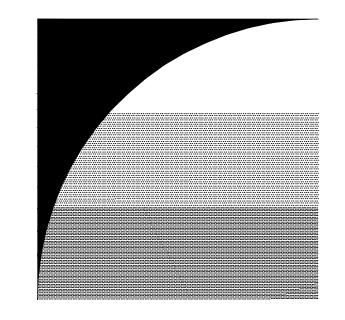
PROJECT NUMBER: DRAWN:

DRAWN: CHECK: DATE: SCALE:

TREE INVENTORY TABLE AND NOTES

T-5





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110 WOOD ROAD LOS GATOS CALIFORNIA

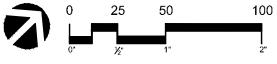
ISSUE: DESCRIPTION:

NOT FOR CONSTRUCTION



PROJECT NUMBER: 560
DRAWN: MF/
CHECK:

DATE: 07/27/20
SCALE: SCA



OVERALL ILLUSTRATIVE SITE PLAN

LS-1

7

of -

## LAYOUT NOTES

- CONTRACTOR SHALL VERIFY ALL UTILITIES, GRADES, EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. ALL DISCREPANCIES OR QUESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION.
- ALL WRITTEN DIMENSIONS SUPERCEDE ALL SCALED DISTANCES AND DIMENSIONS. DIMENSIONS SHOWN ARE FROM THE FACE OF THE BUILDING, WALL, BACK OF CURB, EDGE OF WALK, PROPERTY LINE, OR CENTERLINE OF COLUMN UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 3. ALL DIMENSIONS AT BUILDING ARE TO FACE OF BUILDING. ALL DIMENSIONS AT ROADWAY ARE TO FACE OF CURB.
- ALL ANGLES ARE 45 DEGREE, 90 DEGREE, OR 135 DEGREE UNLESS OTHERWISE NOTED.
- 5. ALL CURVES AND ALL TRANSITIONS BETWEEN CURVES AND STRAIGHT EDGES SHALL BE SMOOTH.
- ALL RETURN RADII AND CURB DATA ARE TO FACE OF CURB.
- WHENEVER BOTTOM OF WALL (BW) ELEVATION IS GIVEN, IT IS FINISH PAVEMENT OR GRADE ELEVATION AT FACE OF WALL.
- SCORE LINES IN SIDEWALKS SHALL BE SPACED TO EQUAL THE WIDTH OF THE WALKWAY, UNLESS OTHERWISE SHOWN. EXPANSION JOINTS IN SIDEWALKS SHALL BE 20' ON CENTER MAXIMUM.
- 9. EXPANSION JOINTS IN CONCRETE WALLS SHALL BE AT 40' O.C. MAXIMUM.
- 10. BUILDING LAYOUT AND LOCATION, SIDEWALK, CURB AND GUTTER, GRADING AND DRAINAGE IS BASED ON DRAWINGS PREPARED BY THE ARCHITECT AND THE CIVIL ENGINEER.
- STATIONING HEREON IS ALONG CONSTRUCTION CENTERLINE UNLESS OTHERWISE SHOWN OR INDICATED.
- 12. ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTOR'S NEGLIGENCE WILL BE CHARGED TO THE CONTRACTOR ON A TIME AND EXPENSES BASIS AND PAID FOR BY THE CONTRACTOR.
- 13. SEE IRRIGATION DRAWINGS FOR GENERAL SYSTEM REQUIREMENTS AND FOR LOCATION OF IRRIGATION MAINLINE PIPING. SLEEVES TO ACCOMMODATE IRRIGATION PIPING, SIZED AS NEEDED, SHALL BE IN PLACE UNDER AND THROUGH SLABS AND WALLS, PRIOR TO POURING.
- 14. PROVIDE CONTINUOUS HEADERS AT THE EDGES OF ALL AC PAVING, SHRUB AREAS, LAWN AREAS, DECOMPOSED GRANITE WHERE IT IS NOT CONSTRAINED BY A CONCRETE PAVING OR MOW BAND.
- 15. ALL CONCRETE PAVEMENTS SHALL BE DOWELED INTO CURBS, SIDEWALKS, AND BUILDING **FOUNDATIONS**
- 16. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION, SECTIONS, REINFORCEMENT, AND PREPARATION. IN CASE OF DISCREPANCY THE GEOTECHNICAL REPORT SHALL GOVERN.
- 17. ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE.
- ANY AND ALL WORK WITHIN TOWN OF LOS GATOS RIGHT OF WAY SHALL CONFORM TO ALL TOWN OF LOS GATOS STANDARD DETAILS AND SPECIFICATIONS.
- 19. CONCRETE FOOTINGS INSTALLED FOR ALL SITE FURNISHINGS, SPORTS EQUIPMENT, ETC.. IN DECORATIVE PAVEMENT, ASPHALT PAVING, DECOMPOSED GRANITE, CONCRETE PAVING, AND PLANTERS SHALL BE HELD BELOW GRADE.
- 20. ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED AS REQUIRED. ANY DAMAGED ITEMS SHALL BE FULLY REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE TO THE FULL SATISFACTION OF THE
- 21. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH OPERATIONS.
- 22. ALL QUANTITIES AND PAY ITEMS ARE AND WILL BE BASED ON HORIZONTAL MEASUREMENTS.
- 23. ALL PATTERNS, LINE TYPES, AND SYMBOLS SHOWN WITHIN THE PLAN SET REFERENCE THE LAYOUT LEGEND AND ARE PART OF THE SCOPE OF WORK. CALLOUTS ARE SHOWN FOR CLARIFICATION OF WORK, BUT DO NOT INDICATE EVERY AND ALL INSTANCES OF SUCH WORK. THE CONTRACTOR SHALL REQUEST CLARIFICATION TO ANY ITEMS (INCLUDING BUT NOT LIMITED TO PAVING, WALLS, FINISHES, COLORS, FENCING, FOUNTAINS, POTS, AND SITE FURNITURE) NOT CLEARLY IDENTIFIED TO BE PART OF THE SCOPE OF WORK PRIOR TO BID.
- 24. THE CONTRACT DRAWINGS MUST BE ACCOMPANIED BY CONTRACT SPECIFICATIONS. THE CONTRACTOR MUST CONTACT THE LANDSCAPE ARCHITECT AT 925-736-8176 FOR SPECIFICATIONS IF NOT RECEIVED.
- 25. THE CONTRACTOR IS RESPONSIBLE FOR ALL WORK AND MATERIALS OF THE CONTRACT DOCUMENTS INCLUDING ALL WORK AND MATERIALS PROVIDED BY SUBCONTRACTORS. ALL QUALIFICATIONS OF THE CONTRACT DOCUMENTS INCLUDING ALL SPECIFIC EXCLUSIONS OF ANY WORK, DETAILS, MATERIALS, AND INCIDENTALS SHALL BE CONFIRMED AND ACCEPTED IN WRITING BY THE CONTRACTOR AND OWNER UPON FINALIZATION OF BIDS AND CONTRACT. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ALL QUALIFICATIONS AND NOTIFICATIONS.

# LAYOUT LEGEND

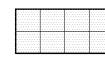
PEDESTRIAN SAWCUT CONCRETE PAVING TYPE: INTEGRAL COLOR CONCRETE COLOR: PEBBLE BY DAVIS COLORS FINISH: MEDIUM BROOM/TOPOCAST 25



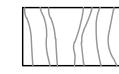
VEHICULAR SAWCUT CONCRETE PAVING TYPE: INTEGRAL COLOR CONCRETE COLOR: DARK GRAY BY DAVIS COLORS FINISH: MEDIUM BROOM



VEHICULAR SAWCUT CONCRETE PAVING TYPE: INTEGRAL COLOR CONCRETE COLOR: DARK GRAY BY DAVIS COLORS FINISH: TOPCAST 25



VEHICULAR PAVERS TYPE: GRANITE PAVERS MFR: COLD SPRING GRANITE SIZE: 8"X8"X3" THICKNESS COLOR: ACADEM BLACK FINISH: THERMAL



SEEDED GLASS IN PAVING COLOR: MIX TO BE SELECTED SIZE:  $1/8" \phi - 1/4" \phi + /-$ 



TONE AC PAVING (PEDESTRIAN TRAIL)

## PLANTING NOTES

#### **GENERAL**

- ALL WORK SHALL BE PERFORMED BY PERSONS FAMILIAR WITH PLANTING WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.
- ALL QUANTITIES AND PLANT COUNTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. IN CASE OF DISCREPANCIES, THE PLAN SHALL GOVERN.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS, AND DELETIONS IN THE PLANTING SCHEME AS THEY FEEL NECESSARY WHILE WORK IS IN PROGRESS, UPON APPROVAL BY THE OWNER. SUCH CHANGES ARE TO BE ACCOMPANIED BY EQUITABLE ADJUSTMENTS IN THE CONTRACT PRICE, WHEN NECESSARY.
- PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD BY THE LANDSCAPE ARCHITECT. PLANT LOCATIONS ARE TO BE ADJUSTED IN THE FIELD AS NECESSARY TO SCREEN UTILITIES, BUT SHALL NOT BLOCK WINDOWS, BLOCK SIGNS NOR IMPEDE ACCESS.
- THE DESIGN INTENT OF THE PLANTING PLAN IS TO ESTABLISH AN ATTRACTIVE MATURE LANDSCAPE APPEARANCE. FUTURE PLANT GROWTH WILL NECESSITATE TRIMMING, SHAPING, AND IN SOME CASE REMOVAL OF TREES AND SHRUBS AS AN ON-GOING MAINTENANCE PROCEDURE.
- ALL PLANTING AREA MUST BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE FULLY AUTOMATED AND OPERATIONAL WITH FULL COVERAGE PRIOR TO PLANTING.
- CONTRACTOR TO REVIEW ALL EXISTING, PROPOSED, & AS BUILT UTILITY PLANS PRIOR TO CONSTRUCTION. CONTRACTOR TO TAKE PRECAUTIONS IN EXCAVATION OF ALL TREE PLANTING PITS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS FOUND DURING CONSTRUCTION.
- CONTRACTOR MUST REVIEW ALL PLANS PRIOR TO THE BEGINNING OF CONSTRUCTION AND MAINTAIN THE FOLLOWING CLEARANCES FOR ALL TREE PLANTINGS. CONTRACTOR TO TAKE PRECAUTION IN ALL EXCAVATION ACTIVITY. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION.

FIRE HYDRANTS AND PIVS: 5' MINIMUM LIGHT POLES: 10' MINIMUM UTILITIES: 5' MINIMUM BUILDING ROOF EDGE: 5' MINIMUM

- CONTRACTOR TO PROVIDE AND ARRANGE FOR PLANT MATERIAL THRU CONTRACT GROW, PLANT BROKERS. OR DIRECT PURCHASE AS REQUIRED FOR THE FULL IMPLEMENTATION OF THE PROJECTS PLANTING PLAN. CONTRACTOR MUST SUBMIT WITHIN 30 DAYS AFTER AWARD OF A BID A DETAILED NURSERY LIST OF SECURED PLANT MATERIAL, CONTRACT GROW PLANT MATERIAL, AND ANY SUBSTITUTION REQUESTS. CONTRACTOR SHALL ARRANGE AND SECURE ALL PLANT MATERIAL WITHIN 30 DAYS OF BID. UPON DELIVERY, PLANT MATERIAL THAT DOES NOT MEET NURSERY STANDARDS, IS ROOTBOUND, OF POOR QUALITY & HEALTH, SUBSTANDARD SIZE, AND / OR IS NOT APPROVED BY THE LANDSCAPE ARCHITECT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. MATERIAL WHICH IS NOT SECURED AND IS UNAVAILABLE IN THE SIZE SPECIFIED SHALL BE UP-SIZED, IF AVAILABLE. ALL REPLACEMENT MATERIAL, SUBSTITUTIONS OR UP-SIZED PLANT MATERIAL MUST BE PROVIDED AS REQUIRED FOR THE FULL IMPLEMENTATION OF THE PLANTING PLAN AT NO ADDITIONAL COST TO THE CONTRACT AND OWNER.
- 10. PROCUREMENT OF PLANT MATERIAL SHALL NOT BE LIMITED TO NORTHERN CALIFORNIA. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRUCKING, INSPECTIONS, AND INCIDENTALS FOR PROVIDING PLANT MATERIAL FROM SOURCES OUT OF STATE AS REQUIRED BY THE PROJECT PLANTING PLAN.

#### EXISTING PLANT MATERIAL

- ALL EXISTING PLANT MATERIAL, TREES, OR LAWN TO REMAIN MUST BE PROTECTED AND MAINTAINED IN PLACE BY THE CONTRACTOR.
- ANY DAMAGED MATERIAL MUST BE FULLY REPLACED TO MATCH EXISTING BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CONTRACT AND OWNER.
- CONTRACTOR MUST MAINTAIN ANY EXISTING IRRIGATION SYSTEMS OR PROVIDE TEMPORARY IRRIGATION SYSTEMS AS REQUIRED TO ALL EXISTING PLANTING AREAS TO REMAIN.

### SOILS

- THE CONTRACTOR MAY PROTECT AND STOCKPILE EXISTING SITE SOILS WHICH MAY BE REUSED FOR PLANTING PURPOSES. EXISTING SOILS SHALL BE TESTED PRIOR TO STOCKPILE FOR SOILS SUITABILITY PER THE REQUIREMENTS BELOW.
- 3. ALL ORGANIC COMPOST SHALL HAVE AN AGRICULTURAL SUITABILITIES TEST FOR COMPATIBILITY TO EXISTING SITE SOILS. TEST RESULTS SHALL BE DATED WITHIN THE LAST 3 MONTHS OF THE SUBMITTAL.
- 4. ALL EXISTING SITE SOILS SHALL HAVE AN AGRICULTURAL SUITABILITIES TEST BY AN APPROVED SOILS TESTING LAB (WAYPOINT ANALYTICAL OR APPROVED EQUAL) AND ANALYSIS FOR RECOMMENDATIONS ON ORGANIC COMPOST, AMENDMENTS, GRO POWER FERTILIZER AND ANY INCIDENTALS. RECOMMENDATIONS CONTAINED IN THE SOILS ANALYSIS RESULTS ARE TO BE IMPLEMENTED BEFORE PLANTING OCCURS. CONTRACTOR SHALL PROVIDE UP TO 4 COMBINED TESTS AT LOCATIONS SELECTED BY THE LANDSCAPE ARCHITECT. SOIL SAMPLES TO BE TAKEN AND COMBINED FROM A DEPTH OF 6" AND 24". PROVIDE ADDITIONAL TESTING (ONE 6" AND ONE 24" DEPTH TEST PER 25,000 SF FOR AREAS WHICH WERE LIME TREATED). THE ORGANIC COMPOST TEST RESULTS LISTED ABOVE SHALL BE SUBMITTED TO THE SOILS LAB 3 FOR ACCURATE RECOMMENDATIONS OF THE SOIL AMENDMENT REQUIREMENTS. TEST RESULTS SHALL BE TAKEN AFTER ALL GRADING OPERATIONS ARE COMPLETE.
- ALL LIME TREATED SOILS IN AREAS TO RECEIVE PLANTING SHALL BE FULLY REMOVED AND REPLACED WITH CLEAN APPROVED IMPORT TOP SOIL AT NO COST TO THE OWNER. AN ADDITIONAL 8 SOILS TESTS MAY BE REQUESTED BY THE LANDSCAPE ARCHITECT. ALL TESTING SHALL BE PAID FOR BY THE CONTRACTOR.
- 6. ALL SOILS IMPORTED ONTO THE SITE FOR ANY PURPOSE SUCH AS GRADING, NON EXPANSIVE FILL, FILL, OR FOR ANY GENERAL PURPOSE MUST BE TESTED FOR PLANT SUITABILITY PRIOR TO PLACEMENT. ALL 1 IMPORT SOILS SHALL BE NON-DETRIMENTAL TO PLANT MATERIAL AND SOILS ANALYSIS SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. PROVIDE 1 TEST PER 500 CY OF MATERIAL.
- 7. ALL IMPORT SOILS SHALL BE FREE OF DELETERIOUS MATERIALS, AGGREGATES, AND ROCK. IMPORT SOIL SHALL BE LOAM / CLAY LOAM WITH A PH BETWEEN 6 AND 7.5. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS
- 8. FOR BID PURPOSES AMEND ALL SOIL WITH 6 YARDS OMRI COMPOST, 50LBS GYPSUM, 20LBS SOIL SULFUR AND 160LBS OF GRO-POWER PLUS 5-3-1 W/ M PER 1000SF. CONTRACTOR TO SUBMIT ALL DELIVERY 3. TICKETS FOR COMPOST AND FERTILIZERS FOR VERIFICATION.
- 9. SOIL IS TO BE AMENDED, AT THE RATE INDICATED BY THE SOIL ANALYSIS, TO BRING THE SOIL ORGANIC MATTER CONTENT TO A MINIMUM OF 3.5% BY DRY WEIGHT, AND A MINIMUM OF 2" OF QUALITY RECYCLED COMPOST, ON ALL PLANTING AREAS.
- 10. ALL PLANTERS IN AREAS WHICH HAVE BEEN COMPACTED, SUCH AS CONSTRUCTION STAGING AREAS AND IN PARKING LOTS, SHALL BE CROSS RIPPED TO THE FOLLOWING DEPTHS: PLANTERS LESS THAN THREE (3) FEET WIDE SHALL HAVE COMPACTION RELIEVED TO A MINIMUM DEPTH OF TWENTY-FOUR (24) INCHES BELOW SUBGRADE. PLANTERS THREE TO TEN (3-10) FEET WIDE MUST HAVE COMPACTION RELIEVED TO A MINIMUM DEPTH OF 18" BELOW SUBGRADE, PLANTERS MORE THAN 10' WIDE SHALL HAVE COMPACTION RELIEVED TO A MINIMUM DEPTH OF 12" BELOW SUBGRADE. AREAS SHALL BE PROTECTED AFTER DECOMPACTION.
- 11. CONTRACTOR SHALL PERFORM A PERCOLATION TEST AT THE BEGINNING OF CONSTRUCTION AT 1 LOCATION PER ACRE (MAX OF 4) TO DETERMINE THE DRAINAGE CAPACITY OF THE EXISTING SITE SOIL FOR TREE HEALTH. NOTIFY THE LANDSCAPE ARCHITECT IF DRAINAGE IS LESS THAN 2" PER HOUR.

#### TREES

- 1. ALL TREES SHALL BE SPECIMENS UNLESS SPECIFICALLY NOTED.
- ALL TREES ARE TO BE STAKED AS SHOWN ON THE TREE STAKING/GUYING DIAGRAMS. BRANCHING HEIGHT OF TREES SHALL BE A 6'-0" MINIMUM ABOVE FINISH GRADE. ALL TREES IN A FORMAL GROUP PLANTING MUST BE MATCHING IN SIZE AND SHAPE. ALL STREET TREES TO BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE OWNER. LANDSCAPE ARCHITECT SHALL BE CONSULTED REGARDING ORIENTATION OF TREES PRIOR TO PLANTING AND/OR BACKFILLING.
- PLANT TREES 3'-0" MINIMUM FROM FACE OF CURB AT PARKING, AND FROM EDGES OF PAVING. ALL TREES WITHIN 5' OF PAVING AREAS AND BUILDINGS MUST HAVE ROOT BARRIERS INSTALLED. SEE ROOT BARRIER DETAIL. DEEP ROOT BARRIER MODEL NO. UB.24.2. (415) 344-1464. INSTALL PER MANUFACTURER'S SPECIFICATIONS. WHERE WATER BARRIERS AND ROOT BARRIERS ARE REQUIRED, USE CENTURY PRODUCTS DUAL PURPOSE WATER/ ROOT BARRIER CR-PE24-20, (714)632-7083, S.C.D. FOR LOCATIONS OF WATER BARRIER.
- PROVIDE 4" BERM AROUND TREE FOR WATER BASIN. SEE TREE STAKING DETAIL. BERM TO BE REMOVED IN LAWN AREA AFTER INITIAL MAINTENANCE PERIOD. MULCH TREE WELL WITH 3" LAYER OF RECYCLED CHIPPED MULCH. KEEP MULCH AWAY FROM TREE TRUNK. HOLD LAWN AND HYDROSEED 2' CLEAR FROM TRUNKS, TYP.
- TREES MUST HAVE AN UNCUT LEADER THAT HAS A UNIFORM TAPER FROM BASE TO TIP. TREES MUST MEET AT LEAST NORMAL CALIPER AND HEIGHT FOR CONTAINER SIZE. OVERGROWN OR ROOT BOUND TREES ARE NOT ACCEPTABLE.
- FOR ALL TREES IN STORMWATER INFILTRATION ZONES HOLD FG OF ROOTBALL 4" ABOVE FG OF FLOWLINE. ADJUST ADJACENT GRADE OF SOIL TO BLEND UNIFORMLY AROUND ROOTBALL AND ALLOW UNIMPEDED FLOW OF WATER.

#### SHRUBS, GROUNDCOVERS AND VINES

- GROUNDCOVER MUST BE PLANTED AS SHOWN ON THE PLAN, INCLUDING UNDER SHRUBS AND IN TREE WATERING BASINS.
- SHRUBS AND PERENNIALS MUST HAVE ADEQUATE SETBACK FROM THE ADJACENT SIDEWALK AND EDGES OF PARKING LOT CURBS. NOTIFY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION IF PLANT MATERIAL MAY PROTRUDE INTO THE PATH OF TRAVEL.
- THE CONTRACTOR IS TO SECURE ALL VINES TO TRELLISES WITH APPROVED FASTENERS, ALLOWING FOR TWO (2) YEARS GROWTH. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT.

- ALL PLANTING NOT BOUNDED BY CONCRETE OR A HARDSCAPE EDGE SHALL BE COMPLETELY SURROUNDED BY HEADERS. ALL ASPHALT AND DECOMPOSED GRANITE AREAS TO BE COMPLETELY SURROUNDED BY HEADERS OR ADJACENT CONCRETE WORK.
- ALL PLANTING AREAS MUST BE TOP-DRESSED WITH 3" LAYER OF RECYCLED CHIPPED MULCH. COLOR: BROWN. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO ORDERING.
- ALL MULCH WITHIN STORMWATER PLANTING AREAS MUST BE 3" OF WASHED PEA GRAVEL. SUBMIT SAMPLE FOR REVIEW AND APPROVAL.
- ALL STORMWATER CURB CUTS MUST BE REINFORCED WITH A MINIMUM 12" WIDE x18" LONG x 6" DEEP BAND OF COBBLE. COBBLE SHALL BE 40% 4"-6" AND 60% 2"-3" NOIYO COBBLE. PROVIDE 24" WIDE BY 6" DEPTH OF COBBLE AROUND ALL CATCH BASINS LOCATED IN DRAINAGE AREAS. SUBMIT SAMPLE FOR REVIEW AND APPROVAL
- ALL RAINWATER LEADERS DISCHARGING INTO LANDSCAPE AREAS MUST HAVE SPLASH BLOCKS. MODEL: CDI 16X24". COLOR: TO MATCH PAVING. (800) 279-2278.
- 6. ALL SLOPES GREATER THAN 2.5:1 MUST BE COVERED WITH EROSION CONTROL NETTING PER THE MANUFACTURER'S SPECIFICATIONS. OVERLAP ALL EDGES A MINIMUM OF 12" AND SECURE AS REQUIRED WITH METAL STAPLES. EROSION CONTROL NETTING TO BE WESTERN EXCELSIOR, EXCEL CS-3 OR APPROVED EQUAL. AVAILABLE FROM REED & GRAHAM 888-381-0800.
- SEE SPECIFICATIONS FOR ALL FERTILIZER REQUIREMENTS

- CONTRACTOR MUST SUBMIT ALL TESTS, PRODUCTS, ACCESSORIES, INCIDENTALS, CUT SHEETS OF ALL ITEMS SPECIFIED FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY. CONTRACTOR SHALL SUBMIT PHOTOS OF ALL SHRUBS, GROUND COVERS, VINES, AND TREES FOR PRELIMINARY REVIEW AND APPROVAL.
- ALL SUBMITTALS AND PLANT MATERIAL NOT REVIEWED AND APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT MAY BE SUBJECT TO FULL REMOVAL AND REPLACEMENT WITH APPROVED SOILS. FERTILIZERS. AND PLANT MATERIAL AT NO ADDITIONAL COST TO THE CONTRACT OR OWNER.
- SUBMITTALS AND SITE MOCKUPS OF ALL WORK SHALL BE REQUIRED PRIOR TO FINAL PLACEMENT INCLUDING BUT NOT LIMITED TO ALL WALLS, PAVEMENTS, COLORS, FINISHES, METAL WORK, FENCING, AND PAINTING FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT. SEE SPECIFICATIONS.

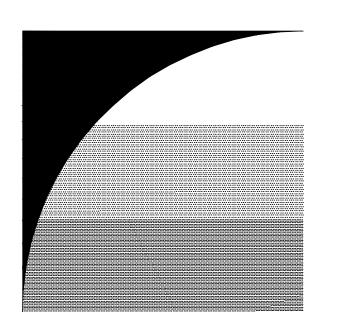
- ALL PLANT MATERIAL TO BE INSPECTED & APPROVED BY THE REPRESENTATIVE OF TOWN OF LOS GATOS AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTACT THE PROJECT LANDSCAPE ARCHITECT FOR FINAL INSPECTION OF LANDSCAPE AND IRRIGATION. PRIOR TO RELEASE OF BUILDING FOR OCCUPANCY, THE PROJECT LANDSCAPE ARCHITECT WILL SUBMIT A LETTER TO THE TOWN CERTIFYING THE PLANTING AND IRRIGATION HAS BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANTING AND IRRIGATION PLANS, SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN LANDSCAPE ARCHITECT. SECURITIES IN LIEU OF INSTALLATION WILL NOT BE ACCEPTED.
- DURING THE INSTALLATION OF LANDSCAPING AND INSTALLATION AND PRIOR TO THE ISSUANCE OF A BUILDING OCCUPANCY PERMIT, THE LANDSCAPE ARCHITECT MUST INSPECT AND MONITOR THE INSTALLATION OF MATERIALS TO VERIFY CONFORMANCE TO THESE PLANS. ONCE APPROVED, THE LANDSCAPE ARCHITECT SHALL PROVIDE A WRITTEN LETTER TO DEPARTMENT OF PLANNING AND DEVELOPMENT STATING COMPLIANCE WITH THE APPROVED PLANS.

## WATER CONSERVATION STATEMENT

- THE PLANT LIST IS PRELIMINARY IN NATURE. SPECIES SHALL BE ADDED AND SUBTRACTED TO FULFILL THE DESIGN AND HORTICULTURAL REQUIREMENTS AS NECESSARY.
- 2. THE IRRIGATION SYSTEM SHALL BE DESIGNED WITH WATER CONSERVATION IN MIND WHILE ACHIEVING THE GOAL OF EFFECTIVELY AND EFFICIENTLY PROVIDING THE LANDSCAPE WITH WATER BY MEANS OF SPRAY, DRIP IRRIGATION TO THE SHRUBS/GROUNDCOVER AREAS AND BUBBLERS TO THE TREES.
- THE SPRAY SYSTEM SHALL BE TORO SPRAY HEADS WITH PRESSURE COMPENSATING NOZZLES IN A HEAD TO HEAD LAYOUT TO ACHIEVE AN EVEN LEVEL OF PRECIPITATION THROUGHOUT THE IRRIGATION SYSTEM.
- 4. A STATE-OF-THE-ART IRRIGATION CONTROLLER SHALL BE SPECIFIED FOR THIS PROJECT TO CONTROL THE WATER ALLOCATED TO EACH VALVE GROUPED PER INDIVIDUAL HYDROZONE (BASED ON PLANT TYPE AND EXPOSURE).

GROUND LEVEL IRRIGATED LANDSCAPE AREA: 60,527 SF TERRACE LEVEL IRRIGATED LANDSCAPE AREA: 27,625 SF TOTAL IRRIGATED LANDSCAPE AREA: 88,152 SF

SEE SHEET LS-4, LS-6 FOR THE PROPOSED STORMWATER TREATMENT AREA.



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# LOS GATOS **MEADOWS**

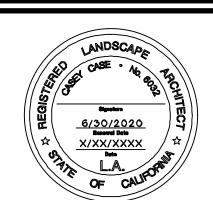
110 WOOD ROAD LOS GATOS **CALIFORNIA** 

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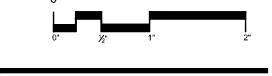
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MF/TZ



**PROJECT NUMBER:** DRAWN: CHECK: DATE: 07/27/2021 SCALE: SCALE



LAYOUT NOTES AND PLANTING NOTES









ZELKOVA SERRATA 'MUSASHINO'

AGAVE ATTENUATA 'KARA'S STRIPES' ARBUTUS UNEDO STRAWBERRY TR

STRAWBERRY TREE SHRUB

HESPERALOE PARVIFLORA RED YUCCA

PODOCARPUS MACROPHYLLUS 'MAKI' MAKI SHRUBBY YEW PODOCARPUS

SAWLEAF ZELKOVA

FESTUCA MAIREI ATLAS FESCUE

NEPETA FAASSENII CATMINT

TEUCRIUM CHAMAEDRYS

GERMANDER

SENECIO SPP. AMANI SENECIO

SALVIA MICROPHYLLA 'HOT LIPS' HOT LIPS SAGE







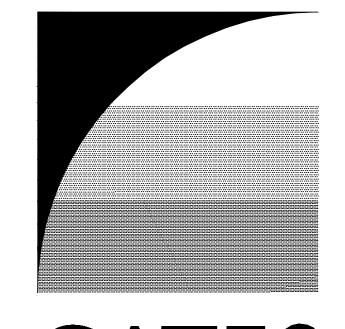






COLEONEMA PULCHRUM 'SUNSET GOLD' GOLDEN BREATH OF HEAVEN





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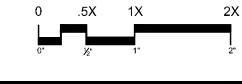
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DR. HURD MANZANITA

HESPERALOE PARVIFLORA 'BRAKELIGHT' BRAKELIGHTS RED YUCCA

RHAMNUS CALIFORNICA 'EVE CASE' CALIFORNIA COFFEEBERRY

STORMWATER TREATMENT AREA

BOUTELOUA GRACILIS BLUE GRAMA GRASS





HETEROMELES ARBUTIFOLIA

RHAMNUS CALIFORNICA 'LEATHERLEAF' CALIFORNIA COFFEEBERRY

CAREX TUMULICOLA BERKELEY SEDGE





RHAMNUS CALIFORNICA 'MOUND SAN BRUNO' RIBES VIBURNIFOLIUM EVERGREEN CURRANT

CHONDROPETALUM TECTORUM 'EL CAMPO' JUNCUS PATENS 'ELK BLUE' SPREADING RUSH

CERCIS OCCIDENTALIS

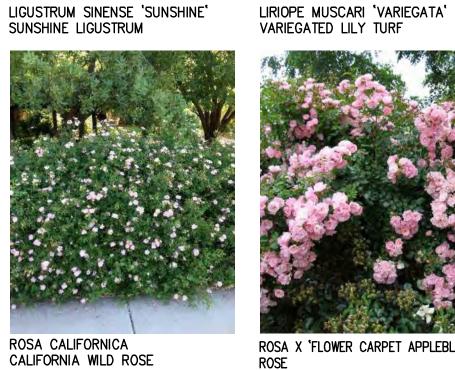
WESTERN REDBUD MULTI-TRUNK





LEYMUS CONDENSATUS 'CANYON PRINCE' NATIVE BLUE RYE

CISTUS X PURPUREUS ORCHID ROCKROSE

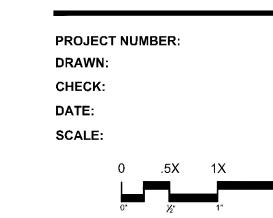










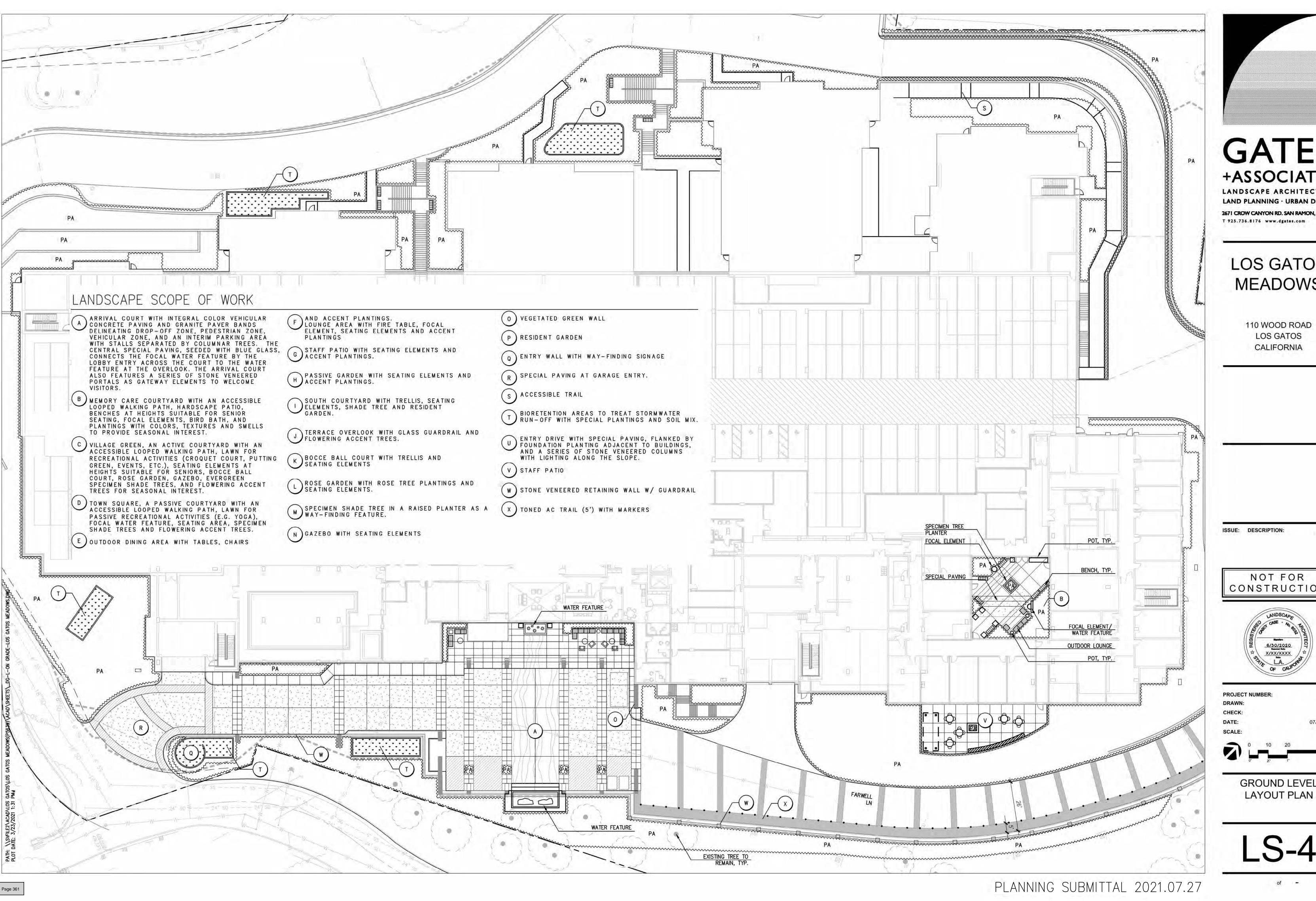


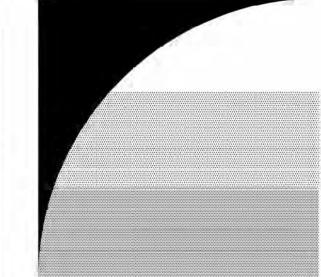


PLANNING SUBMITTAL 2021.07.27

SALVIA LEUCANTHA 'SANTA BARBARA' MEXICAN BUSH SAGE

MIMULUS AURANTIACUS STICKY MONKEY FLOWER





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### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS CALIFORNIA

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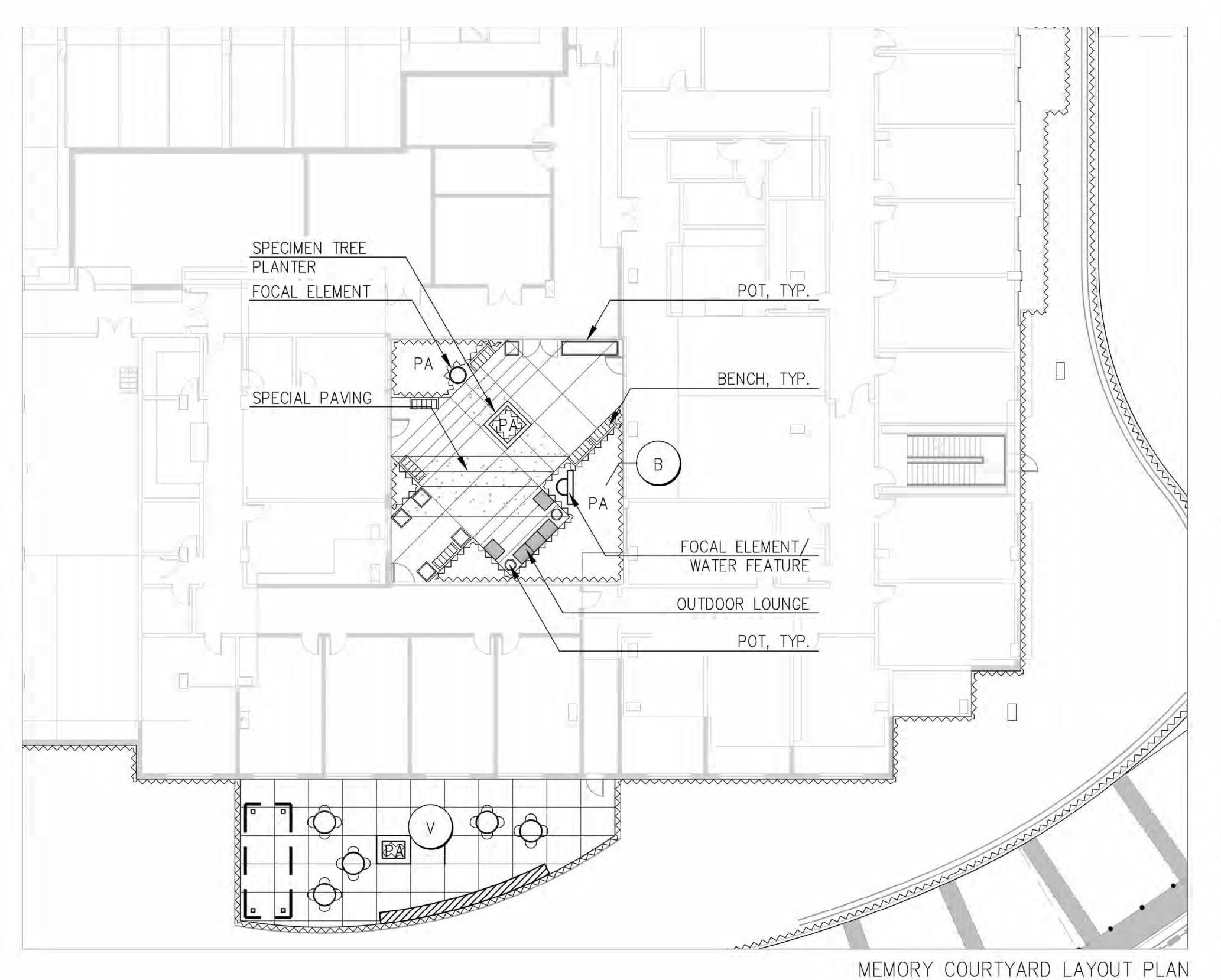
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**GROUND LEVEL** 

07/27/2021

#### LANDSCAPE SCOPE OF WORK

- ARRIVAL COURT WITH INTEGRAL COLOR VEHICULAR CONCRETE PAVING AND GRANITE PAVER BANDS DELINEATING DROP-OFF ZONE, PEDESTRIAN ZONE, VEHICULAR ZONE, AND AN INTERIM PARKING AREA WITH STALLS SEPARATED BY COLUMNAR TREES. THE CENTRAL SPECIAL PAVING, SEEDED WITH BLUE GLASS, CONNECTS THE FOCAL WATER FEATURE BY THE LOBBY ENTRY ACROSS THE COURT TO THE WATER FEATURE AT THE OVERLOOK. THE ARRIVAL COURT ALSO FEATURES A SERIES OF STONE VENEERED PORTALS AS GATEWAY ELEMENTS TO WELCOME VISITORS WELCOME VISITORS.
- MEMORY CARE COURTYARD WITH AN ACCESSIBLE LOOPED WALKING PATH,
  B HARDSCAPE PATIO, BENCHES AT HEIGHTS SUITABLE FOR SENIOR SEATING, FOCAL ELEMENTS, BIRD BATH, AND PLANTINGS WITH COLORS, TEXTURES AND SMELLS TO PROVIDE SEASONAL INTEREST.
- C VILLAGE GREEN, AN ACTIVE COURTYARD WITH AN ACCESSIBLE LOOPED WALKING PATH, LAWN FOR RECREATIONAL ACTIVITIES (CROQUET COURT, PUTTING GREEN, EVENTS, ETC.), SEATING ELEMENTS AT HEIGHTS SUITABLE FOR SENIORS, BOCCE BALL COURT, ROSE GARDEN, GAZEBO, EVERGREEN SPECIMEN SHADE TREES, AND FLOWERING ACCENT TREES FOR SEASONAL INTEREST.
- DOWN SQUARE, A PASSIVE COURTYARD WITH AN ACCESSIBLE LOOPED WALKING PATH, LAWN FOR PASSIVE RECREATIONAL ACTIVITIES (E.G. YOGA), FOCAL WATER FEATURE, SEATING AREA, SPECIMEN SHADE TREES AND FLOWERING ACCENT
- ( E )OUTDOOR DINING AREA WITH TABLES, CHAIRS AND ACCENT PLANTINGS.
- F LOUNGE AREA WITH FIRE TABLE, FOCAL ELEMENT, SEATING ELEMENTS AND
- ( G ) STAFF PATIO WITH SEATING ELEMENTS AND ACCENT PLANTINGS.
- ( H ) PASSIVE GARDEN WITH SEATING ELEMENTS AND ACCENT PLANTINGS.
- SOUTH COURTYARD WITH TRELLIS, SEATING ELEMENTS, SHADE TREE AND RESIDENT GARDEN.
- ( ) TERRACE OVERLOOK WITH GLASS GUARDRAIL AND FLOWERING ACCENT TREES.
- ( K ) BOCCE BALL COURT WITH TRELLIS AND SEATING ELEMENTS
- ( L ) ROSE GARDEN WITH ROSE TREE PLANTINGS AND SEATING ELEMENTS.
- ( M ) SPECIMEN SHADE TREE IN A RAISED PLANTER AS A WAY-FINDING FEATURE.
- ( N )GAZEBO WITH SEATING ELEMENTS
- ( O ) VEGETATED GREEN WALL
- ( P ) RESIDENT GARDEN
- ( Q )ENTRY WALL WITH WAY-FINDING SIGNAGE
- ( R ) SPECIAL PAVING AT GARAGE ENTRY.
- (S) ACCESSIBLE TRAIL
- T BIORETENTION AREAS TO TREAT STORMWATER RUN-OFF WITH SPECIAL PLANTINGS AND SOIL MIX.
- UPLANTING ADJACENT TO BUILDINGS, AND A SERIES OF STONE VENEERED COLUMNS WITH LIGHTING ALONG THE SLOPE.
- ( V )STAFF PATIO
- ( W ) STONE VENEERED RETAINING WALL W/ GUARDRAIL
- ( X )TONED AC TRAIL (5') WTH MARKERS





+ASSOCIATES

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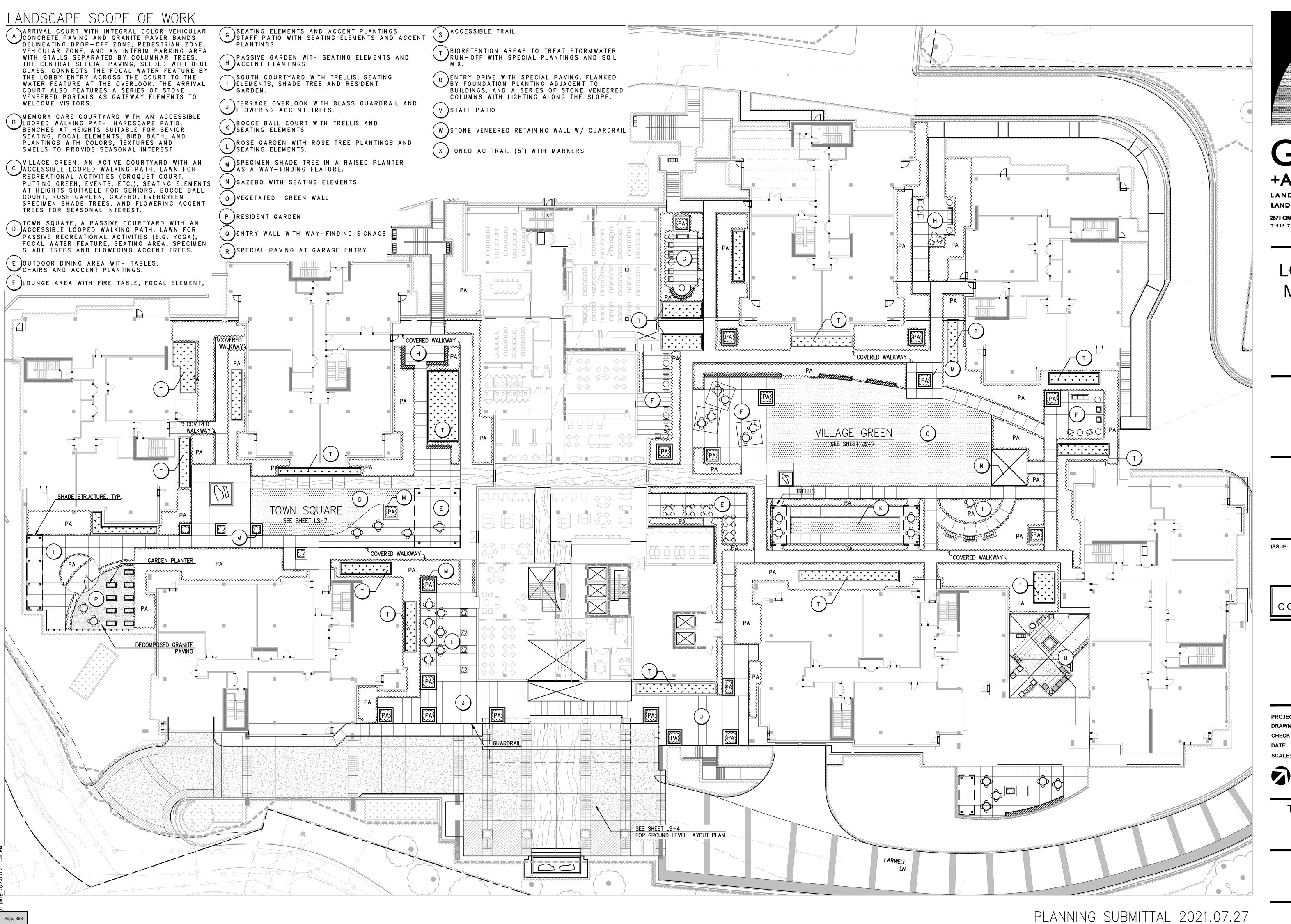


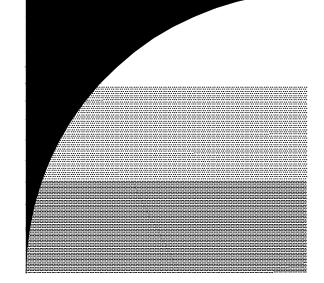
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**GROUND LEVEL** LAYOUT PLAN -MEMORY COURTYARD





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### LOS GATOS MEADOWS

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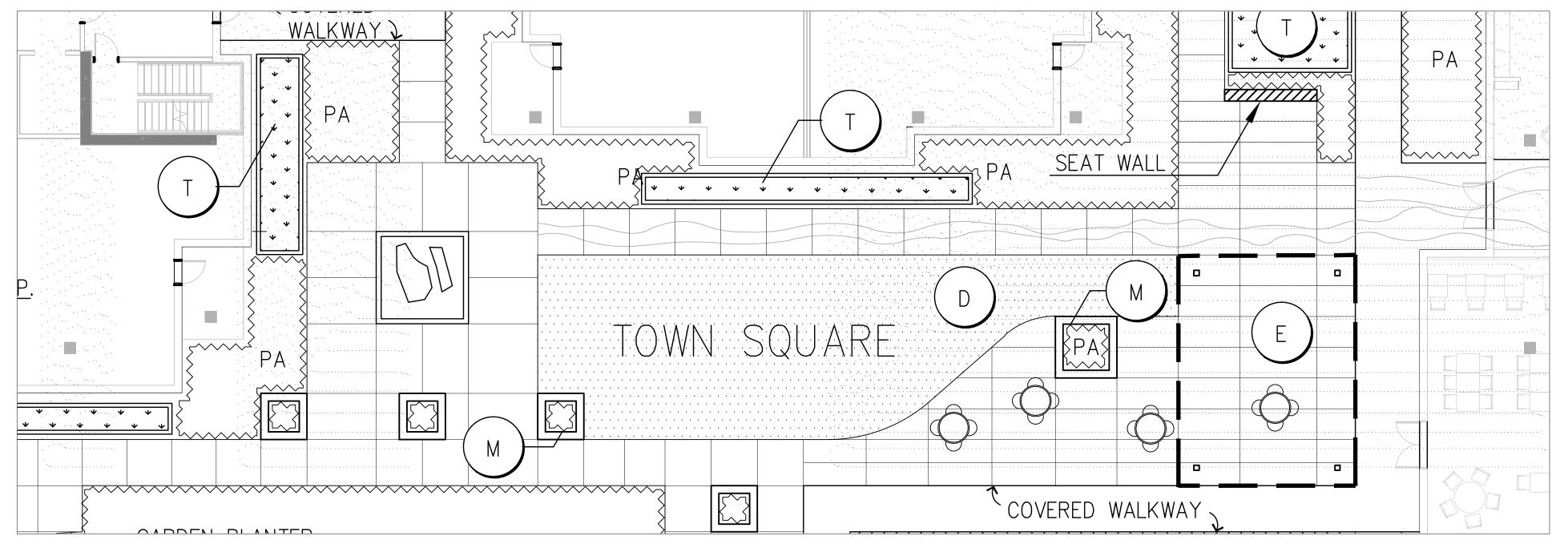
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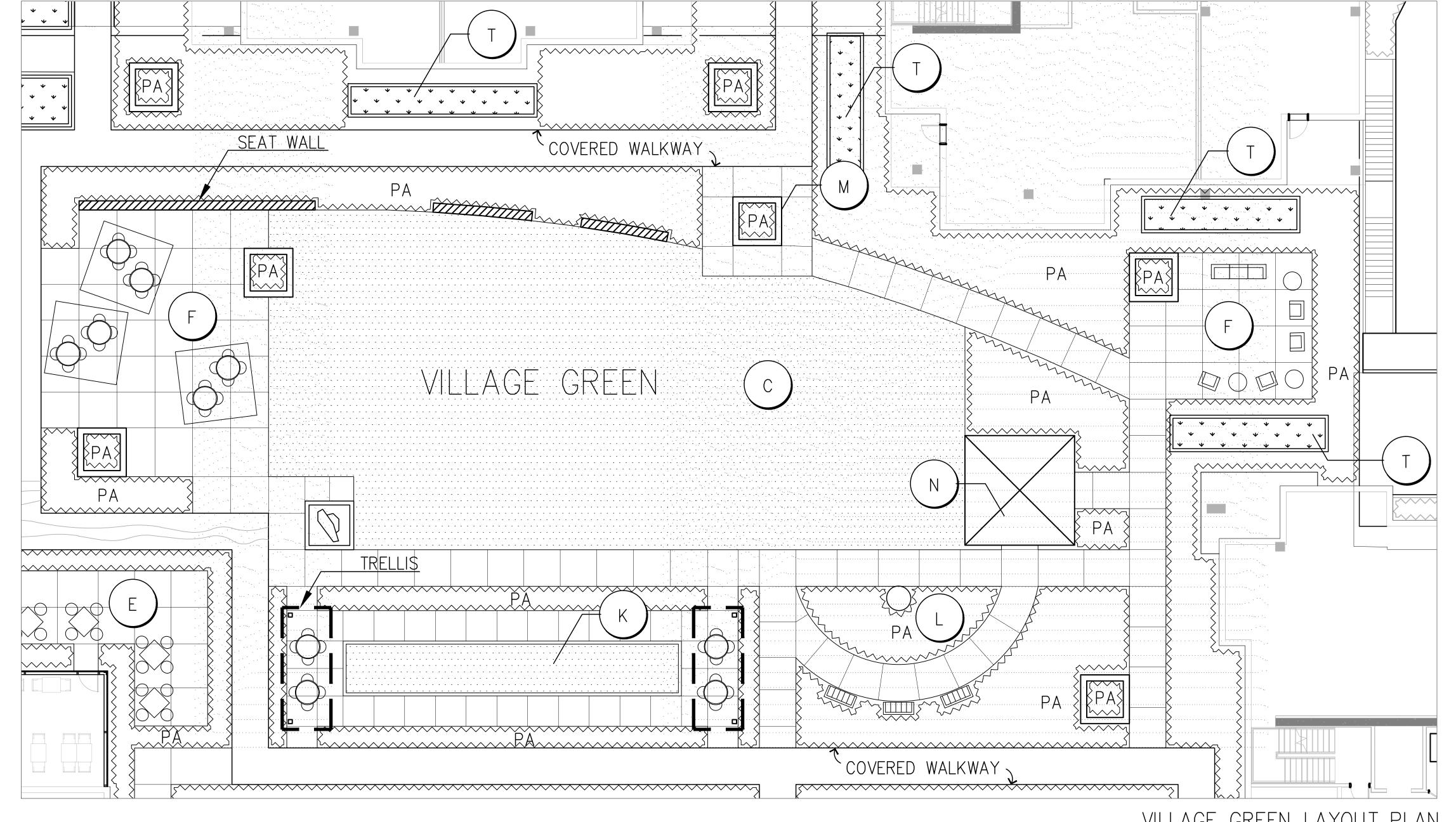
LAYOUT PLAN

#### LANDSCAPE SCOPE OF WORK

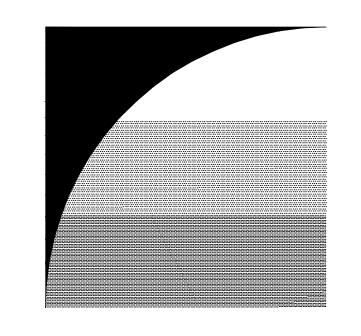
- ARRIVAL COURT WITH INTEGRAL COLOR VEHICULAR CONCRETE PAVING AND GRANITE PAVER BANDS DELINEATING DROP-OFF ZONE, PEDESTRIAN ZONE, VEHICULAR ZONE, AND AN INTERIM PARKING AREA WITH STALLS SEPARATED BY COLUMNAR TREES. THE CENTRAL SPECIAL PAVING, SEEDED WITH BLUE GLASS, CONNECTS THE FOCAL WATER FEATURE BY THE LOBBY ENTRY ACROSS THE COURT TO THE WATER FEATURE AT THE OVERLOOK. THE ARRIVAL COURT ALSO FEATURES A SERIES OF STONE VENEERED PORTALS AS GATEWAY ELEMENTS TO WELCOME VISITORS.
- MEMORY CARE COURTYARD WITH AN ACCESSIBLE LOOPED WALKING PATH,
  HARDSCAPE PATIO, BENCHES AT HEIGHTS SUITABLE FOR SENIOR SEATING,
  FOCAL ELEMENTS, BIRD BATH, AND PLANTINGS WITH COLORS, TEXTURES AND SMELLS TO PROVIDE SEASONAL INTEREST.
- √ VILLAGE GREEN, AN ACTIVE COURTYARD WITH AN ACCESSIBLE LOOPED WALKING  $^{\mathsf{C}}$  ) PATH, LAWN FOR RECREATIONAL ACTIVITIES (CROQUET COURT, PUTTING GREEN, EVENTS, ETC.), SEATING ELEMENTS AT HEIGHTS SUITABLE FOR SENIORS, BOCCE BALL COURT, ROSE GARDEN, GAZEBO, EVERGREEN SPECIMEN SHADE TREES, AND FLOWERING ACCENT TREES FOR SEASONAL INTEREST.
- TOWN SQUARE, A PASSIVE COURTYARD WITH AN ACCESSIBLE LOOPED WALKING PATH, LAWN FOR PASSIVE RECREATIONAL ACTIVITIES (E.G. YOGA), FOCAL WATER FEATURE, SEATING AREA, SPECIMEN SHADE TREES AND FLOWERING ACCENT TREES.
- E )OUTDOOR DINING AREA WITH TABLES, CHAIRS AND ACCENT PLANTINGS.
- \LOUNGE AREA WITH FIRE TABLE, FOCAL ELEMENT, SEATING ELEMENTS AND F JACCENT PLANTINGS
- ( G )STAFF PATIO WITH SEATING ELEMENTS AND ACCENT PLANTINGS.
- $^{\prime}$   $_{\mathsf{H}}$   $^{}$  <code>PASSIVE</code> <code>GARDEN</code> <code>WITH</code> <code>SEATING</code> <code>ELEMENTS</code> <code>AND</code> <code>ACCENT</code> <code>PLANTINGS</code>.
- SOUTH COURTYARD WITH TRELLIS, SEATING ELEMENTS, SHADE TREE AND RESIDENT GARDEN.
- TERRACE OVERLOOK WITH GLASS GUARDRAIL AND FLOWERING ACCENT TREES.
- K )BOCCE BALL COURT WITH TRELLIS AND SEATING ELEMENTS
- L )ROSE GARDEN WITH ROSE TREE PLANTINGS AND SEATING ELEMENTS.
- ( M )SPECIMEN SHADE TREE IN A RAISED PLANTER AS A WAY—FINDING FEATURE.
- ( N )GAZEBO WITH SEATING ELEMENTS
- (O) VEGETATED GREEN WALL
- RESIDENT GARDEN
- (Q)ENTRY WALL WITH WAY-FINDING SIGNAGE
- (R) SPECIAL PAVING AT GARAGE ENTRY.
- ( S ) ACCESSIBLE TRAIL
- BIORETENTION AREAS TO TREAT STORMWATER RUN-OFF WITH SPECIAL PLANTINGS AND SOIL MIX.
- ENTRY DRIVE WITH SPECIAL PAVING, FLANKED BY FOUNDATION PLANTING ADJACENT TO BUILDINGS, AND A SERIES OF STONE VENEERED COLUMNS WITH LIGHTING ALONG THE SLOPE.
- (V)STAFF PATIO
- ( W ) STONE VENEERED RETAINING WALL W/ GUARDRAIL
- (x)TONED AC TRAIL (5') WTIH MARKERS



TOWN SQUARE LAYOUT PLAN



VILLAGE GREEN LAYOUT PLAN



### GATES **+ASSOCIATES**

LANDSCAPE ARCHITECTURE LAND PLANNING · URBAN DESIGN 2671 CROW CANYON RD. SAN RAMON, CA 94583 T 925.736.8176 www.dgates.com

### LOS GATOS **MEADOWS**

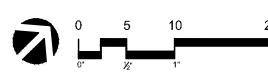
110 WOOD ROAD LOS GATOS CALIFORNIA

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NOT FOR CONSTRUCTION



PROJECT NUMBER:

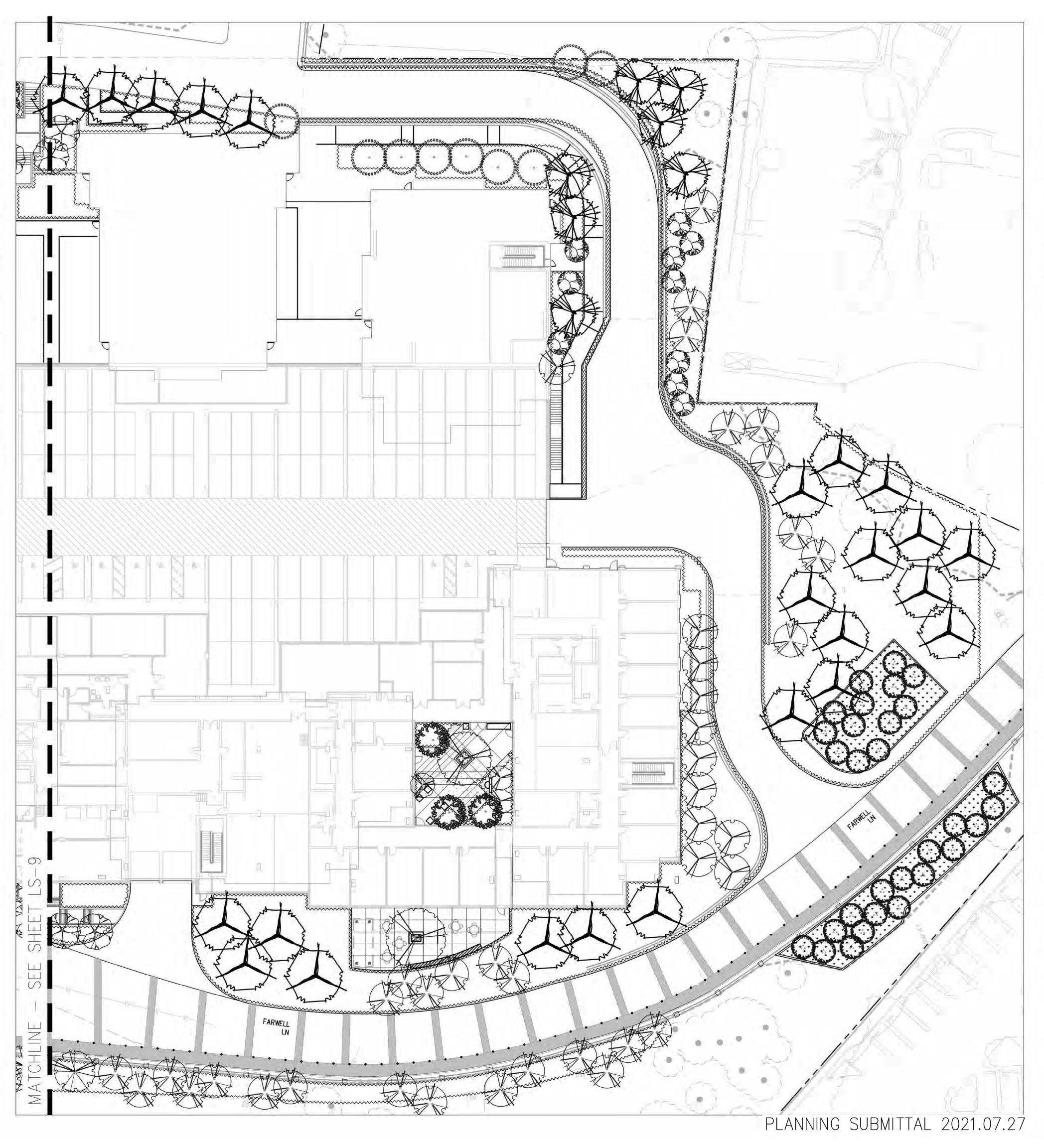


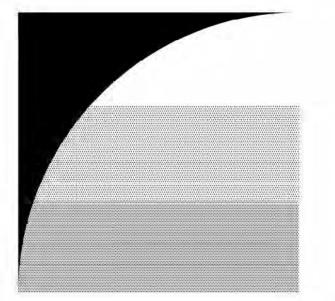
TERRACE LEVEL LAYOUT PLAN -VILLAGE GREEN AND TOWN SQUARE

LEGEND	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS	NATIVE (N) /LOCAL (L)	DROUGHT	NOTES
	ARA	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	24"BOX	16	м		N	FULL TO PT SHADE, 55'H x 20'W, DECIDUOUS
8	ARM	ARBUTUS X 'MARINA'	ARBUTUS STANDARD	24"BOX	33	L	N	Υ	FULL SUN, 30'H x 20'W, EVERGREEN
	CER	CERCIS OCCIDENTALIS	WESTERN REDBUD	24"BOX	14	VL	N	γ	SUN/PT SHADE, SCREEN, 15'H X 10'W, DECIDUOUS
*	LAM	LAGERSTROEMIA INDICA 'MUSKOGEE'	MUSKOGEE CRAPE MYRTLE	24"BOX	12	L	L	Υ	FULL SUN, 20'H x 15'W, DECIDUOUS
8	LAT	LAGERSTROEMIA INDICA	TONTO CRAPE MYRTLE	24"BOX	3	L	L-	Υ	FULL SUN, 10'H x 6'W, DECIDUOUS
0	LNS	LAURUS NOBILIS `SARATOGA`	SWEET BAY	24"BOX	3	D	1	Υ	FULL SUN TO PT SHADE, 30'H x 20'W, EVERGREEN
8	OES	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE MULTI-TRUNK	36"BOX	2	VL	L	Υ	FULL SUN TO PT SHADE, 25'H x 25'W, EVERGREEN
	QUI	QUERCUS ILEX	HOLLY OAK	36"/48" BOX	15	L	į.	Υ	FULL SUN TO PT SHADE, 50'H x 50'W, EVERGREEN
(基)	QUV	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	36"/48" BOX	38	М	L	Υ	FULL SUN TO PT SHADE, 50'H x 50'W, EVERGREEN
	RHU	RHUS LANCEA	AFRICAN SUMAC	24"BOX	32	L	L.	γ	FULL SUN TO PT SHADE, 15'H x 20'W, EVERGREEN
0	SAL	SALIX LASIOLEPIS	ARROYO WILLOW	24"BOX	49	H	N	N	FULL SUN, 35'H x 15'W, DECIDUOUS
0	TRI	TRISTANIA CONFERTA	BRISBANE BOX	24"BOX	25	м		Υ	FULL SUN, 40'H x 25'W, EVERGREEN

EGEND	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS	NATIVE (N) /LOCAL (L)	DROUGHT TOLERANT	NOTES
~	AM	ARCTOSTAPHYLOS MANZANITA 'DR. HURD'	DR. HURD MANZANITA	15 GAL	х	L	N	γ	FULL SUN, 15'H X 12'W, EVERGREEN
3	CR	CEANOTHUS X 'RAY HARTMAN' MULTI-TRUNK	CALIFORNIA LILAC	15 GAL	x	L	Z	Υ	FULL SUN, 15'H X 10'W, EVERGREEN
3	со	CERCIS OCCIDENTALIS	WESTERN REDBUD MULTI-TRUNK	5 GAL	x	VL	N	Υ	SUN/PT SHADE, SCREEN, 15'H X 10'W, DECIDUOUS
3	СР	CISTUS X PURPUREUS	ORCHID ROCKROSE	15 GAL	х	L	L	Υ	FULL SUN, 4'H X 4'W, EVERGREEN
3	НА	HETEROMELES ARBUTIFOLIA	TOYON	5 GAL	x	L	N	Y	SUN OR SHADE, 10'H X 8'W, EVERGREEN
3	MR	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	х	L	N	Υ	SUN OR SHADE, 4'H X 6'W, EVERGREEN
3	RE	RHAMNUS CALIFORNICA 'EVE CASE'	CALIFORNIA COFFEEBERRY	5 GAL	x	Ĺ	N	Υ	SUN OR SHADE, 8'H X 8'W, EVERGREEN
3	RL	RHAMNUS CALIFORNICA `LEATHERLEAF`	CALIFORNIA COFFEEBERRY	5 GAL	х	L	N	Υ	SUN OR SHADE, 8'H X 8'W, EVERGREEN
3	RV	RIBES VIBURNIFOLIUM	EVERGREEN CURRANT	5 GAL	х	L	N	Υ	SUN OR SHADE, 4'H X 6'W, EVERGREEN
3	RC	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	5 GAL	x	L	N	Υ	FULL SUN TO PT SHADE, 10'H X 10'W, DECIDUOU
3	EC	EPILOBIUM CANUM 'CATALINA'	CATALINA FUCHSIA	1 GAL	x	Ĺ	N	Υ	FULL SUN, 3'H X 4'W, DECIDUOUS

<b>GROUI</b>	ND	PLANT LIST - STORM	WATER TREATMENT	AREA					
LEGEND	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS	NATIVE (N) /LOCAL (L)	DROUGHT	NOTES
	BG	BOUTELOUA GRACILIS	BLUE GRAMA GRASS	1GAL	х	Ĺ	N	Υ	FULL SUN TO PT SHADE 1'H X 1'W, DECIDUOUS
	СТ	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL	х	L	N	Υ	SUN OR SHADE, 1'H X 2'W, EVERGREEN
	CE	CHONDROPETALUM TECTORUM 'EL CAMPO'	CAPE RUSH	5 GAL	x	L	L.	Υ	SUN OR SHADE, 3'H X 4'W, EVERGREEN
	JE	JUNCUS PATENS 'ELK BLUE'	SPREADING RUSH	5 GAL	х	L	N	Υ	SUN OR SHADE, 2'H X 2'W, EVERGREEN
	LC	LEYMUS CONDENSATUS 'CANYON PRINCE'	NATIVE BLUE RYE	1 GAL	X	L	N	Υ	FULL SUN, 3'H X 3'W, EVERGREEN
	MA	MIMULUS AURANTIACUS	STICKY MONKEY FLOWER	5 GAL	x	VL	N	Υ	FULL SUN TO PT SHADE 4'H X 3'W, EVERGREEN





# GATES +ASSOCIATES

LANDSCAPE ARCHITECTURE
LAND PLANNING · URBAN DESIGN

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### LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS CALIFORNIA

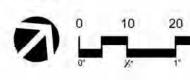
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NOT FOR CONSTRUCTION



PROJECT NUMBER: DRAWN: CHECK:

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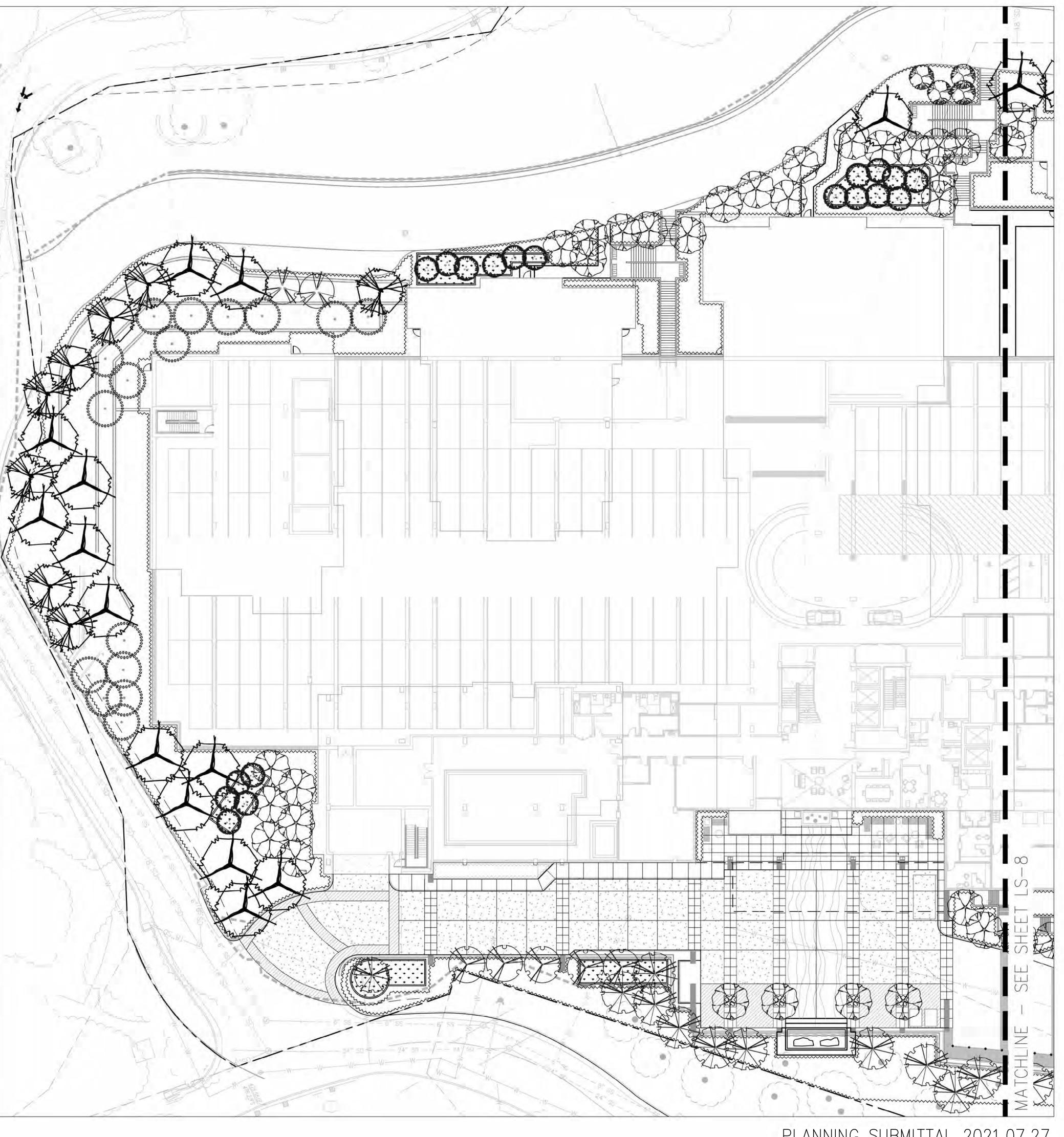


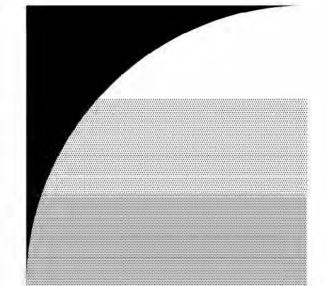
GROUND LEVEL PLANTING PLAN

LEGEND	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS	NATIVE (N) /LOCAL (L)	DROUGHT	NOTES
<b>(A)</b>	ARA	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	24"BOX	16	м		N	FULL TO PT SHADE, 55'H x 20'W, DECIDUOUS
8	ARM	ARBUTUS X 'MARINA'	ARBUTUS STANDARD	24"BOX	33	L	N	Y	FULL SUN, 30'H x 20'W, EVERGREEN
	CER	CERCIS OCCIDENTALIS	WESTERN REDBUD	24"BOX	14	VL	N	Υ	SUN/PT SHADE, SCREEN, 15'H X 10'W, DECIDUOUS
*	LAM	LAGERSTROEMIA INDICA 'MUSKOGEE'	MUSKOGEE CRAPE MYRTLE	24"BOX	12	L	L	Υ	FULL SUN, 20'H x 15'W, DECIDUOUS
8	LAT	LAGERSTROEMIA INDICA 'TONTO'	TONTO CRAPE MYRTLE	24"BOX	3	L	L	Υ	FULL SUN, 10'H x 6'W, DECIDUOUS
0	LNS	LAURUS NOBILIS `SARATOGA`	SWEET BAY	24"BOX	3	L	L	Υ	FULL SUN TO PT SHADE, 30'H x 20'W, EVERGREEN
<b>(2)</b>	OES	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE MULTI-TRUNK	36"BOX	2	VL	L	Υ	FULL SUN TO PT SHADE, 25'H x 25'W, EVERGREEN
	QUI	QUERCUS ILEX	HOLLY OAK	36"/48" BOX	15	Ĺ	L	Υ	FULL SUN TO PT SHADE, 50'H x 50'W, EVERGREEN
(4)	QUV	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	36"/48" BOX	38	М	L	Y	FULL SUN TO PT SHADE, 50'H x 50'W, EVERGREEN
	RHU	RHUS LANCEA	AFRICAN SUMAC	24"BOX	32	L.	L	Υ	FULL SUN TO PT SHADE, 15'H x 20'W, EVERGREEN
0	SAL	SALIX LASIOLEPIS	ARROYO WILLOW	24"BOX	49	н	N	N	FULL SUN, 35'H x 15'W, DECIDUOUS
0	TRI	TRISTANIA CONFERTA	BRISBANE BOX	24"BOX	25	м		Υ	FULL SUN, 40'H x 25'W, EVERGREEN

ROUN	ND I	<u> PLANT LIST — SHRUBS</u>	, ORNAMENTAL GR	<b>ASSES</b>	AN	D GF	ROUN	1DCC	OVER
GEND	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS	NATIVE (N) /LOCAL (L)	DROUGHT	NOTES
7	AM	ARCTOSTAPHYLOS MANZANITA 'DR. HURD'	DR. HURD MANZANITA	15 GAL	х	L	N	Υ	FULL SUN, 15'H X 12'W, EVERGREEN
3	CR	CEANOTHUS X 'RAY HARTMAN' MULTI-TRUNK	CALIFORNIA LILAC	15 GAL	х	L	N	Υ	FULL SUN, 15'H X 10'W, EVERGREEN
3	со	CERCIS OCCIDENTALIS	WESTERN REDBUD MULTI-TRUNK	5 GAL	x	VL	N	Y	SUN/PT SHADE, SCREEN, 15'H X 10'W, DECIDUOUS
3	СР	CISTUS X PURPUREUS	ORCHID ROCKROSE	15 GAL	x	L	Ĺ	Y	FULL SUN, 4'H X 4'W, EVERGREEN
3	НА	HETEROMELES ARBUTIFOLIA	TOYON	5 GAL	x	Ĺ	N	Υ	SUN OR SHADE, 10'H X 8'W, EVERGREEN
3	MR	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	x	L	N	Υ	SUN OR SHADE, 4'H X 6'W, EVERGREEN
3	RE	RHAMNUS CALIFORNICA 'EVE CASE'	CALIFORNIA COFFEEBERRY	5 GAL	x	t	Z	Y	SUN OR SHADE, 8'H X 8'W, EVERGREEN
3	RL	RHAMNUS CALIFORNICA `LEATHERLEAF`	CALIFORNIA COFFEEBERRY	5 GAL	х	L	N	Y	SUN OR SHADE, 8'H X 8'W, EVERGREEN
3	RV	RIBES VIBURNIFOLIUM	EVERGREEN CURRANT	5 GAL	х	L	N	Υ	SUN OR SHADE, 4'H X 6'W, EVERGREEN
3	RC	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	5 GAL	x	L	N	Υ	FULL SUN TO PT SHADE, 10'H X 10'W, DECIDUOUS
3	EC	EPILOBIUM CANUM 'CATALINA'	CATALINA FUCHSIA	1 GAL	x	L	N	Υ	FULL SUN, 3'H X 4'W, DECIDUOUS

.EGEND	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS	NATIVE (N) /LOCAL (L)	DROUGHT	NOTES
:-:-:	BG	BOUTELOUA GRACILIS	BLUE GRAMA GRASS	1GAL	х	t	N	Υ	FULL SUN TO PT SHADE 1'H X 1'W, DECIDUOUS
::::	СТ	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL	х	L	N	Υ	SUN OR SHADE, 1'H X 2'W, EVERGREEN
	CE	CHONDROPETALUM TECTORUM `EL CAMPO`	CAPE RUSH	5 GAL	x	L	L	Υ	SUN OR SHADE, 3'H X 4'W, EVERGREEN
	JE	JUNCUS PATENS 'ELK BLUE'	SPREADING RUSH	5 GAL	х	L	N	Υ	SUN OR SHADE, 2'H X 2'W, EVERGREEN
	LC	LEYMUS CONDENSATUS 'CANYON PRINCE'	NATIVE BLUE RYE	1 GAL	х	L	N	Υ	FULL SUN, 3'H X 3'W, EVERGREEN
· : · : ·	MA	MIMULUS AURANTIACUS	STICKY MONKEY FLOWER	5 GAL	х	VL	N	Υ	FULL SUN TO PT SHADE 4'H X 3'W, EVERGREEN





### GATES +ASSOCIATES

LANDSCAPE ARCHITECTURE LAND PLANNING · URBAN DESIGN

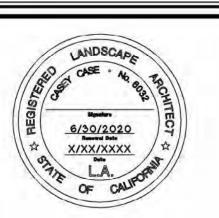
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### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS CALIFORNIA

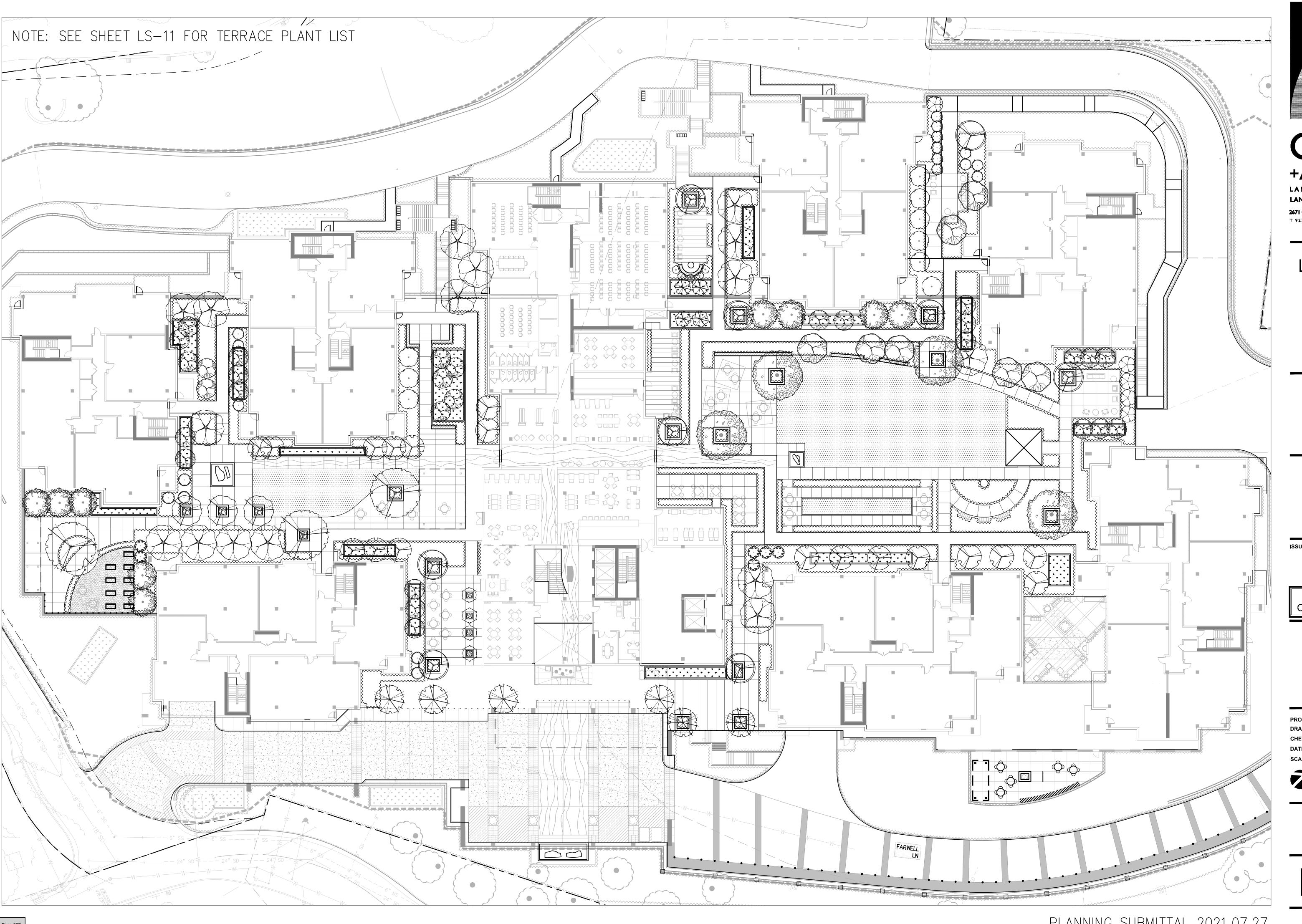
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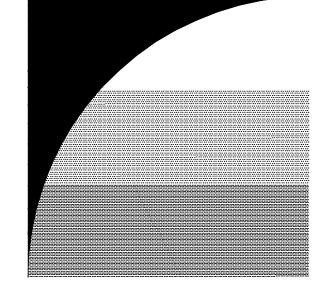
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07/27/2021

GROUND LEVEL PLANTING PLAN





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### LOS GATOS **MEADOWS**

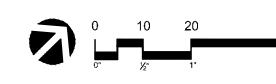
110 WOOD ROAD LOS GATOS CALIFORNIA

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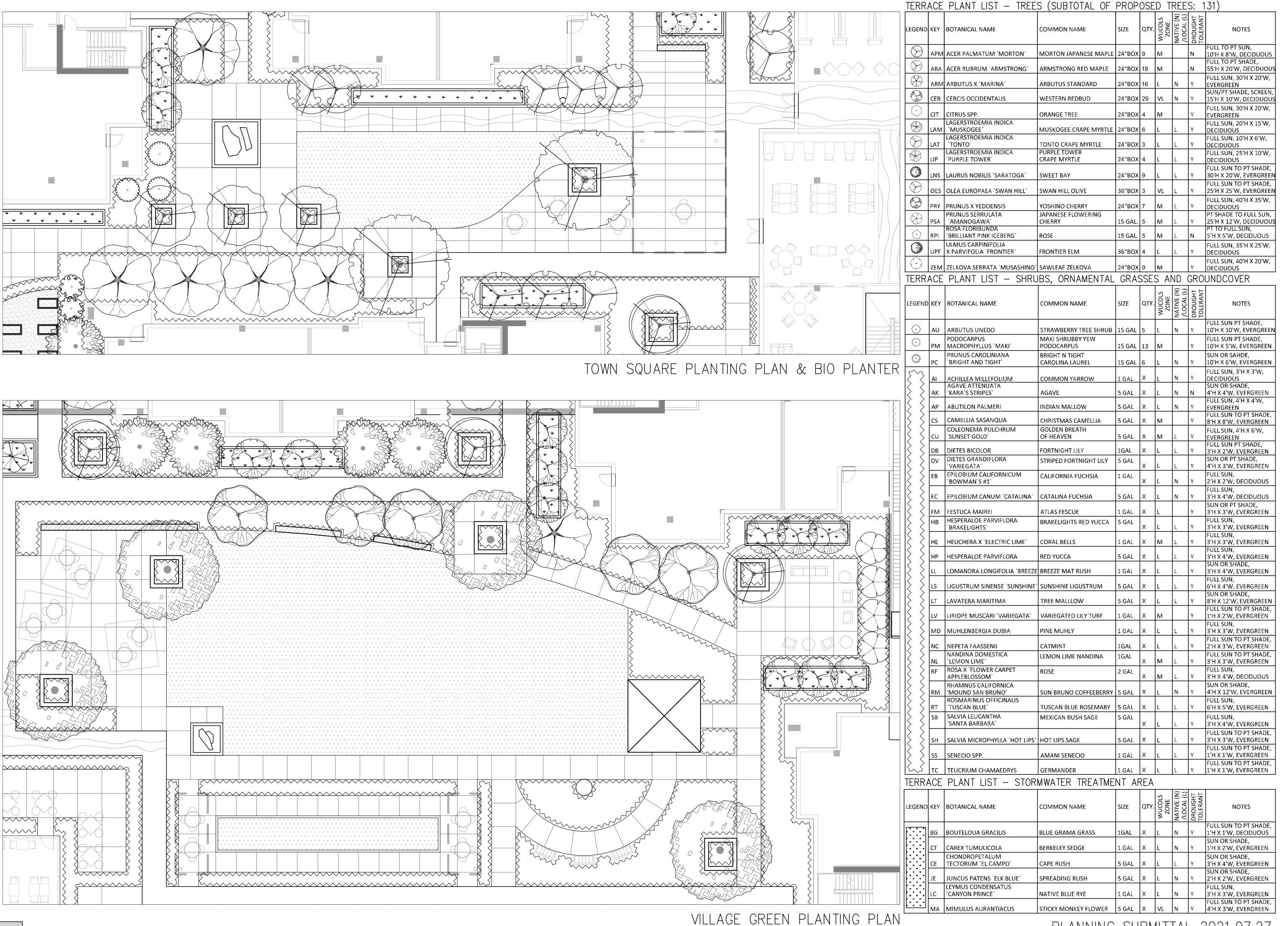
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PROJECT NUMBER: CHECK:



TERRACE LEVEL PLANTING PLAN



# GATES +ASSOCIATES

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### LOS GATOS

**MEADOWS** 

110 WOOD ROAD LOS GATOS CALIFORNIA

ISSUE: DESCRIPTION:

NOT FOR CONSTRUCTION

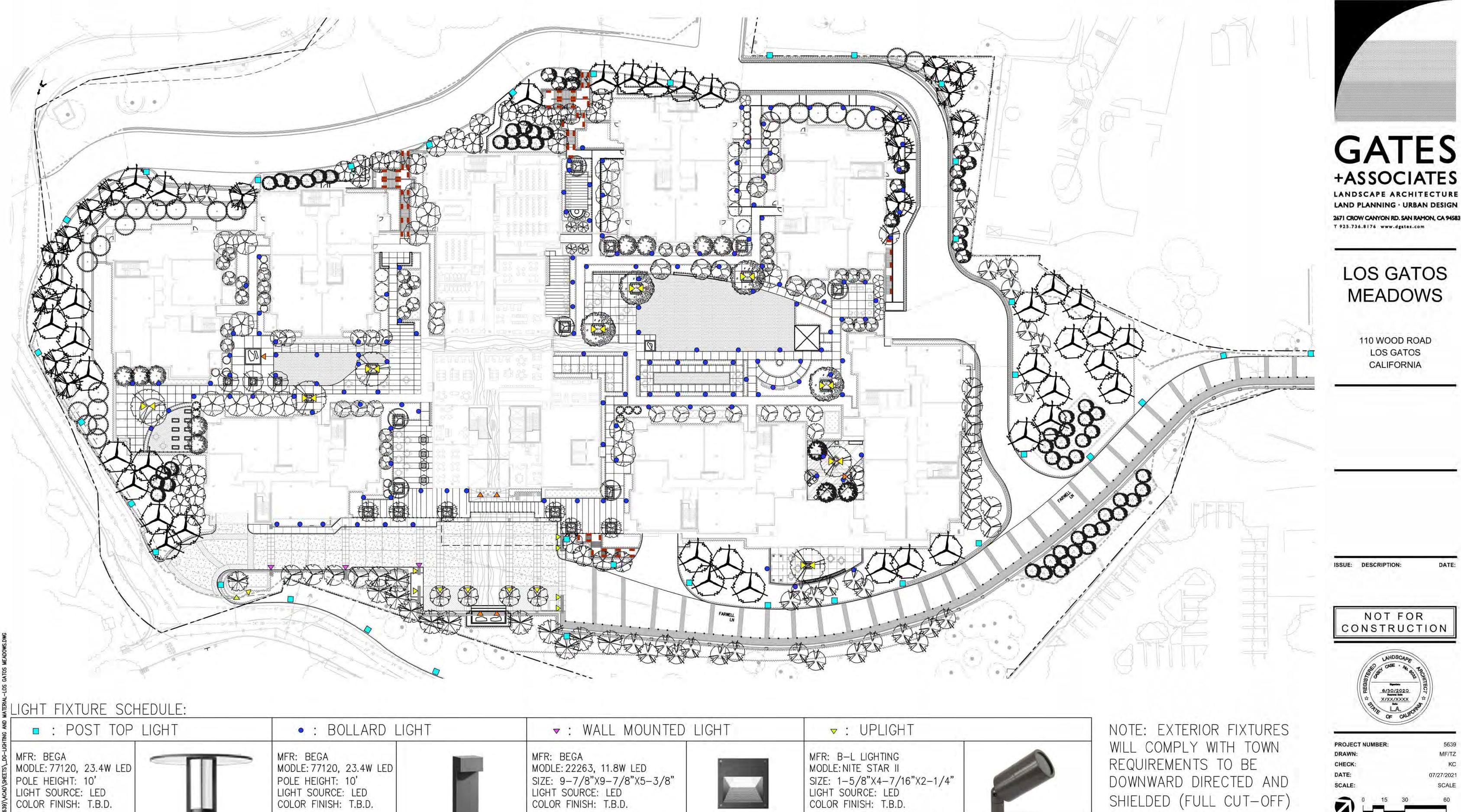


PROJECT NUMBER:
DRAWN:

RAWN: HECK: ATF

0 5 10 0" ½" 1"

TERRACE LEVEL
PLANTING PLAN VILLAGE GREEN AND
TOWN SQUARE



COLOR FINISH: T.B.D.

MFR: BEGA

- : STAIR LIGHT

SIZE: 7-1/2"X 3-1/8"X 4"
FINISH: #4 BRUSHED STAINLESS
STEEL

MODLE: 22 130, 3.4 W LED

▼ : FOUNTAIN LIGHT

FLUSH MOUNT, 25.5W

LED, 3000K WARM WHITE SIZE: 4.75"DIA.

MFR: FOUNTAIN PEOPLE

FINISH: STAINLESS STEEL

MODLE: FX SERIES FOUNTAIN

LIGHT SOURCE: LED

COLOR FINISH: T.B.D.

LIGHT SOURCE: LED

COLOR FINISH: T.B.D.

DOWNWARD DIRECTED AND SHIELDED (FULL CUT-OFF)

GATES +ASSOCIATES

> LOS GATOS **MEADOWS**

> > 110 WOOD ROAD LOS GATOS CALIFORNIA

ISSUE: DESCRIPTION:

NOT FOR CONSTRUCTION



PROJECT NUMBER:

CHECK:

SITE LIGHTING CONCEPT PLAN

07/27/2021

#### PAVING





VEHICULAR PAVER BAND — 8"X8"X3" THICKNESS GRANITE PAVERS AT ARRIVAL COURT

MFR: COLD SPRING GRANITE COLOR: ACADEM BLACK FINISH: THERMAL



VEHICULAR COLORED SAWCUT CONCRETE PAVING

COLOR: DARK GRAY BY DAVIS COLORS
FINISH: MEDIUM BROOM FOR THE MAIN COURT;
TOPOCAST 25 FOR THE INTERIM PARKING STALLS



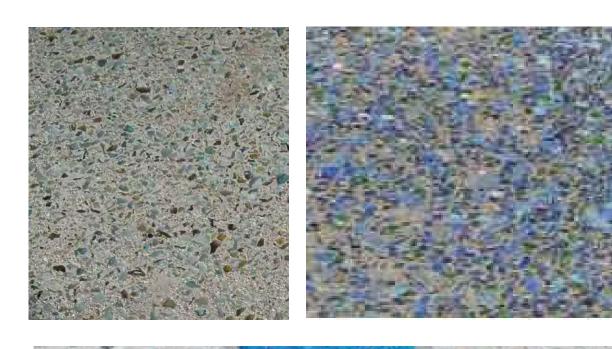
PEDESTRIAN COLORED SAWCUT CONCRETE PAVING

COLOR: PEBBLE BY DAVIS COLORS FINISH: MEDIUM BROOM/TOPOCAST 25



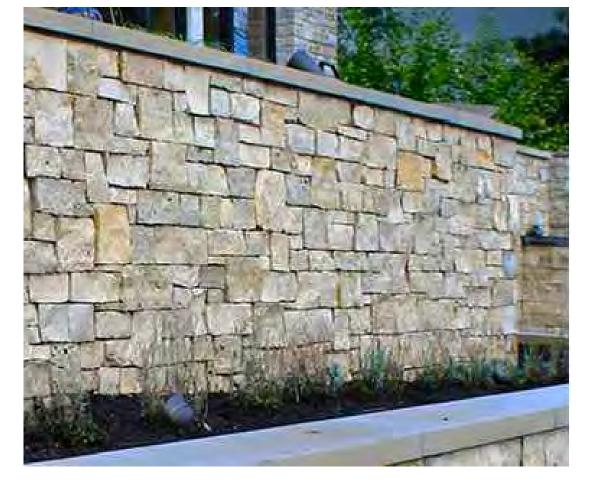
TONED AC PAVING FOR THE TRAIL ALONG EVA

### SEEDED GLASS IN PAVING





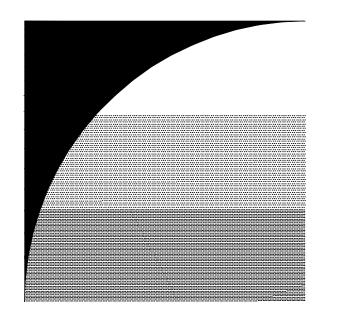
### STONE VENEERED RETAINING WALL





### VEGETATED GREEN WALL BIOPHILIA





GATES
+ASSOCIATES
LANDSCAPE ARCHITECTURE

LAND SCAPE ARCHITECTURE
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### LOS GATOS MEADOWS

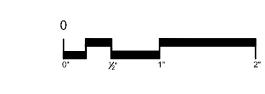
110 WOOD ROAD LOS GATOS CALIFORNIA

ISSUE: DESCRIPTION:

NOT FOR CONSTRUCTION

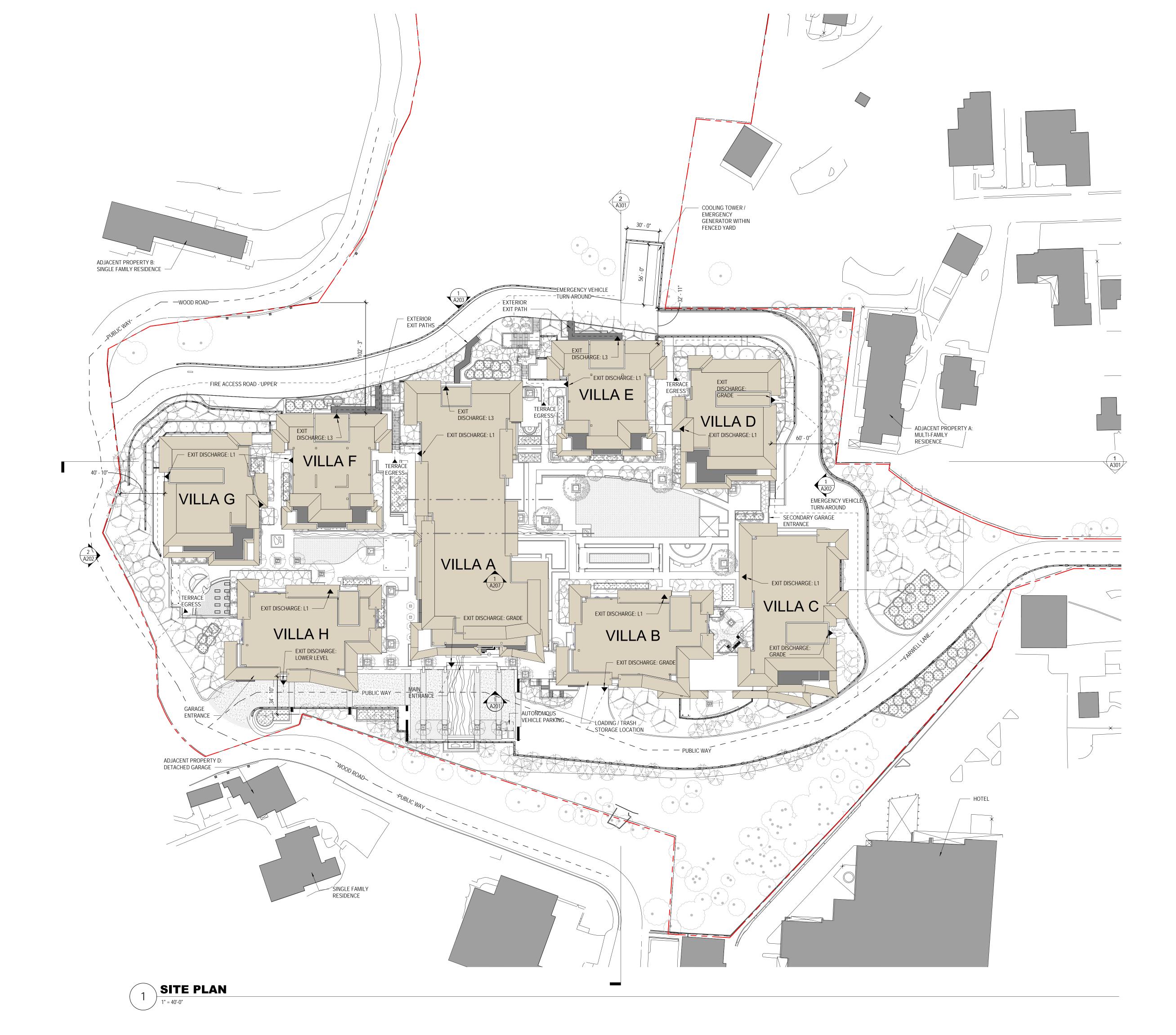


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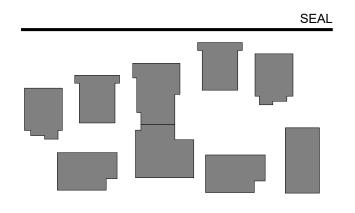


07/27/2021 SCALE

MATERIAL BOARD



NOT FOR CONSTRUCTION





PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944 Owner:

COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400 Civil / Site:

**KIMLEY-HORN** 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: **GATES + ASSOCIATES** 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

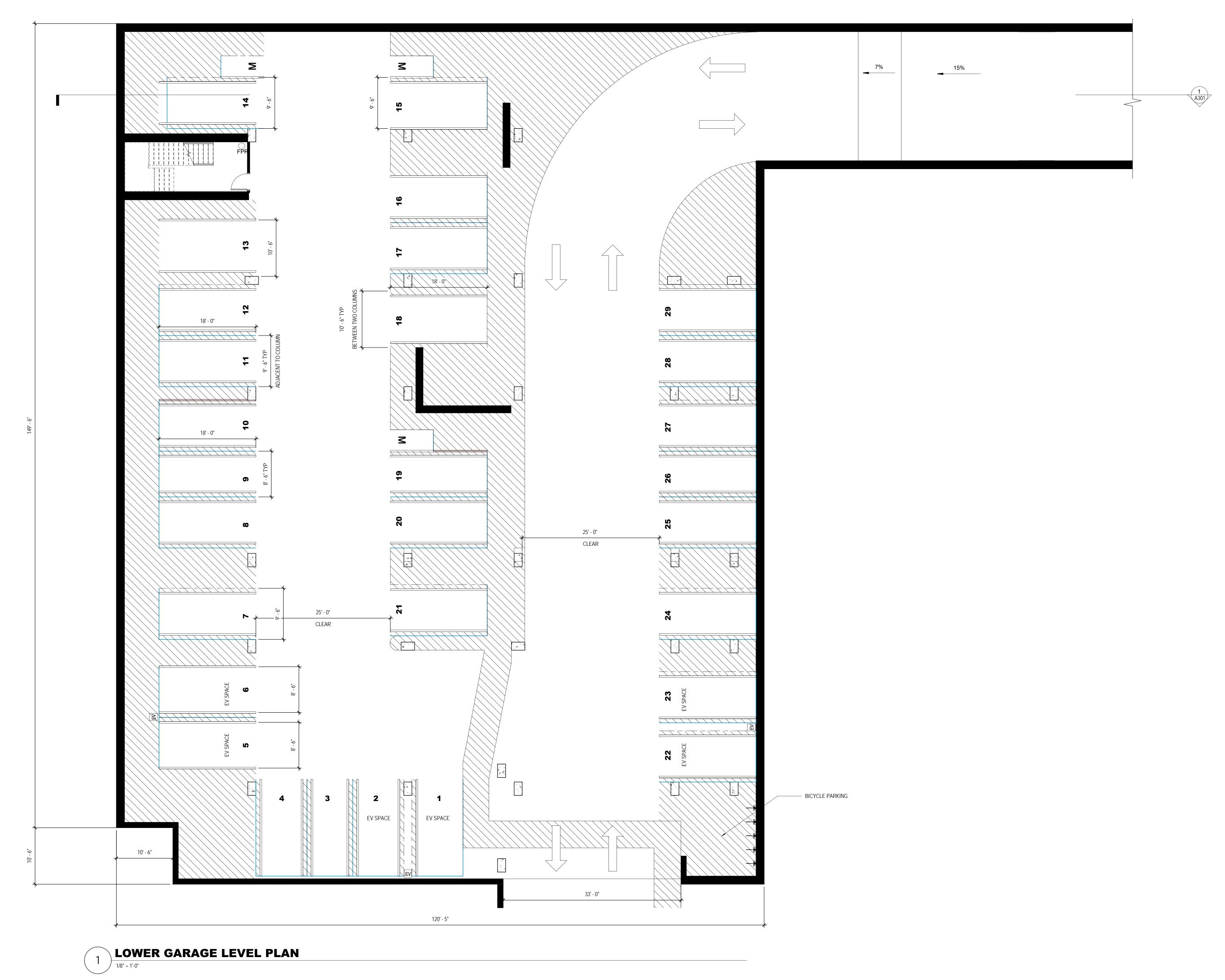
PROJECT No: 70581.00

DRAWING TITLE: OVERALL SITE PLAN

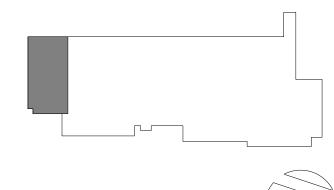
SCALE: 1" = 40'-0"

**A001** 

PLANNING SUBMITTAL



SEAL





Applicant:

ROCKWOOD PACIFIC

36 SOUTHWOOD DRIVE

ORINDA, CA 94563 (415) 816-7944 Owner:

**COVIA**2185 N CALIFORNIA BLVD, SUITE 215
WALNUT CREEK, CA 94596
(925) 956-7400

Civil / Site:
KIMLEY-HORN

**KIMLEY-HORN**4637 CHABOT DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 398-4840

Landscape: **GATES + ASSOCIATES**2671 CROW CANYON RD
SAN RAMON, CA 94583

(925) 736-8176
Structural:

KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105

(415) 989-1004

Mechanical, Electrical & Plumbing: **GLUMAC**150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111

(415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC**690 GIBRALTAR DRIVE
MILPITAS, CA 95035

PROJECT TITLE:

(408) 942-8200

### LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS, CA 95030

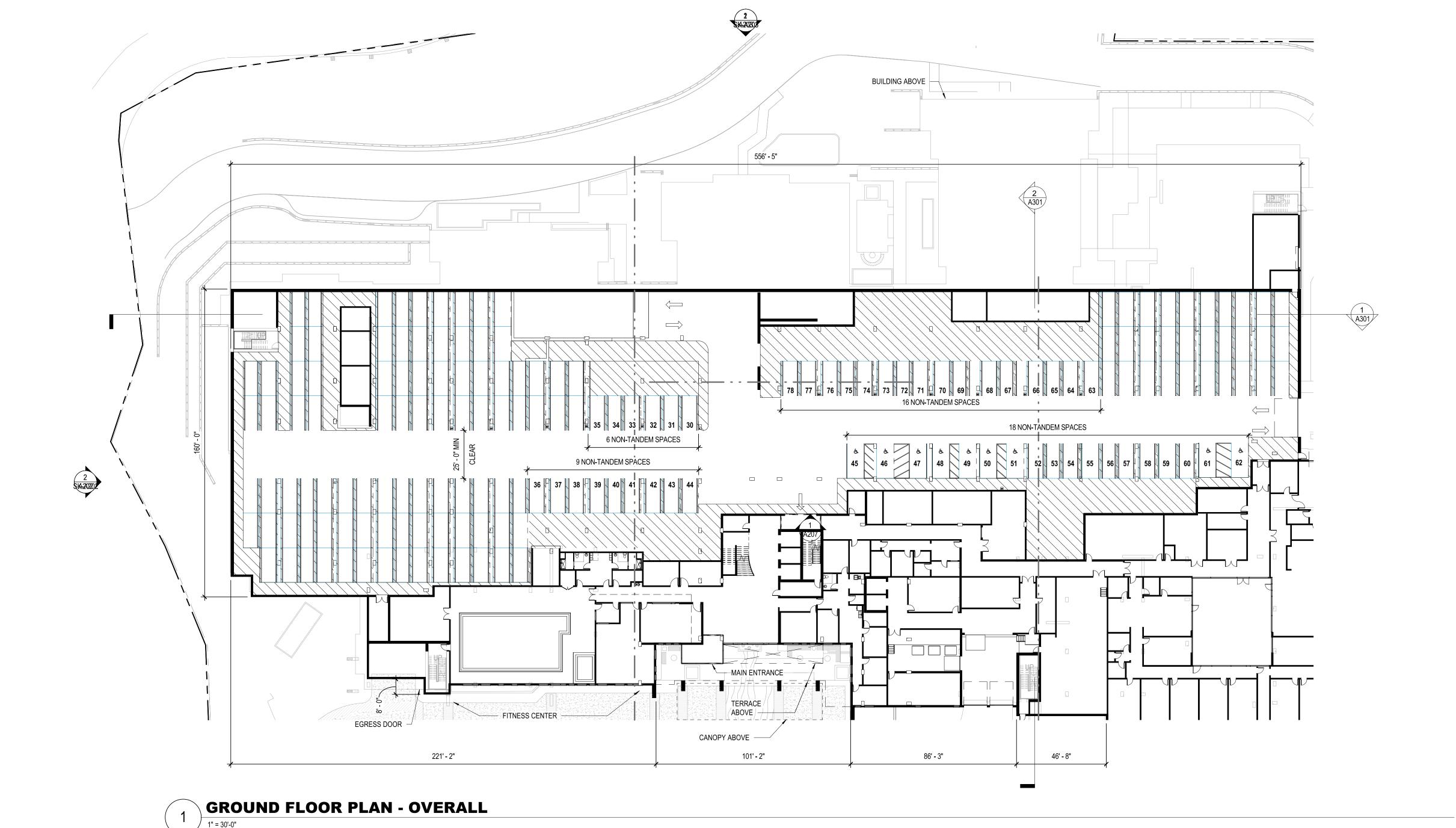
PROJECT No: 70581.00

FLOOR PLAN -LOWER GARAGE LEVEL

SCALE: 1/8" = 1'-0"

A100

PLANNING SUBMITTAL



NOT FOR CONSTRUCTION

# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: **KIMLEY-HORN** 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583

(925) 736-8176 Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105

(415) 989-1004 Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE: GROUND FLOOR PLAN - OVERALL

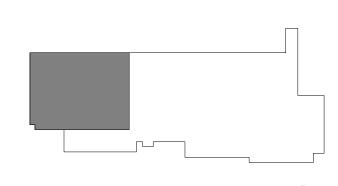
SCALE: 1" = 30'-0"

A101

PLANNING SUBMITTAL

JULY 27, 2021, CORRECTED





PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

Applicant:

ROCKWOOD PACIFIC

36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

COVIA

2185 N CALIFORNIA BLVD, SUITE 215
WALNUT CREEK, CA 94596
(925) 956-7400
Civil / Site:
KIMLEY-HORN
4637 CHABOT DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 398-4840

Landscape: **GATES + ASSOCIATES**2671 CROW CANYON RD
SAN RAMON, CA 94583
(925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS**45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004

Mechanical, Electrical & Plumbing: **GLUMAC**150 CALIFORNIA ST, 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC**690 GIBRALTAR DRIVE
MILPITAS, CA 95035
(408) 942-8200

PROJECT TITLE:

LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS, CA 95030

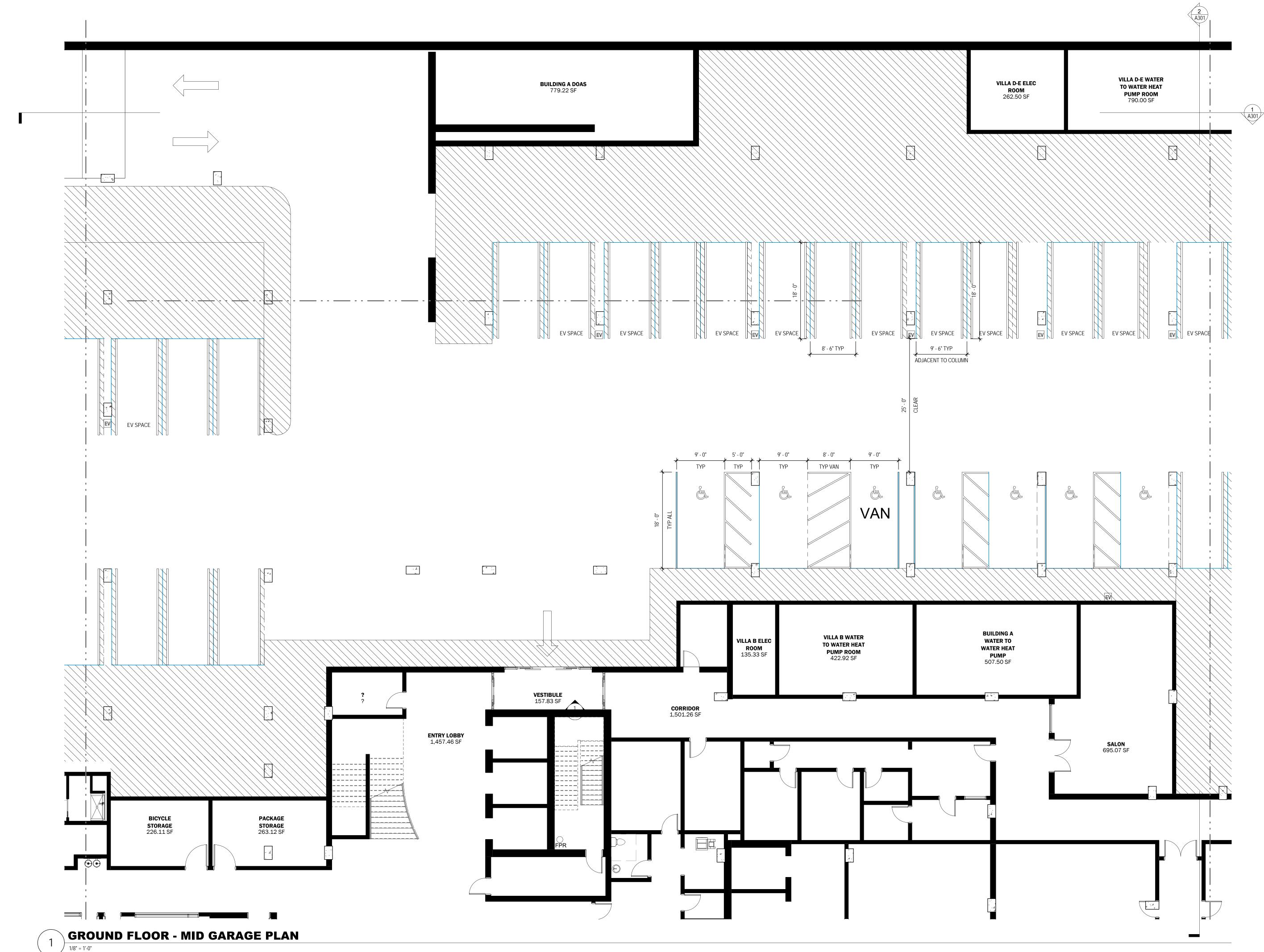
PROJECT No: 70581.00

GROUND FLOOR
PLAN - S GARAGE

SCALE: 1/8" = 1'-0"

A101A

PLANNING SUBMITTAL



NOT FOR CONSTRUCTION

# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site:

**KIMLEY-HORN** 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape:

GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583

(925) 736-8176 Structural:

**KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

Mechanical, Electrical & Plumbing: GLUMAC

150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

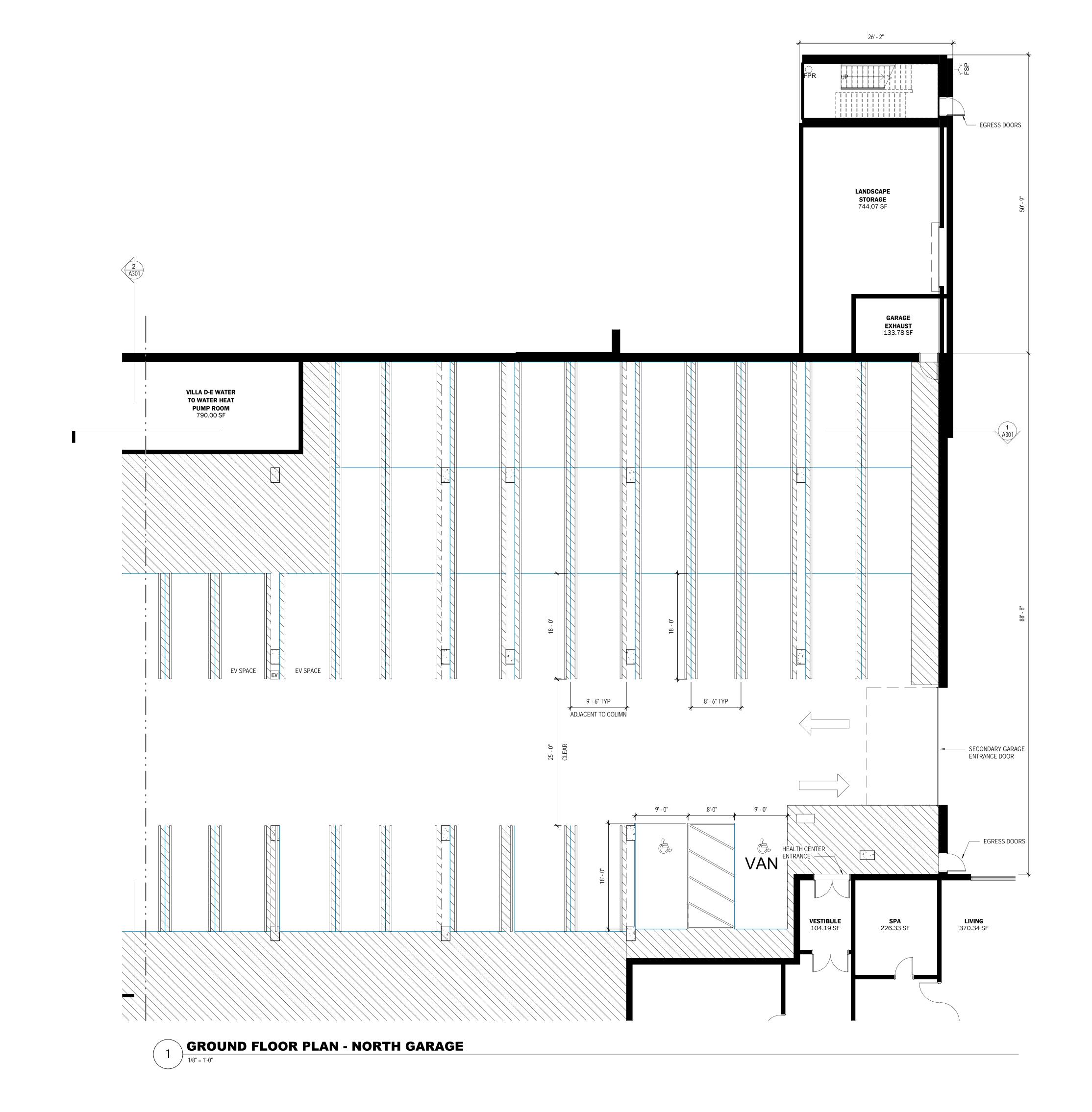
PROJECT No: 70581.00

DRAWING TITLE: GROUND FLOOR PLAN - MID GARAGE

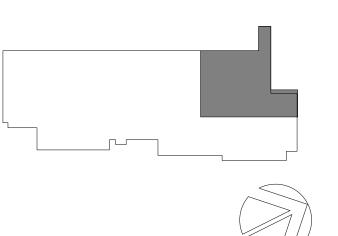
SCALE: 1/8" = 1'-0"

A101B

PLANNING SUBMITTAL



NO. DATE ISSUE NOT FOR CONSTRUCTION



# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner: COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: **KIMLEY-HORN** 

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840 Landscape:

**GATES + ASSOCIATES** 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176 Structural:

**KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE: GROUND FLOOR PLAN - N GARAGE

SCALE: 1/8" = 1'-0"

A101C

PLANNING SUBMITTAL

Page 377

/— HEALTH CENTER ENTRANCE

___ EGRESS DOOR

54' - 7"

__ EGRESS DOOR

NO. DATE ISSUE

#### PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

(415) 816-7 Owner:

**COVIA**2185 N CALIFORNIA BLVD, SUITE 215
WALNUT CREEK, CA 94596
(925) 956-7400

Civil / Site:

KIMLEY-HORN

4637 CHAROT DRIV

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840 Landscape: GATES + ASSOCIATES

**GATES + ASSOCIATES**2671 CROW CANYON RD
SAN RAMON, CA 94583
(925) 736-8176

(415) 989-1004

Structural:

KPFF CONSULTING ENGINEERS

45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105

Mechanical, Electrical & Plumbing: **GLUMAC** 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC**690 GIBRALTAR DRIVE
MILPITAS, CA 95035
(408) 942-8200

PROJECT TITLE:

### LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

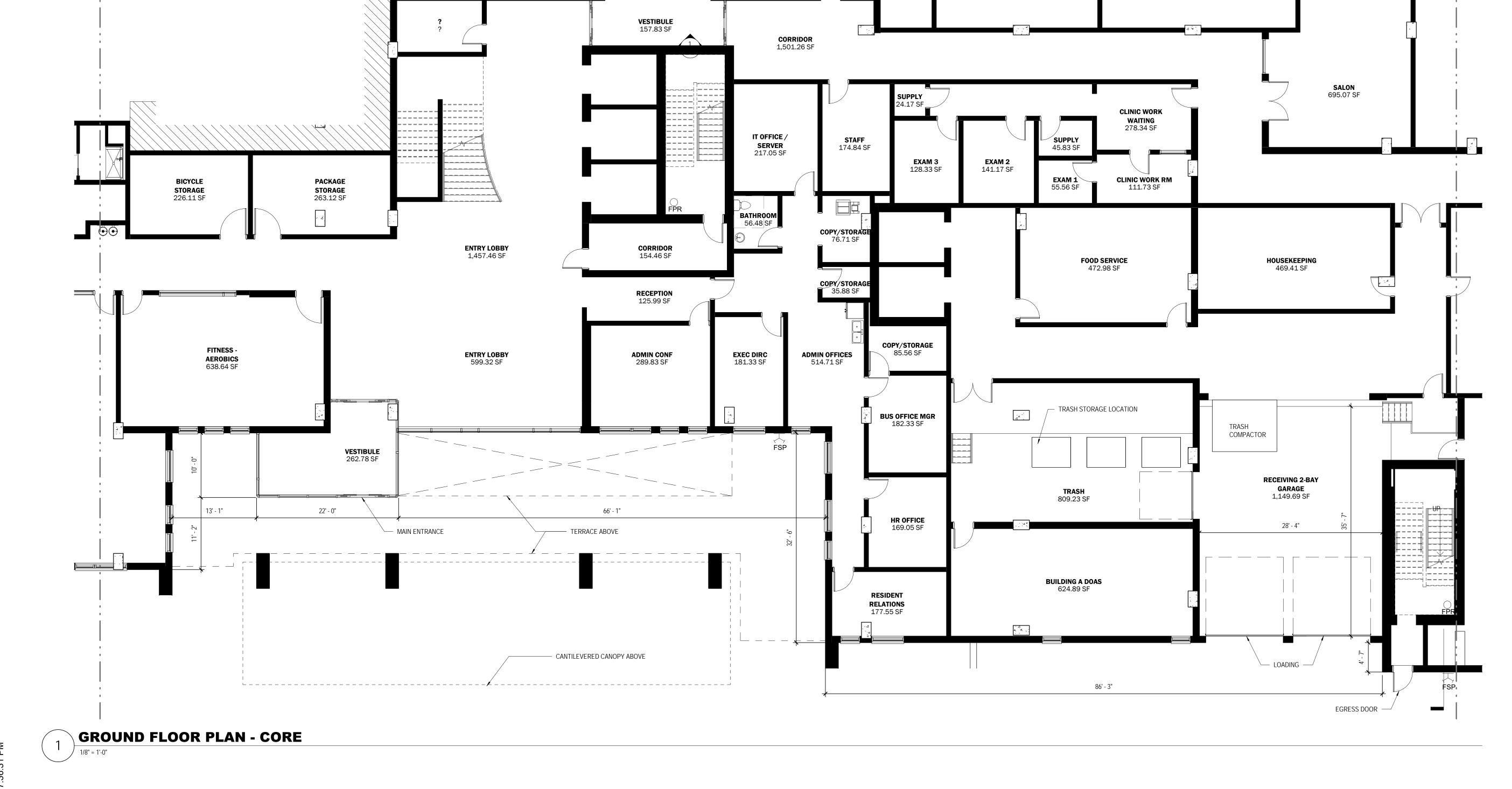
GROUND FLOOR
PLAN - HEALTH

SCALE: 1/8" = 1'-0"

CENTER

A101D

PLANNING SUBMITTAL



**VILLA B ELEC** 

ROOM

**VILLA B WATER** 

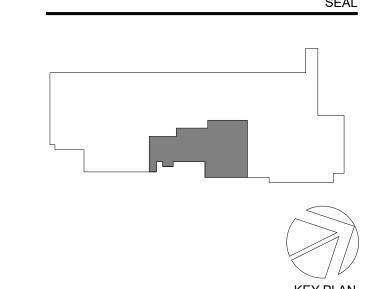
TO WATER HEAT

**PUMP ROOM** 

422.92 SF

NO. DATE ISSUE

NOT FOR CONSTRUCTION



# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

Applicant: ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

**BUILDING A** 

WATER TO

**WATER HEAT** 

**PUMP** 507.50 SF

COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: KIMLEY-HORN 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:

GROUND FLOOR PLAN - CORE

SCALE: 1/8" = 1'-0"

**A101E** 

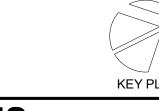
PLANNING SUBMITTAL

STORAGE 106.21 SF POOL STOR. **CHANGING ROOM** 59.71 SF 508.69 SF **P00L** 3,768.23 SF FITNESS OFFICE 120.00 SF **PUMP ROOM** 745.36 SF FITNESS -**EQUIPMENT** 954.82 SF EGRESS DOOR, BELOW — 12' - 4" **GROUND FLOOR PLAN - WELLNESS** 

1/8" = 1'-0"

NO. DATE ISSUE

NOT FOR CONSTRUCTION



# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: **KIMLEY-HORN** 

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583

(925) 736-8176 Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105

(415) 989-1004 Mechanical, Electrical & Plumbing: **GLUMAC** 

150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

#### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

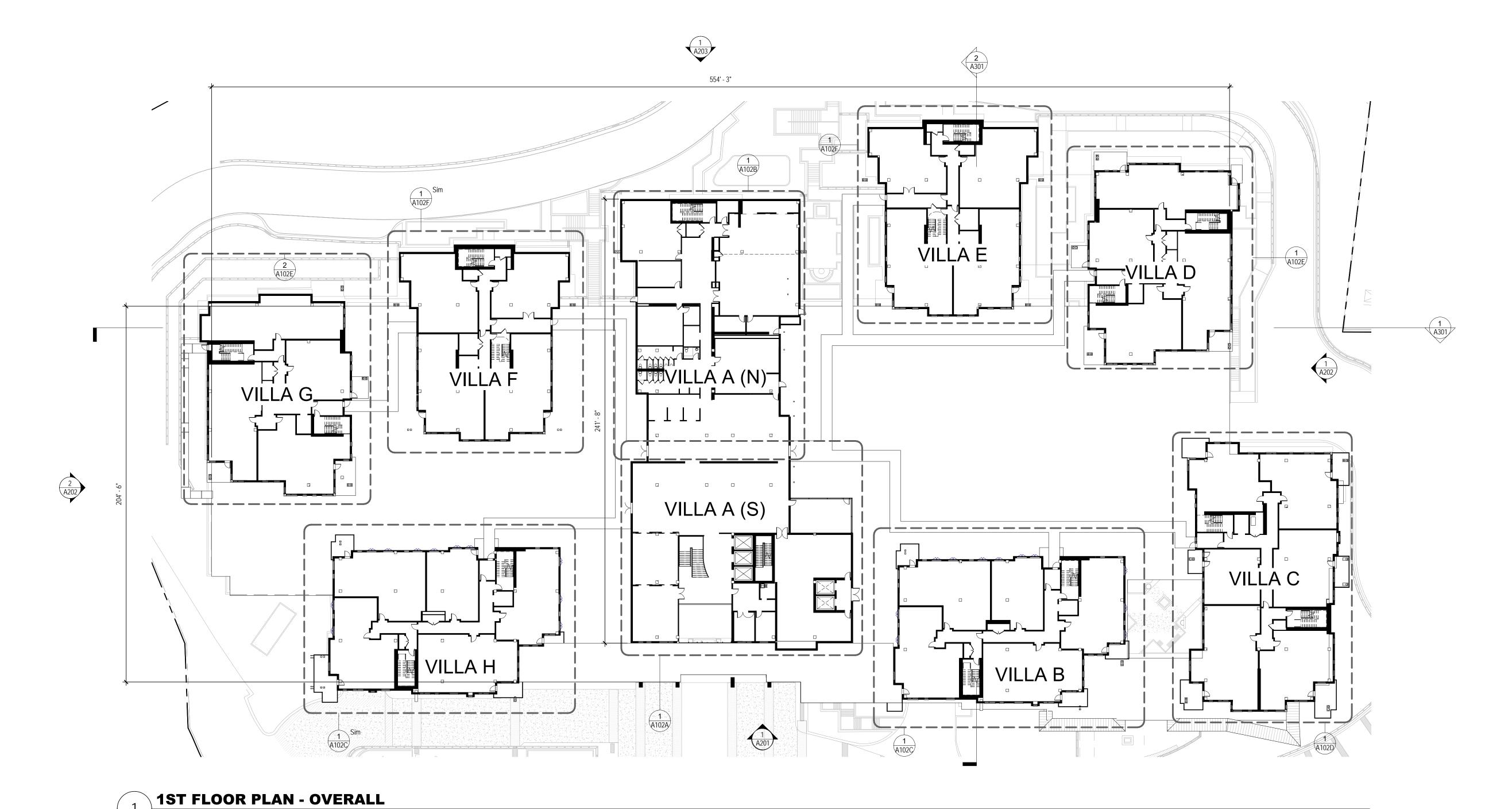
PROJECT No: 70581.00

DRAWING TITLE: GROUND FLOOR PLAN - WELLNESS

SCALE: 1/8" = 1'-0"

A101F

PLANNING SUBMITTAL



NOT FOR CONSTRUCTION

# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

Applicant:

ROCKWOOD PACIFIC

36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

**COVIA**2185 N CALIFORNIA BLVD, SUITE 215
WALNUT CREEK, CA 94596
(925) 956-7400

Civil / Site: **KIMLEY-HORN** 

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: **GATES + ASSOCIATES** 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Structural:

KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105 (415) 989-1004 Mechanical, Electrical & Plumbing:

GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC**690 GIBRALTAR DRIVE
MILPITAS, CA 95035
(408) 942-8200

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE: 1ST FLOOR PLAN -OVERALL

SCALE: 1" = 30'-0"

**A102** 

PLANNING SUBMITTAL

JULY 27, 2021

Page 380

BISTRO 1,298.39 SF

48 OCCUPANTS (BY SEAT COUNT)

**GALLERY** 909.95 SF

CORRIDOR 318.90 SF

**BISTRO** 1,071.91 SF

42 OCCUPANTS

(BY SEAT COUNT)

NO. DATE ISSUE NOT FOR CONSTRUCTION

# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

634.37 SF

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: KIMLEY-HORN

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840 Landscape:

GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105

Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111

(415) 398-7667 General Contractor: DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

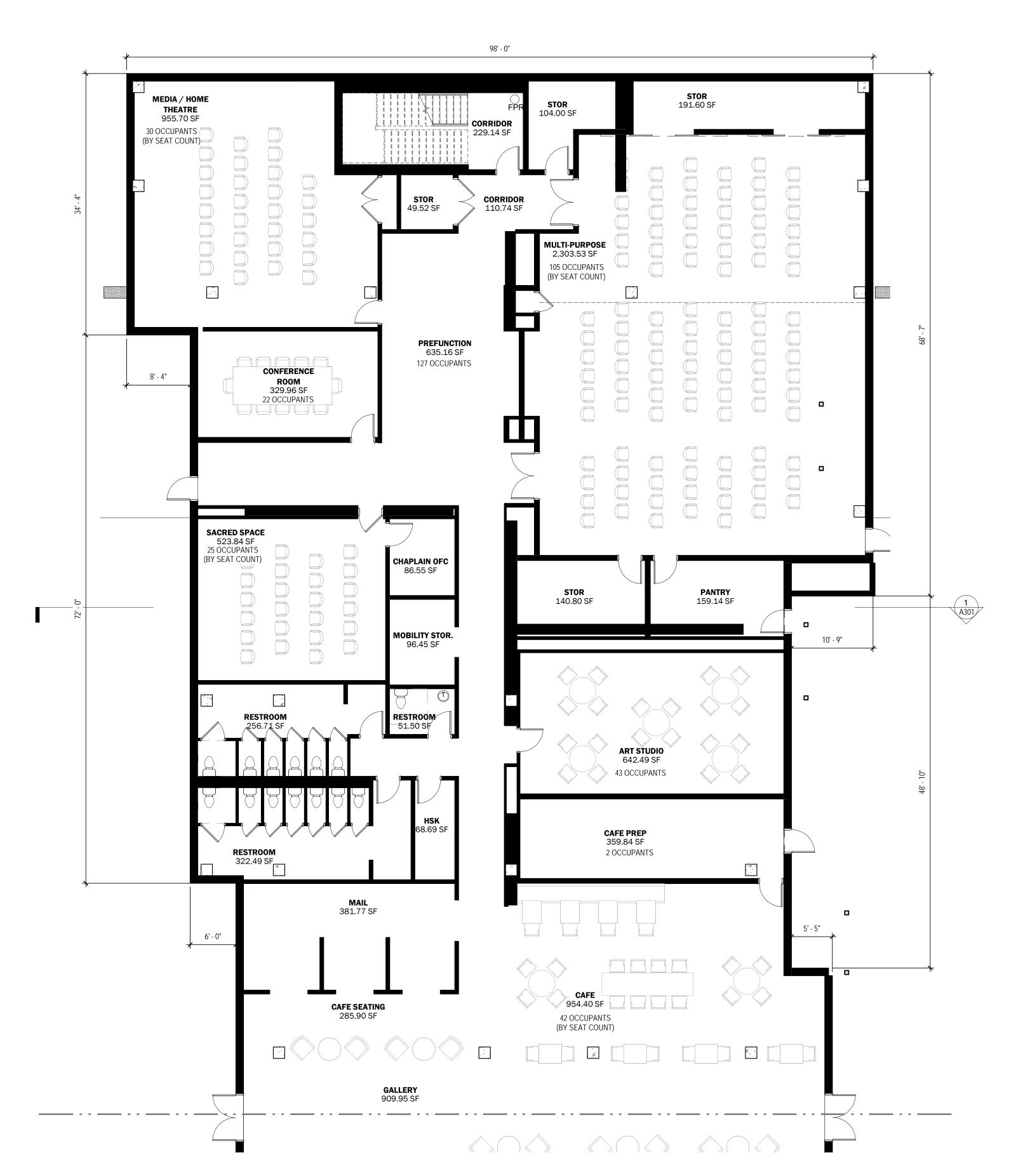
PROJECT No: 70581.00

DRAWING TITLE: 1ST FLOOR PLAN -VILLA A S

SCALE: 1/8" = 1'-0"

A102A

PLANNING SUBMITTAL



1ST FLOOR PLAN - VILLA A NORTH

NO. DATE ISSUE

NOT FOR CONSTRUCTION

#### PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

Applicant: **ROCKWOOD PACIFIC**36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

**COVIA**2185 N CALIFORNIA BLVD, SUITE 215
WALNUT CREEK, CA 94596
(925) 956-7400

Civil / Site:
KIMLEY-HORN

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: **GATES + ASSOCIATES**2671 CROW CANYON RD
SAN BAMON, CA 04593

SAN RAMON, CA 94583 (925) 736-8176 Structural: KPFF CONSULTING ENGIN

KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004

Mechanical, Electrical & Plumbing: **GLUMAC**150 CALIFORNIA ST, 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7667

General Contractor:

**DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

#### LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS, CA 95030

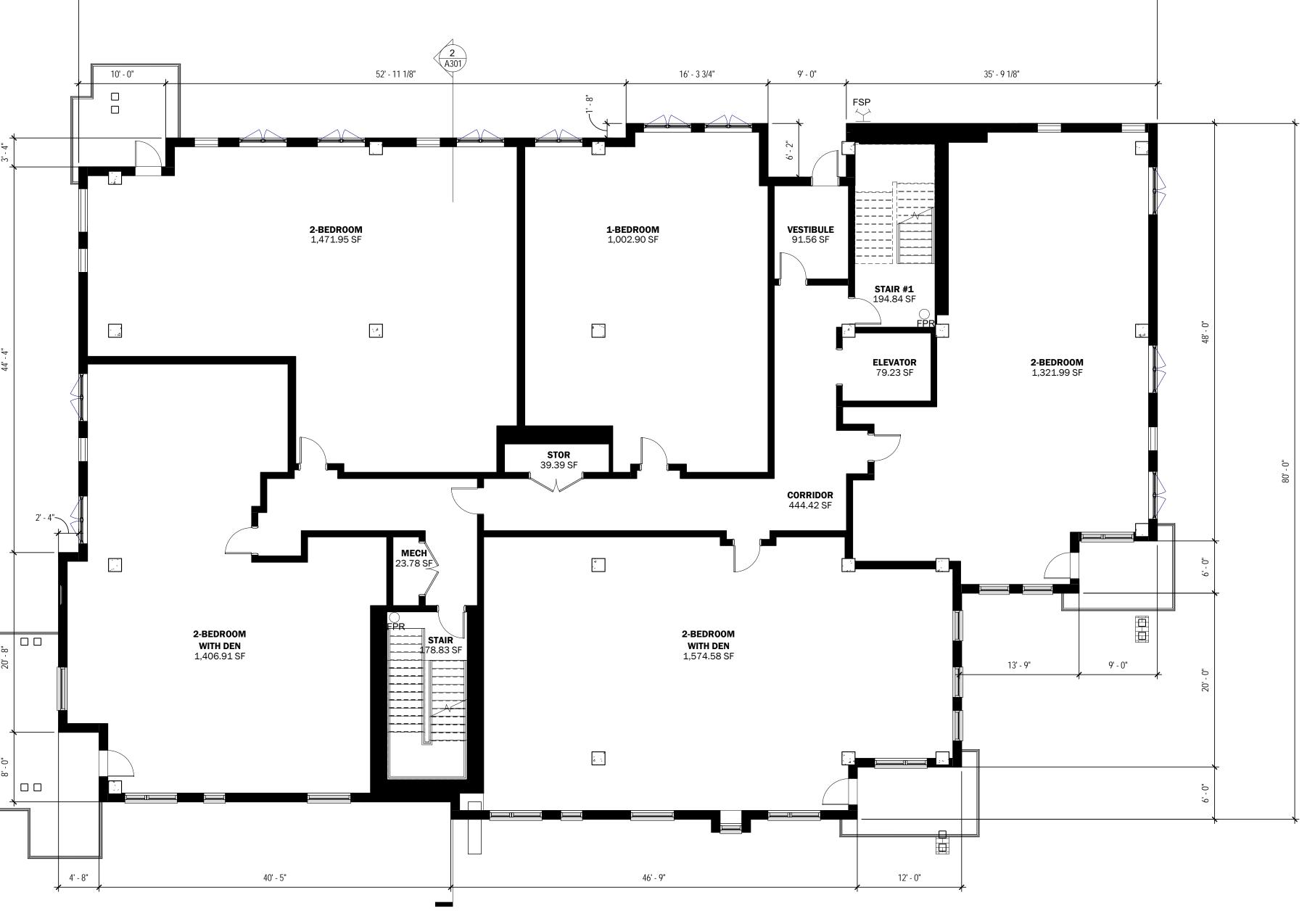
PROJECT No: 70581.00

1ST FLOOR PLAN - VILLA A N

SCALE: 1/8" = 1'-0"

A102B

PLANNING SUBMITTAL

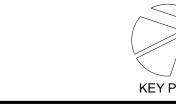


124' - 0"

1 1ST FLOOR PLAN - VILLA B & H

NO. DATE ISSUE

NOT FOR CONSTRUCTION



#### PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

Applicant:

ROCKWOOD PACIFIC

36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

**COVIA**2185 N CALIFORNIA BLVD, SUITE 215
WALNUT CREEK, CA 94596
(925) 956-7400

Civil / Site:
KIMLEY-HORN

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: **GATES + ASSOCIATES**2671 CROW CANYON RD
SAN RAMON, CA 94583

(925) 736-8176

Structural:

KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004

Mechanical, Electrical & Plumbing:

GLUMAC

150 CALIFORNIA ST, 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7667

General Contractor:

DEVCON CONSTRUCTION INC
690 GIBRALTAR DRIVE
MILPITAS, CA 95035

PROJECT TITLE:

(408) 942-8200

### LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS, CA 95030

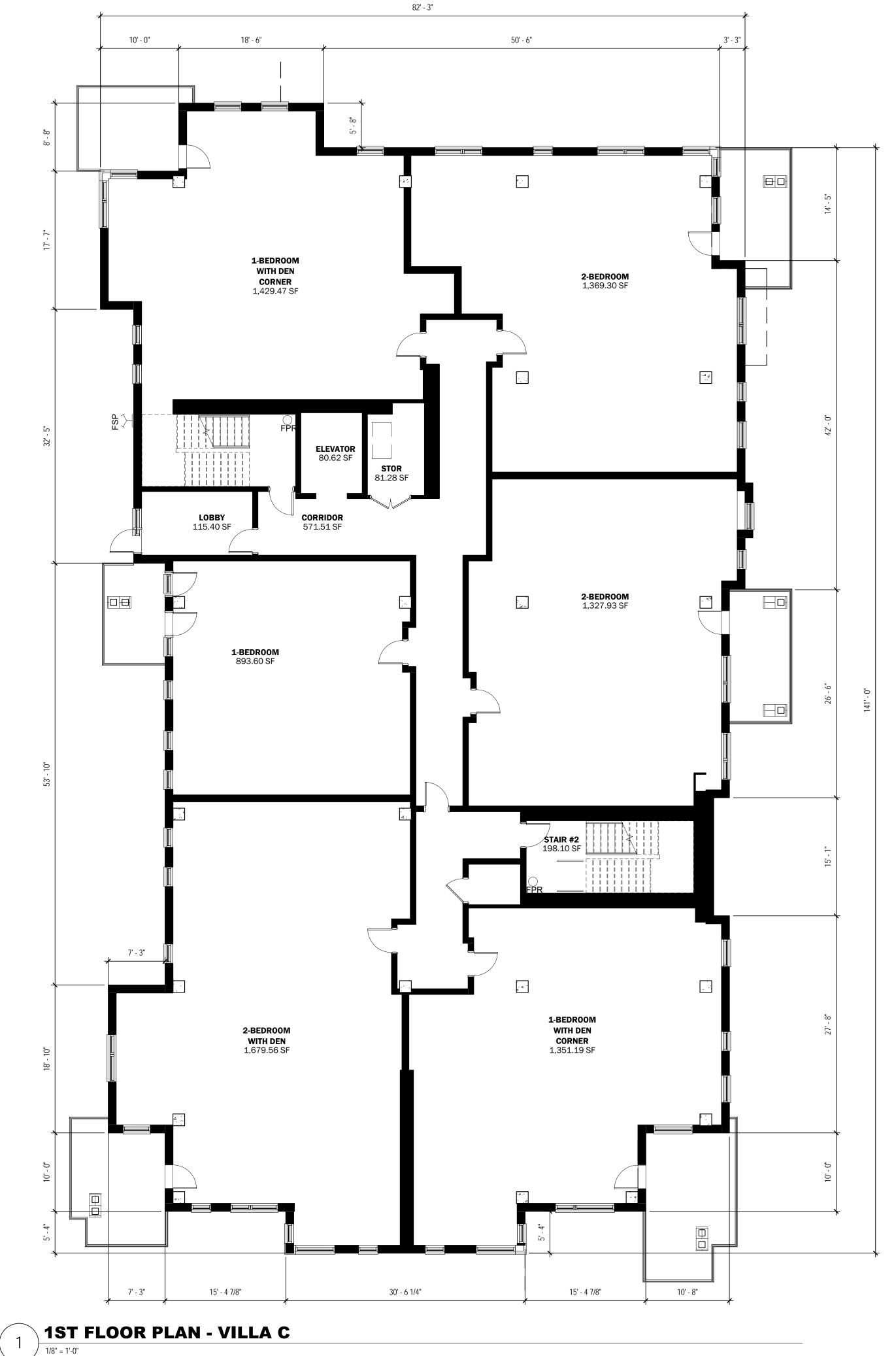
PROJECT No: 70581.00

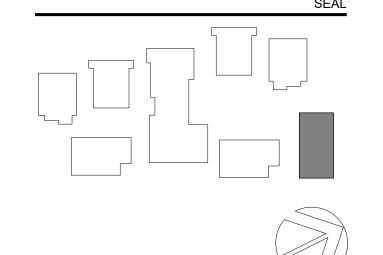
1ST FLOOR PLAN - VILLA B & H

SCALE: 1/8" = 1'-0"

A102C

PLANNING SUBMITTAL





#### PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

Applicant:

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

(415) 816-7944 Owner:

**COVIA**2185 N CALIFORNIA BLVD, SUITE 215
WALNUT CREEK, CA 94596
(925) 956-7400

Civil / Site:

KIMLEY-HORN

4637 CHABOT DRIVE, SUITE
PLEASANTON CA 94588

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840 Landscape: GATES + ASSOCIATES

GATES + ASSOCIATES
2671 CROW CANYON RD
SAN RAMON, CA 94583
(925) 736-8176
Structural:

KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004

Mechanical, Electrical & Plumbing: **GLUMAC** 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor:

DEVCON CONSTRUCTION INC
690 GIBRALTAR DRIVE
MILPITAS, CA 95035
(408) 942-8200

PROJECT TITLE:

### LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

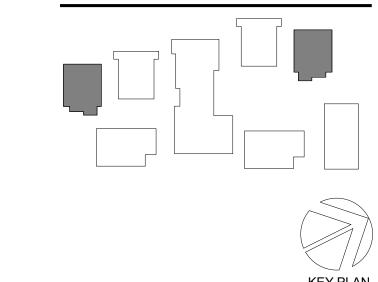
1ST FLOOR PLAN - VILLA C

SCALE: 1/8" = 1'-0"

A102D

PLANNING SUBMITTAL

NOT FOR CONSTRUCTION



# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: **KIMLEY-HORN** 

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583

(925) 736-8176 Structural:

**KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

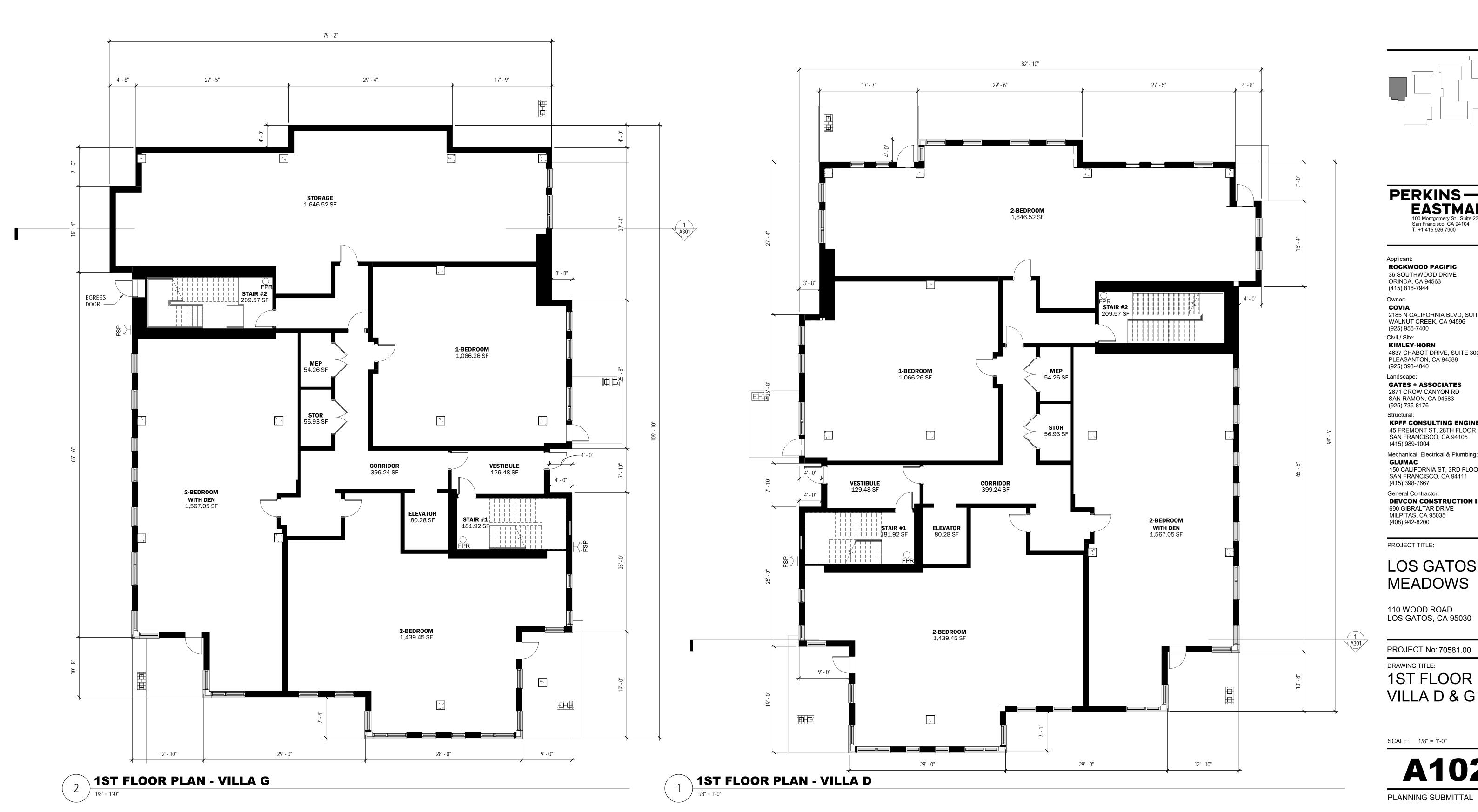
PROJECT No: 70581.00

DRAWING TITLE: 1ST FLOOR PLAN -VILLA D & G

SCALE: 1/8" = 1'-0"

**A102E** 

PLANNING SUBMITTAL



93' - 0" 33' - 4" 29' - 10" 29' - 10" **CLASSROOM** 1,144.51 SF **2-BEDROOM** 1,404.17 SF 5' - 6" Owner: **LOBBY** 236.47 SF **CORRIDOF** 296.02 SF ,197.90 SF 114.67 SF **ELEVATOR** 77.27 SF (408) 942-8200 2-BEDROOM 2-BEDROOM WITH DEN 1,551.28 SF **WITH DEN** 1,551.41 SF . , , 

19' - 0"

1ST FLOOR PLAN - VILLA E (VILLA F OPP HAND)

28' - 0"

19' - 0"

NO. DATE ISSUE NOT FOR CONSTRUCTION



# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: **KIMLEY-HORN** 

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape:

GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176 Structural:

**KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111

(415) 398-7667 General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

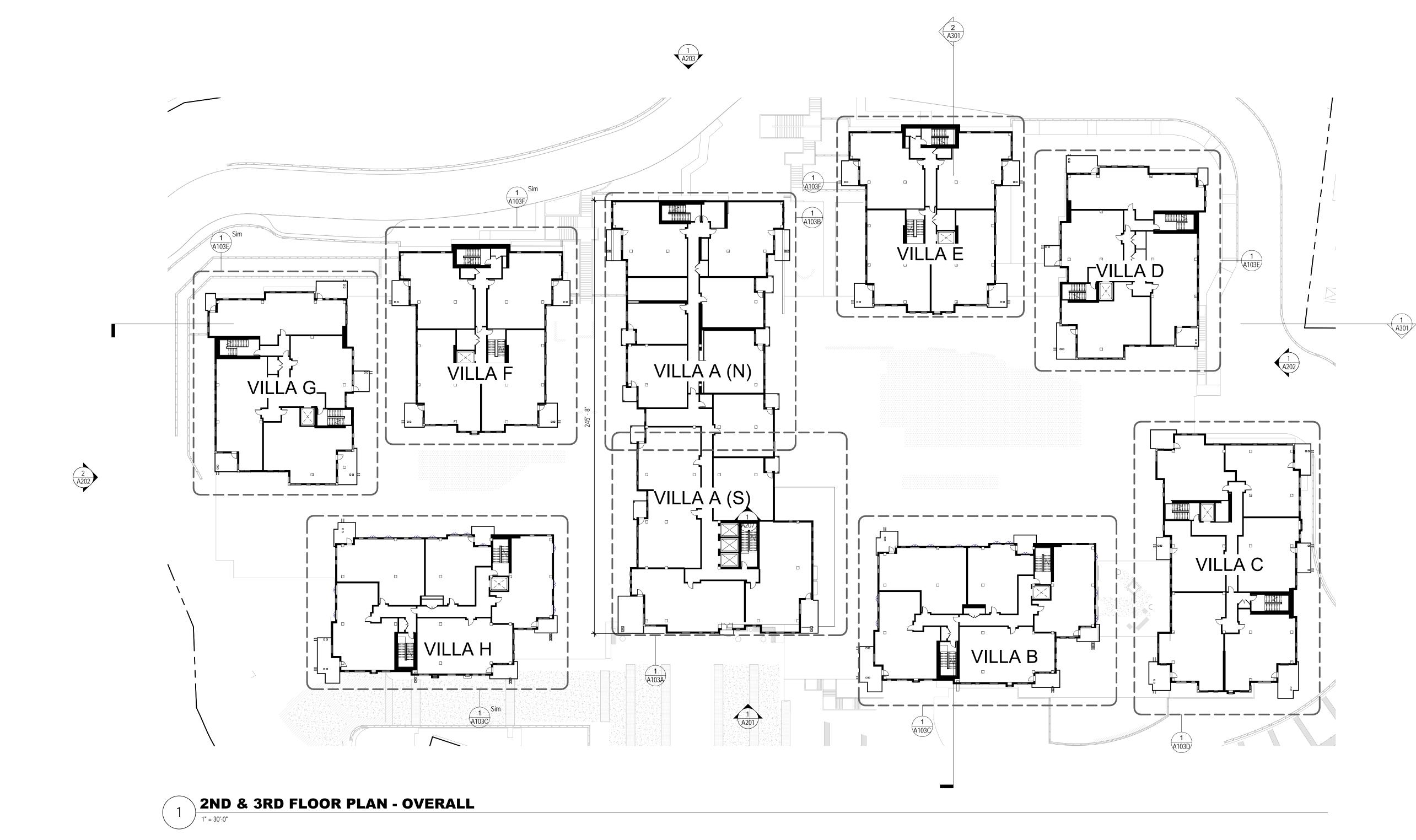
PROJECT No: 70581.00

DRAWING TITLE: 1ST FLOOR PLAN -VILLA E & F

SCALE: 1/8" = 1'-0"

A102F

PLANNING SUBMITTAL



NOT FOR CONSTRUCTION



PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

Applicant:

ROCKWOOD PACIFIC

36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

**COVIA**2185 N CALIFORNIA BLVD, SUITE 215
WALNUT CREEK, CA 94596
(925) 956-7400 Civil / Site: KIMLEY-HORN

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840 Landscape:

**GATES + ASSOCIATES** 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176 Structural:

KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105 (415) 989-1004

Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

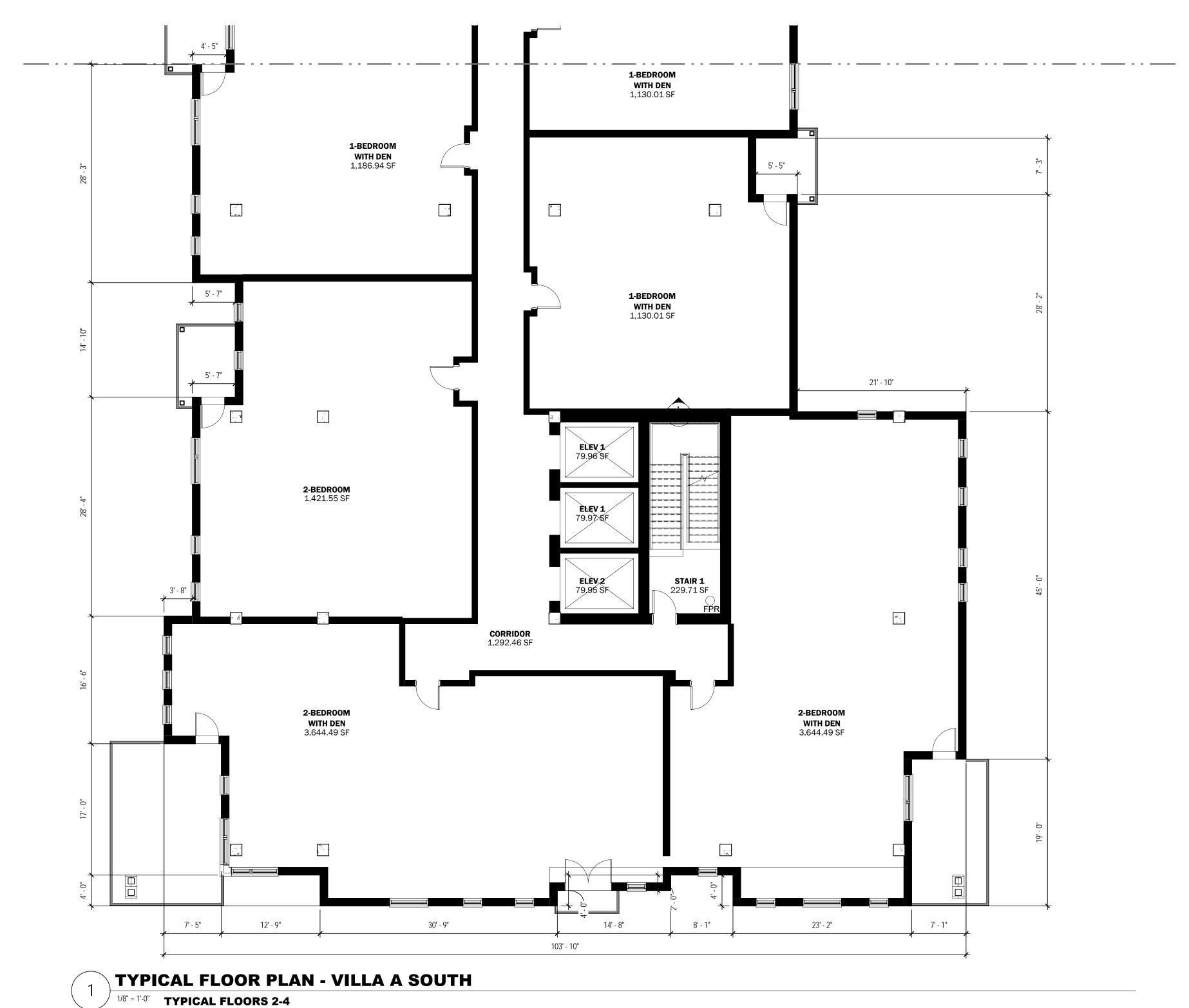
PROJECT No: 70581.00

DRAWING TITLE: 2ND & 3RD FLOOR PLAN - OVERALL

SCALE: 1" = 30'-0"

**A103** 

PLANNING SUBMITTAL



NOT FOR CONSTRUCTION



PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: **KIMLEY-HORN** 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: **GATES + ASSOCIATES** 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

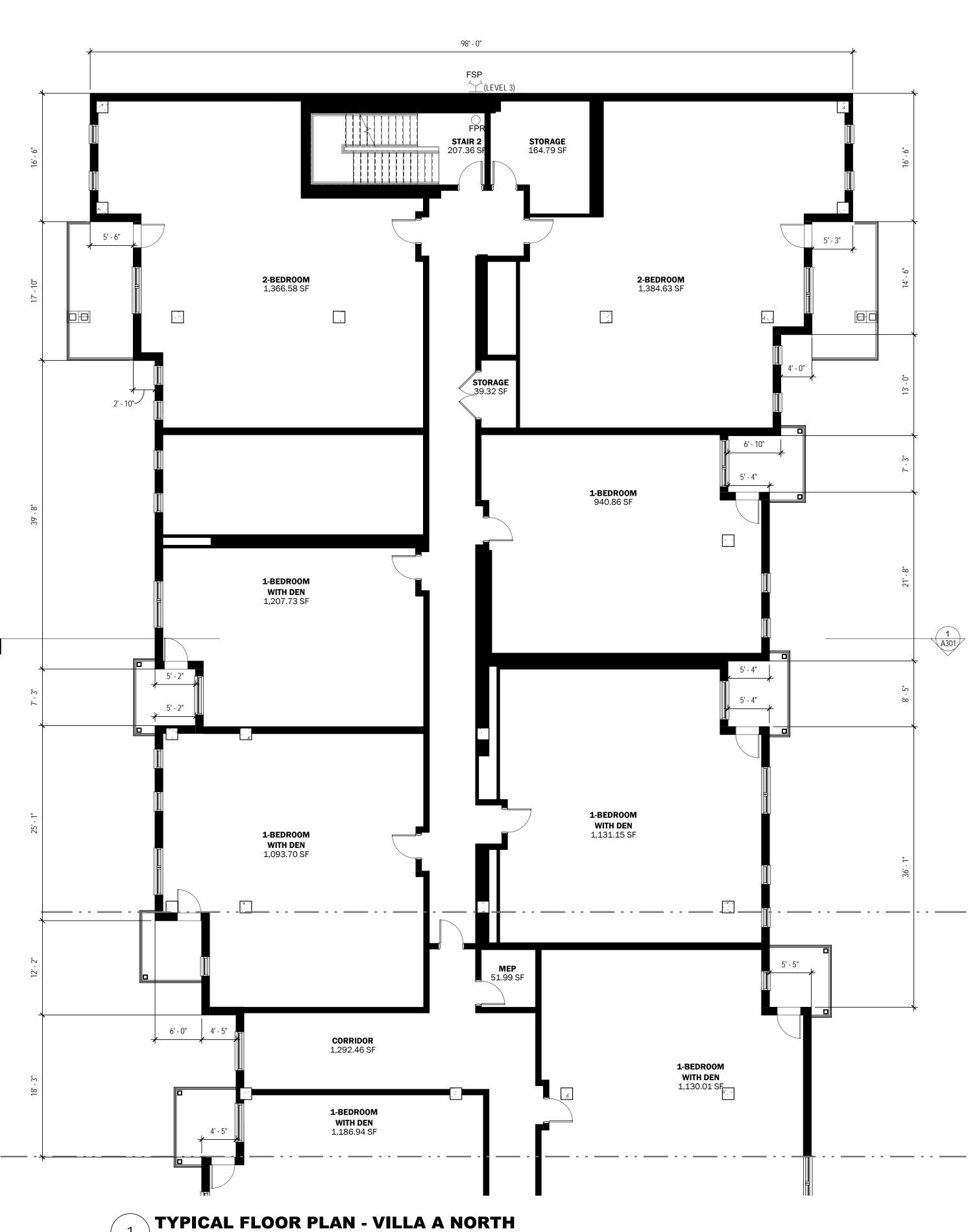
PROJECT No: 70581.00

DRAWING TITLE: TYPICAL FLOOR PLAN - VILLA A S

SCALE: 1/8" = 1'-0"

A103A

PLANNING SUBMITTAL



1/8" = 1'-0" **TYPICAL FLOORS 2-5** 

NO. DATE ISSUE

NOT FOR CONSTRUCTION

# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: **KIMLEY-HORN** 

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: **GATES + ASSOCIATES** 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR

SAN FRANCISCO, CA 94105 (415) 989-1004 Mechanical, Electrical & Plumbing: GLUMAC

150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

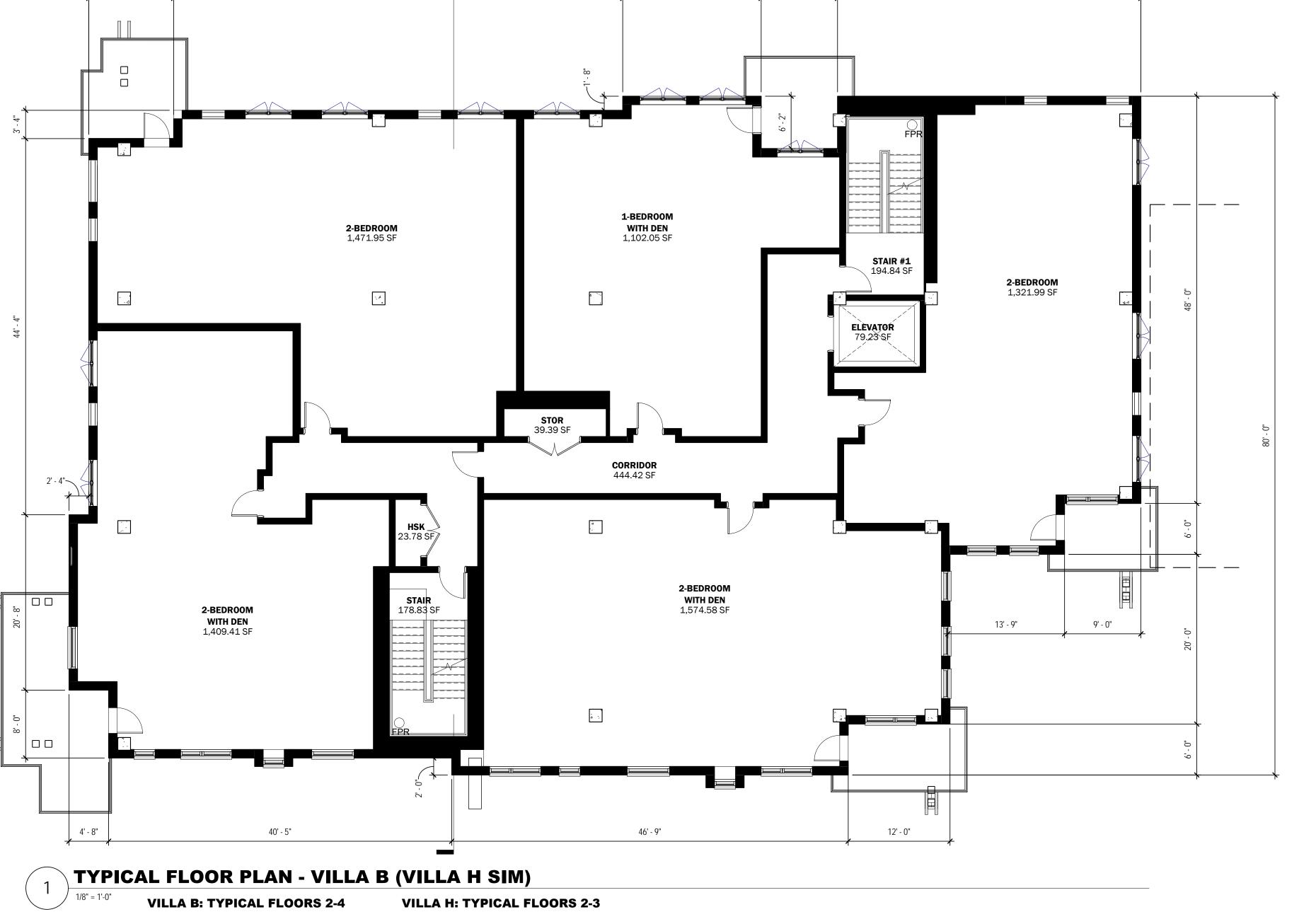
DRAWING TITLE:

TYPICAL FLOOR PLAN - VILLA A N

SCALE: 1/8" = 1'-0"

A103B

PLANNING SUBMITTAL



124' - 0"

16' - 4"

35' - 9"

52' - 11"

10' - 0"

NO. DATE ISSUE

NOT FOR CONSTRUCTION



Applicant: **ROCKWOOD PACIFIC**36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: **KIMLEY-HORN** 

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583

(925) 736-8176 Structural: **KPFF CONSULTING ENGINEERS** 

45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004 Mechanical, Electrical & Plumbing:

GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

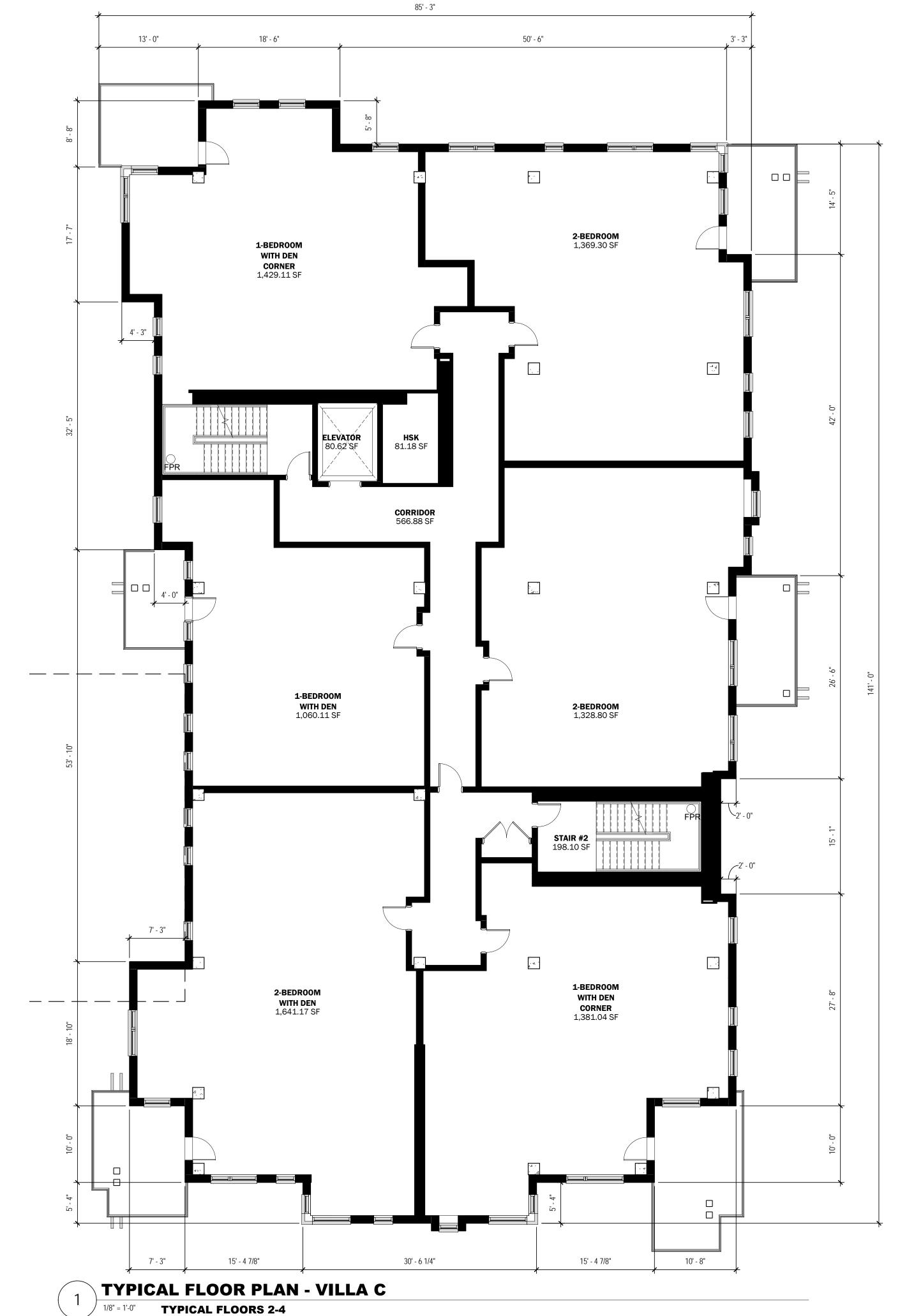
DRAWING TITLE: TYPICAL FLOOR

PLAN - VILLA B&H

SCALE: 1/8" = 1'-0"

A103C

PLANNING SUBMITTAL



NOT FOR CONSTRUCTION

# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: KIMLEY-HORN

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583

(925) 736-8176 Structural: **KPFF CONSULTING ENGINEERS** 

45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004 Mechanical, Electrical & Plumbing:

GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

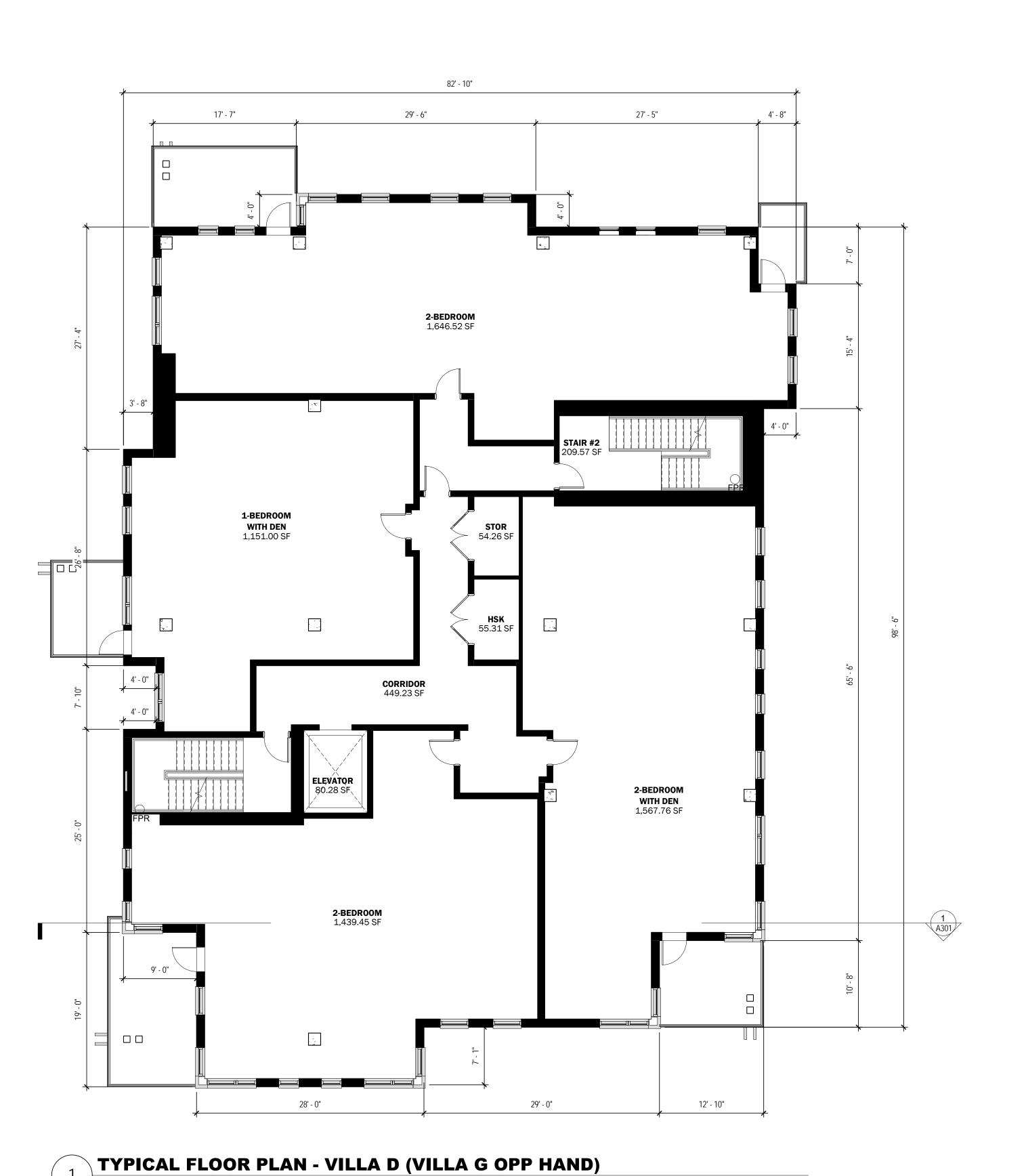
PROJECT No: 70581.00

DRAWING TITLE: TYPICAL FLOOR PLAN - VILLA C

SCALE: 1/8" = 1'-0"

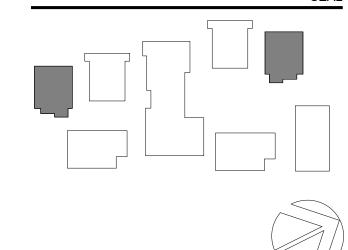
A103D

PLANNING SUBMITTAL



1/8" = 1'-0" **TYPICAL FLOORS 2-3** 

NO. DATE ISSUE NOT FOR CONSTRUCTION



# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner: COVIA

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: **KIMLEY-HORN** 

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840 Landscape:

GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105

(415) 989-1004 Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111

(415) 398-7667 General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035

PROJECT TITLE:

(408) 942-8200

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

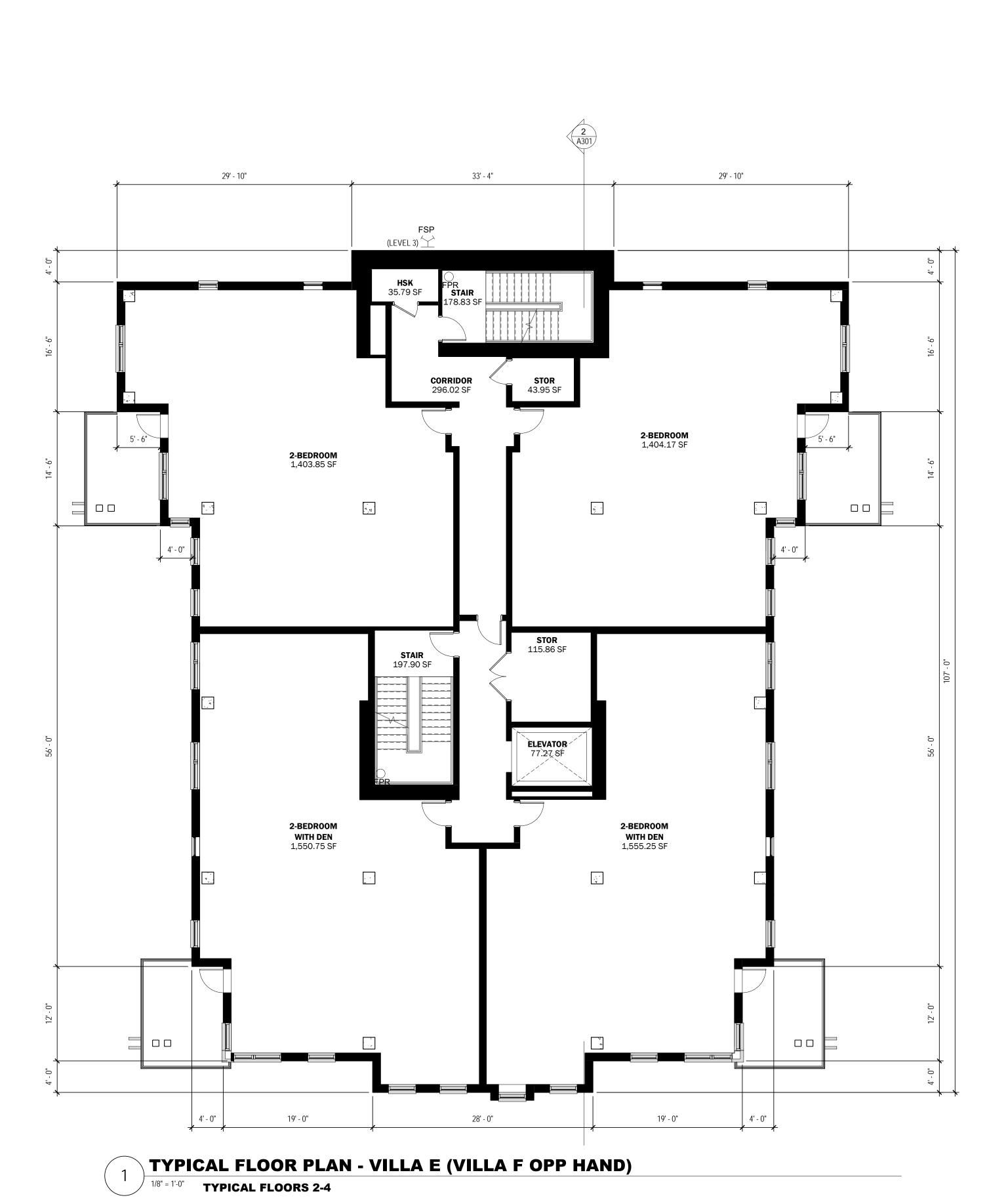
PROJECT No: 70581.00

DRAWING TITLE: TYPICAL FLOOR PLAN - VILLA D & G

SCALE: 1/8" = 1'-0"

**A103E** 

PLANNING SUBMITTAL



NOT FOR CONSTRUCTION



ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: **KIMLEY-HORN** 

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840 Landscape:

GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105

Mechanical, Electrical & Plumbing: **GLUMAC** 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111

(415) 398-7667 General Contractor: DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

(415) 989-1004

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

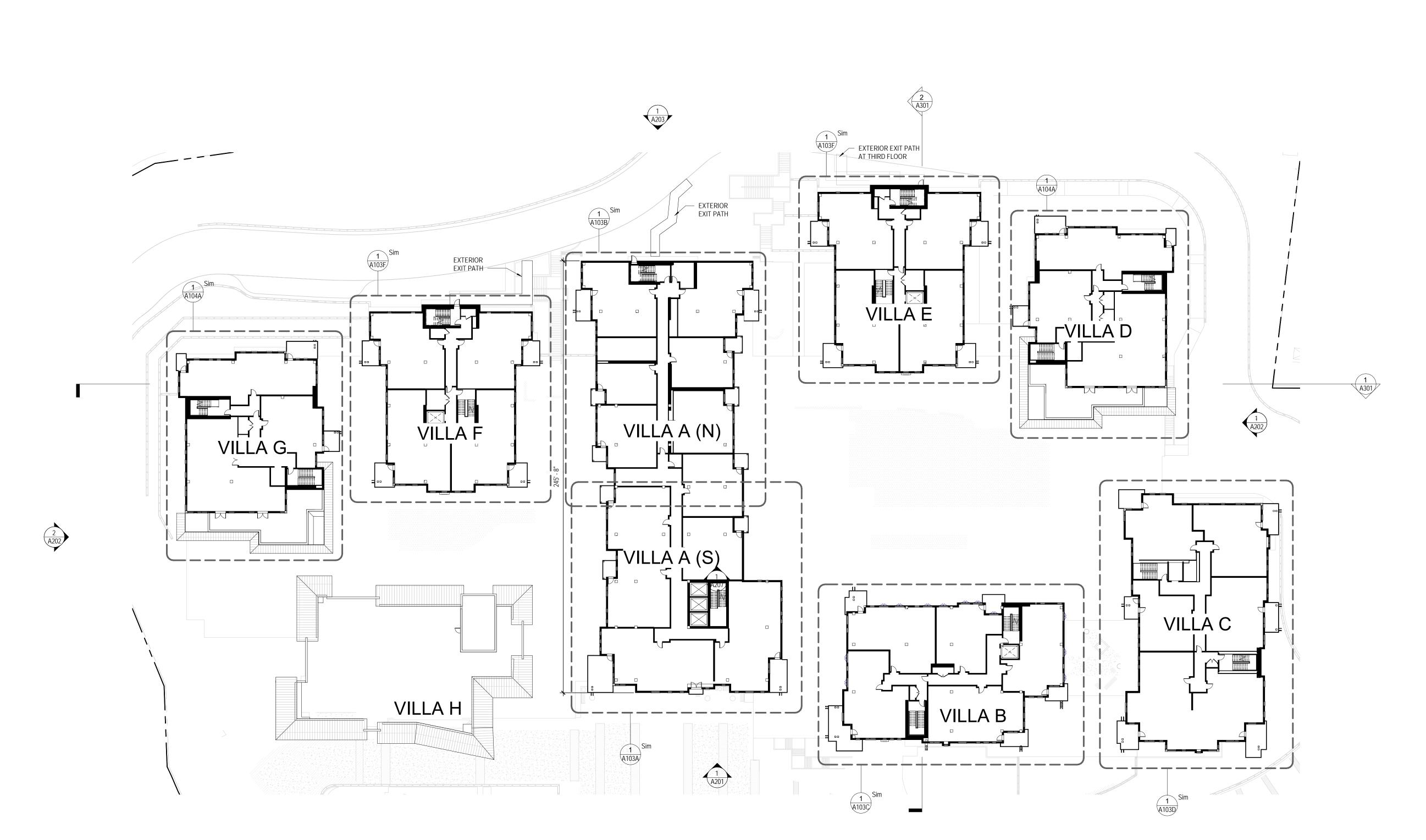
PROJECT No: 70581.00

DRAWING TITLE: TYPICAL FLOOR PLAN - VILLA E & F

SCALE: 1/8" = 1'-0"

A103F

PLANNING SUBMITTAL



NOT FOR CONSTRUCTION

### PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

Applicant:

ROCKWOOD PACIFIC

36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

(415) 816-79 Owner:

**COVIA**2185 N CALIFORNIA BLVD, SUITE 215
WALNUT CREEK, CA 94596
(925) 956-7400

Civil / Site:

KIMLEY-HORN

4637 CHAROT DRIVE

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840 Landscape: GATES + ASSOCIATES

Landscape: **GATES + ASSOCIATES**2671 CROW CANYON RD
SAN RAMON, CA 94583
(925) 736-8176

Structural:

KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004

Mechanical, Electrical & Plumbing: **GLUMAC**150 CALIFORNIA ST, 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7667

(415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC**690 GIBRALTAR DRIVE
MILPITAS, CA 95035
(408) 942-8200

PROJECT TITLE:

### LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

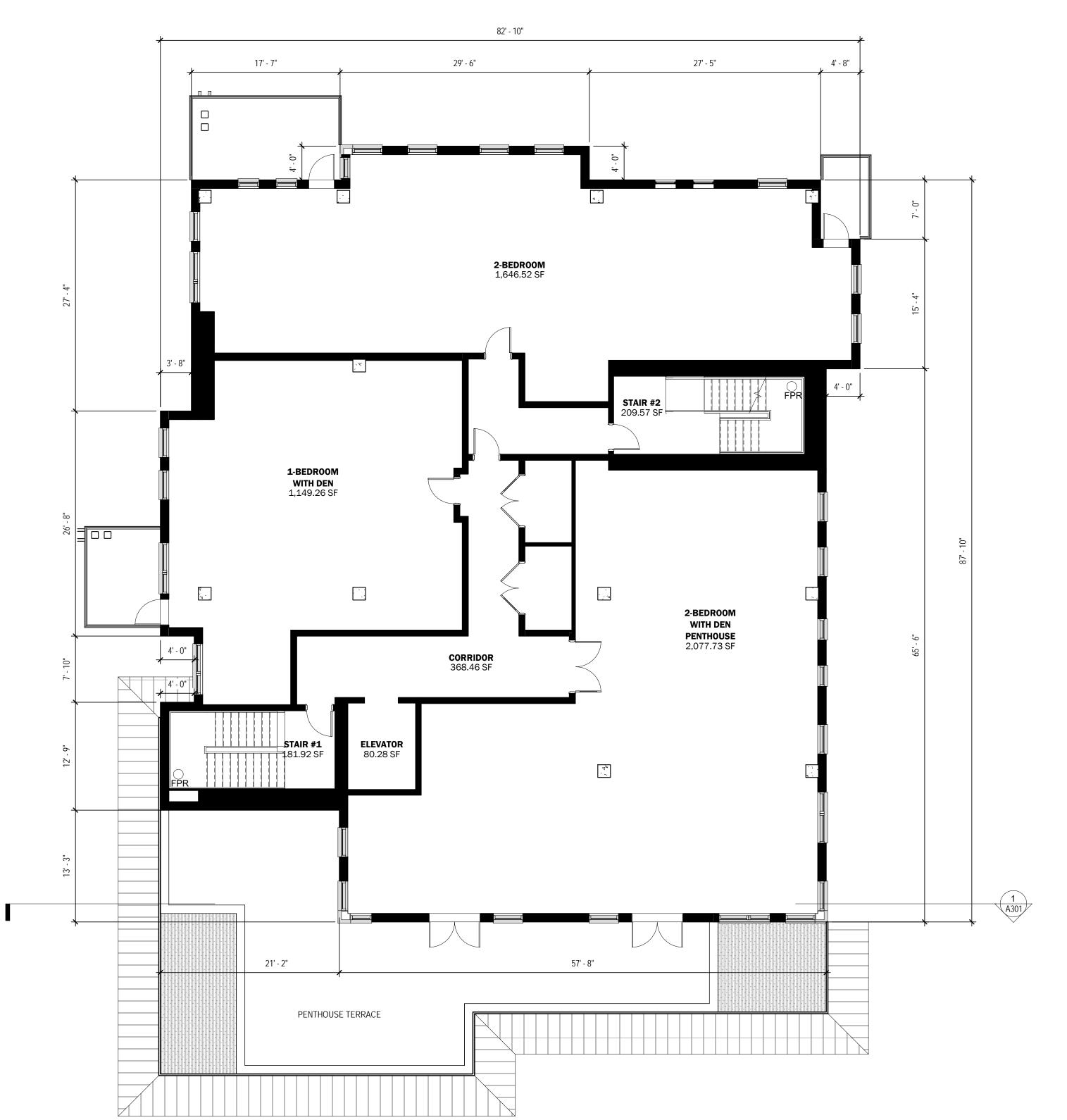
DRAWING TITLE:
4TH FLOOR PLAN OVERALL

SCALE: 1" = 30'-0"

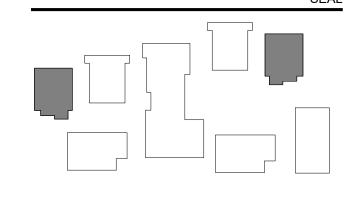
A104

PLANNING SUBMITTAL

NOT FOR CONSTRUCTION









# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: KIMLEY-HORN

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583

(925) 736-8176 Structural: **KPFF CONSULTING ENGINEERS** 

45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004 Mechanical, Electrical & Plumbing: GLUMAC

150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE: 4TH FLOOR PLAN -VILLA D & G

SCALE: 1/8" = 1'-0"



PLANNING SUBMITTAL

# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

**COVIA**2185 N CALIFORNIA BLVD, SUITE 215
WALNUT CREEK, CA 94596
(925) 956-7400

Civil / Site: KIMLEY-HORN 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: **GATES + ASSOCIATES**2671 CROW CANYON RD
SAN RAMON, CA 94583
(925) 736-8176

Structural:

KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004

Mechanical, Electrical & Plumbing: GLUMAC

150 CALIFORNIA ST, 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC**690 GIBRALTAR DRIVE
MILPITAS, CA 95035
(408) 942-8200

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

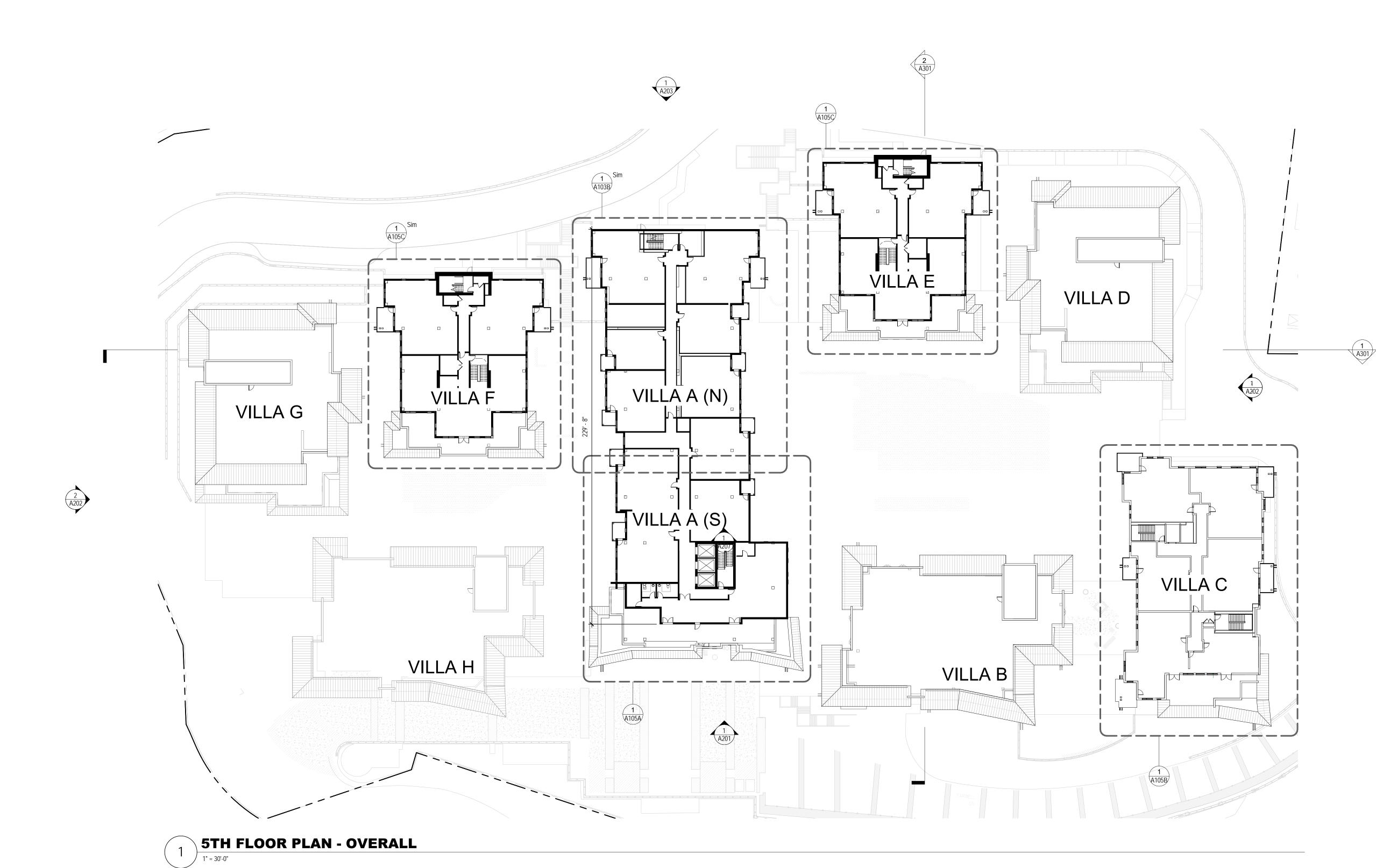
PROJECT No: 70581.00

DRAWING TITLE: 5TH FLOOR PLAN -OVERALL

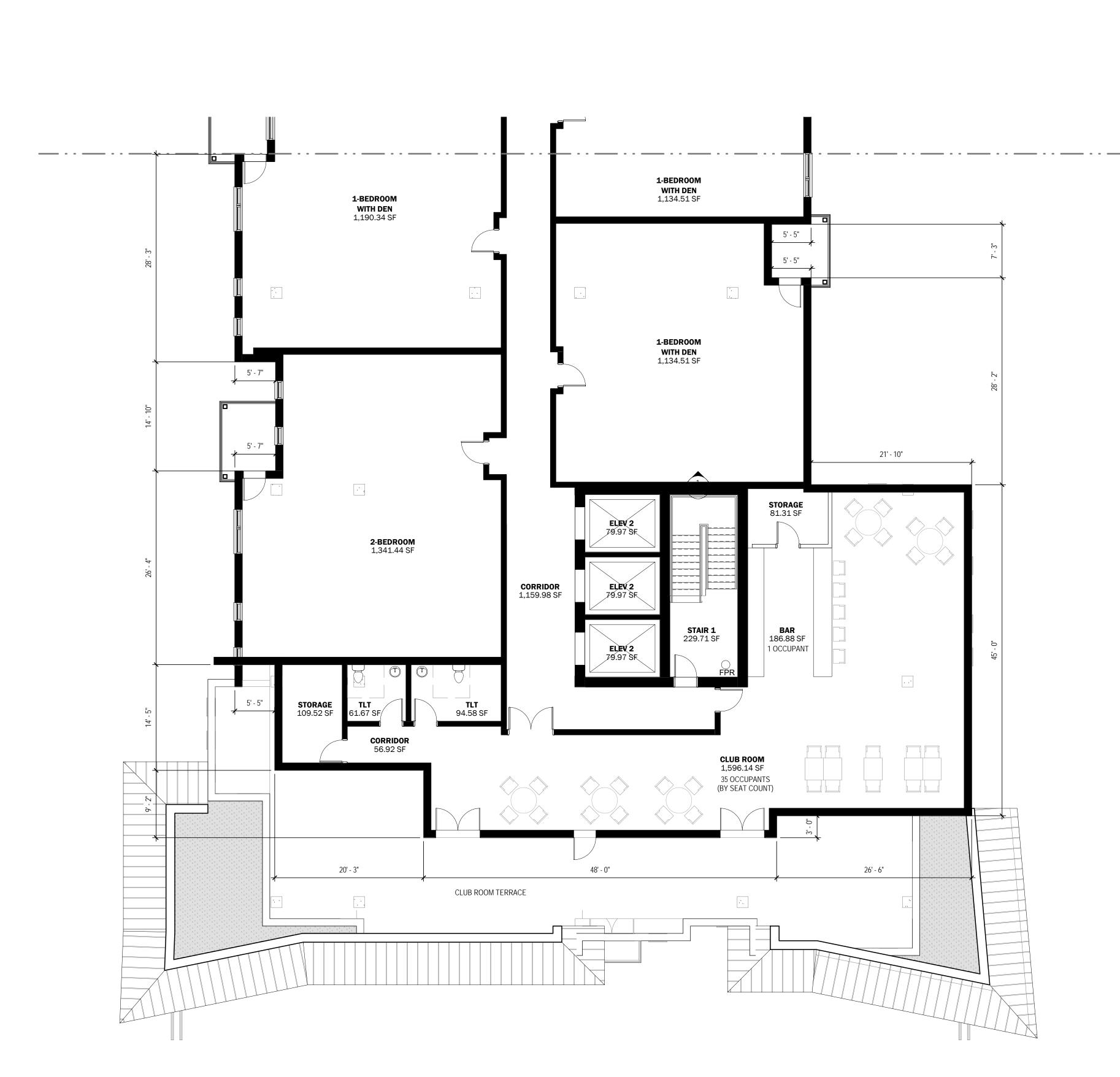
SCALE: 1" = 30'-0"

A105

PLANNING SUBMITTAL







NOT FOR CONSTRUCTION



PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner: COVIA

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400 Civil / Site: KIMLEY-HORN

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840 Landscape: GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583

(925) 736-8176 Structural:

**KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004 Mechanical, Electrical & Plumbing:

GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

## LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

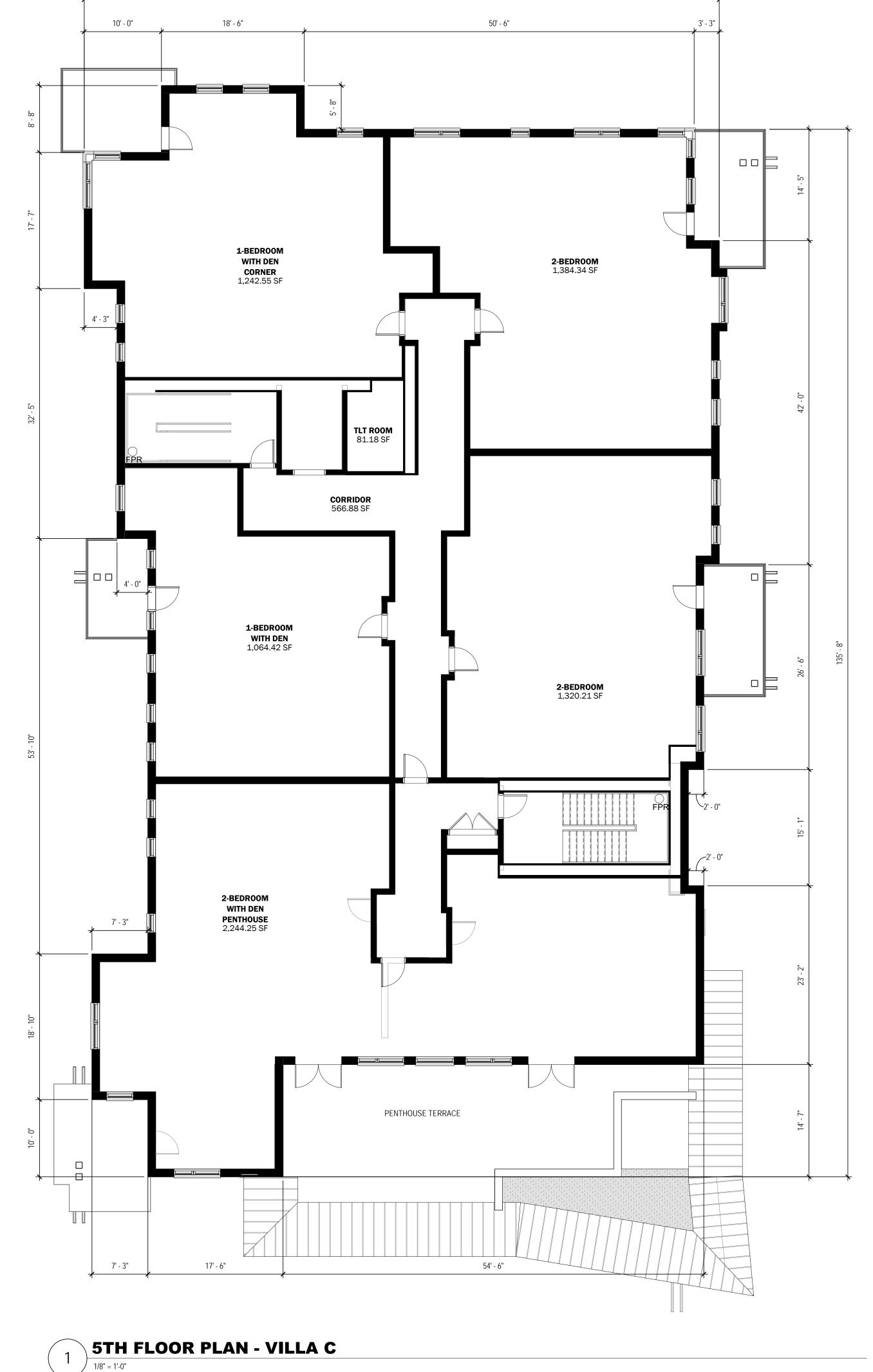
DRAWING TITLE:

5TH FLOOR PLAN -VILLA A S

SCALE: 1/8" = 1'-0"

A105A

PLANNING SUBMITTAL



82' - 3"

LOS GATOS MEADOWS

NO. DATE ISSUE

NOT FOR CONSTRUCTION

PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

**COVIA**2185 N CALIFORNIA BLVD, SUITE 215
WALNUT CREEK, CA 94596
(925) 956-7400

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

**KPFF CONSULTING ENGINEERS** 

45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105

Mechanical, Electrical & Plumbing:

150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583

Applicant: **ROCKWOOD PACIFIC**36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

Civil / Site:

Landscape:

(925) 736-8176 Structural:

(415) 989-1004

General Contractor:

PROJECT TITLE:

GLUMAC

**KIMLEY-HORN** 

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:

5TH FLOOR PLAN -VILLA C

SCALE: 1/8" = 1'-0"

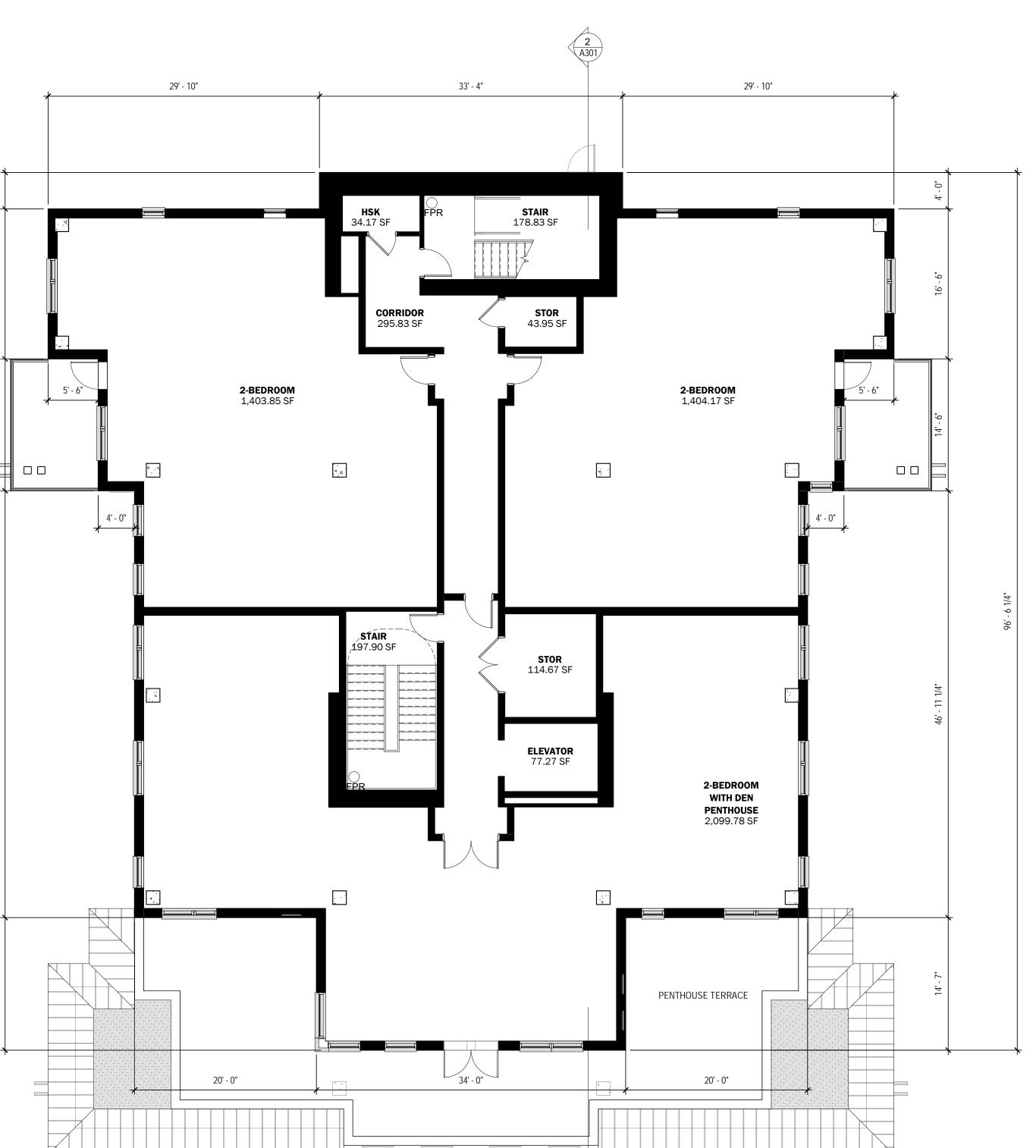
A105B

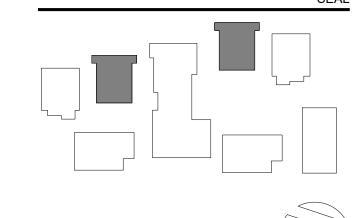
PLANNING SUBMITTAL

JULY 27, 2021

Page

NOT FOR CONSTRUCTION





## PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: **KIMLEY-HORN** 

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape:

GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111

(415) 398-7667 General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035

PROJECT TITLE:

(408) 942-8200

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

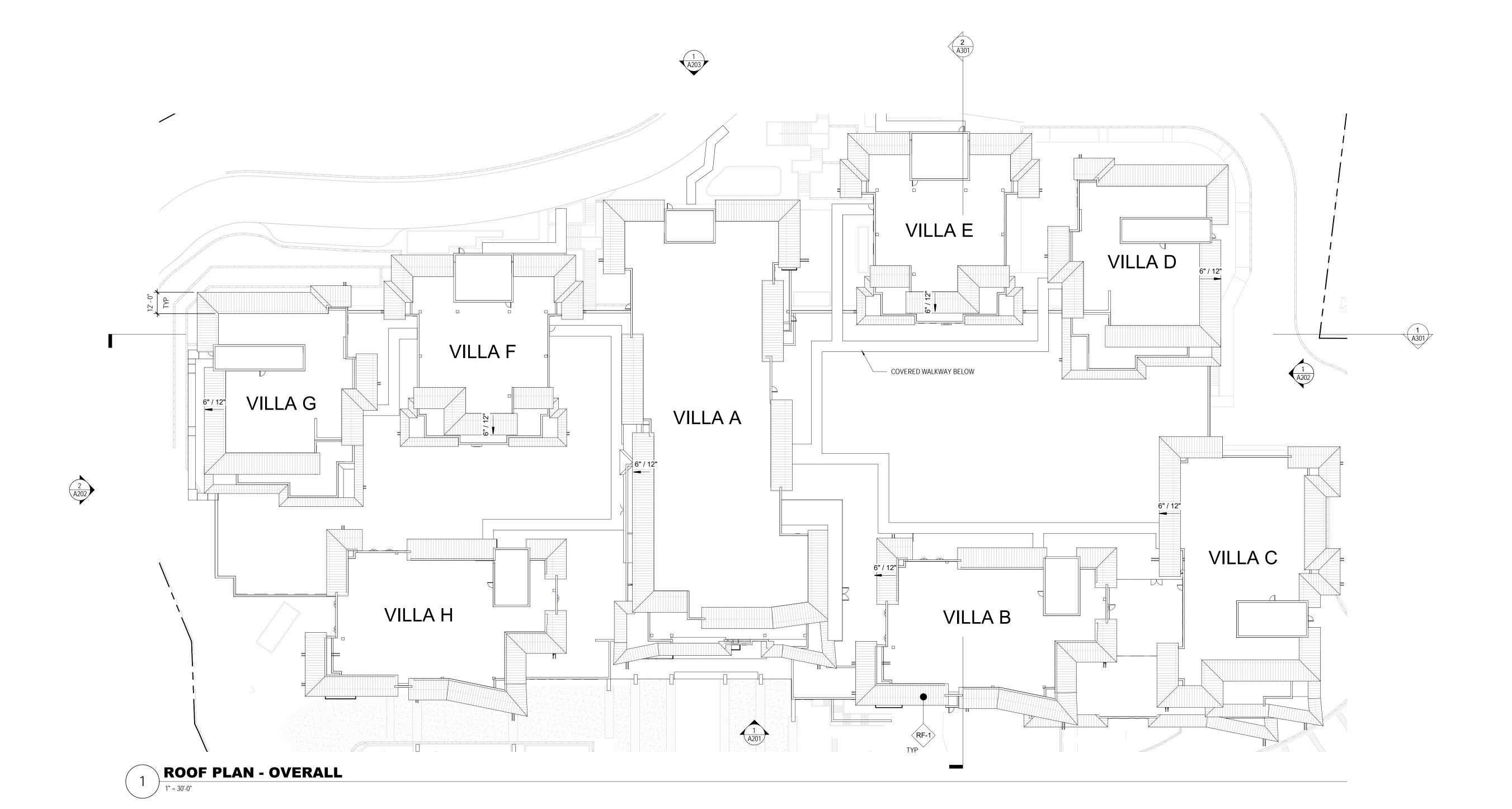
DRAWING TITLE:

5TH FLOOR PLAN -VILLA E & F

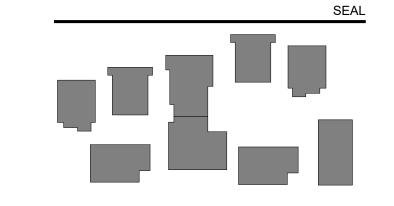
SCALE: 1/8" = 1'-0"

A105C

PLANNING SUBMITTAL



NOT FOR CONSTRUCTION





# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

Applicant: **ROCKWOOD PACIFIC**36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner: **COVIA**2185 N CALIFORNIA BLVD, SUITE 215

WALNUT CREEK, CA 94596
(925) 956-7400

Civil / Site: KIMLEY-HORN 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: **GATES + ASSOCIATES**2671 CROW CANYON RD
SAN RAMON, CA 94583
(925) 736-8176 Structural:

KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004

Mechanical, Electrical & Plumbing: GLUMAC

150 CALIFORNIA ST, 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7667

General Contractor: DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

## LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE: ROOF PLAN -OVERALL

SCALE: 1" = 30'-0"

A106

PLANNING SUBMITTAL





NOT FOR CONSTRUCTION



# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400 Civil / Site:

KIMLEY-HORN 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: **GATES + ASSOCIATES** 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Structural: KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105 (415) 989-1004

Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035

PROJECT TITLE:

(408) 942-8200

## LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:

**EXISTING EXTERIOR ELEVATIONS** 

SCALE: As indicated

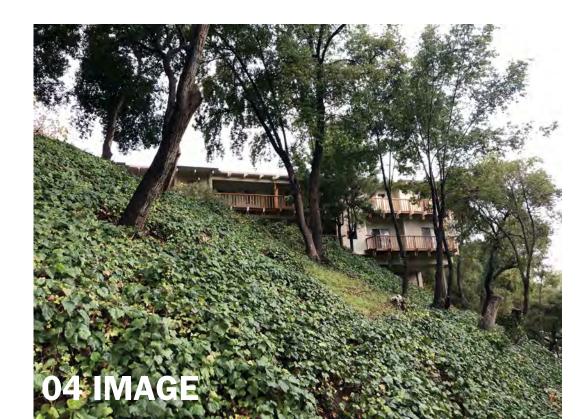
**A201-E** 

PLANNING SUBMITTAL

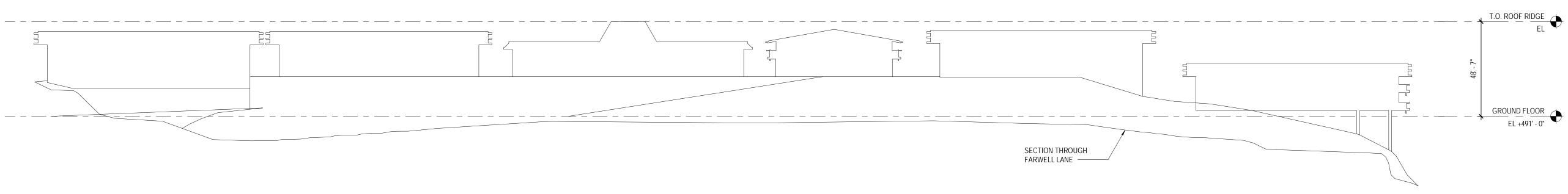
JULY 27, 2021



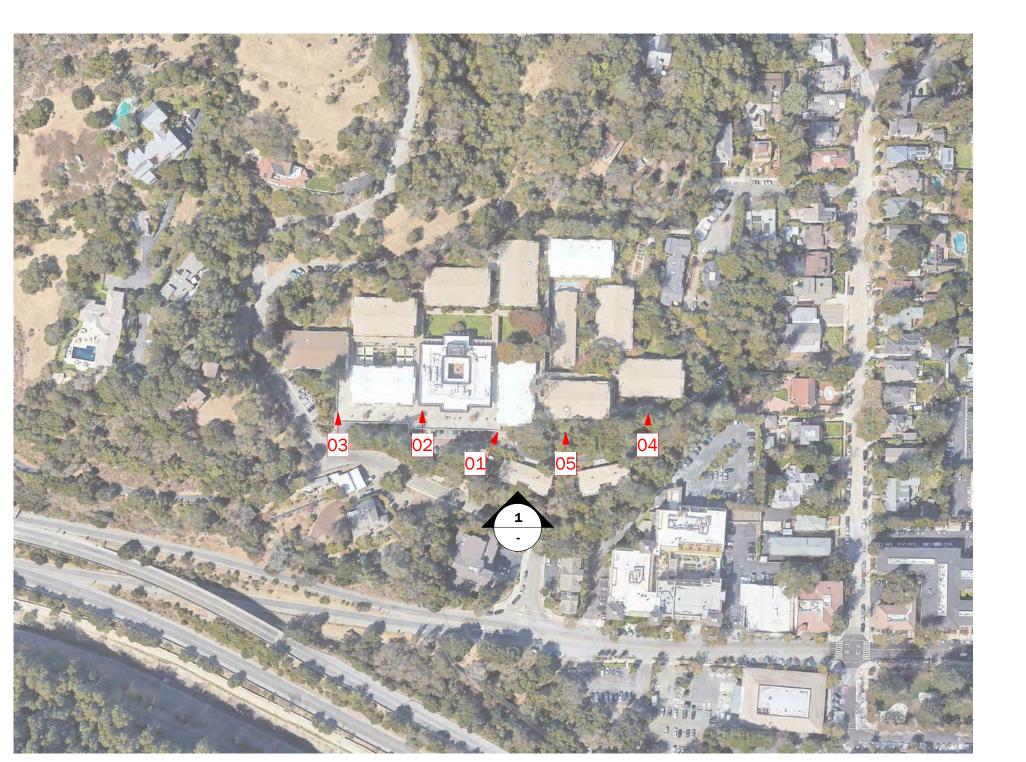








**EXISTING ELEVATION_SOUTH-EAST** 



**VIEW LEGEND - EXISTING ELEVATION - SE** ( 3 ) 1/2" = 1'-0"

NOT FOR CONSTRUCTION



**VILLA A SOUTH-EAST ELEVATION** 

3/32" = 1'-0" NOTE: SEE SHEET A204 FOR MATERIAL BOARD



36 SOUTHWOOD DRIVE ORINDA, CA 94563 (415) 816-7944

Owner:

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: **KIMLEY-HORN** 

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840 Landscape:

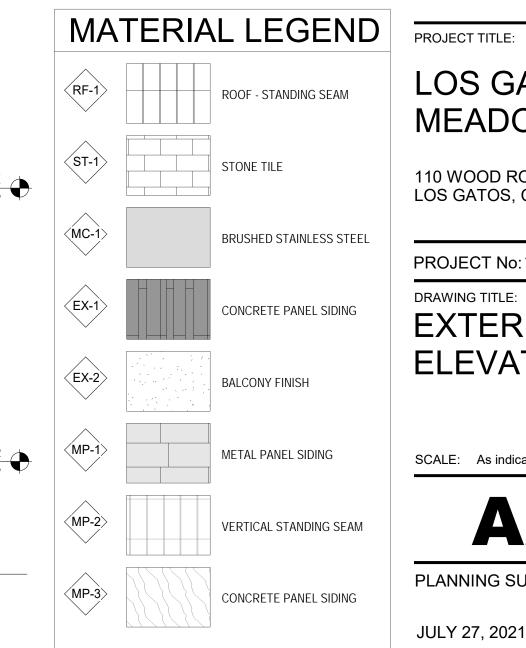
GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583

(925) 736-8176 Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105

(415) 989-1004 Mechanical, Electrical & Plumbing: **GLUMAC** 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111

(415) 398-7667 General Contractor:

**DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200



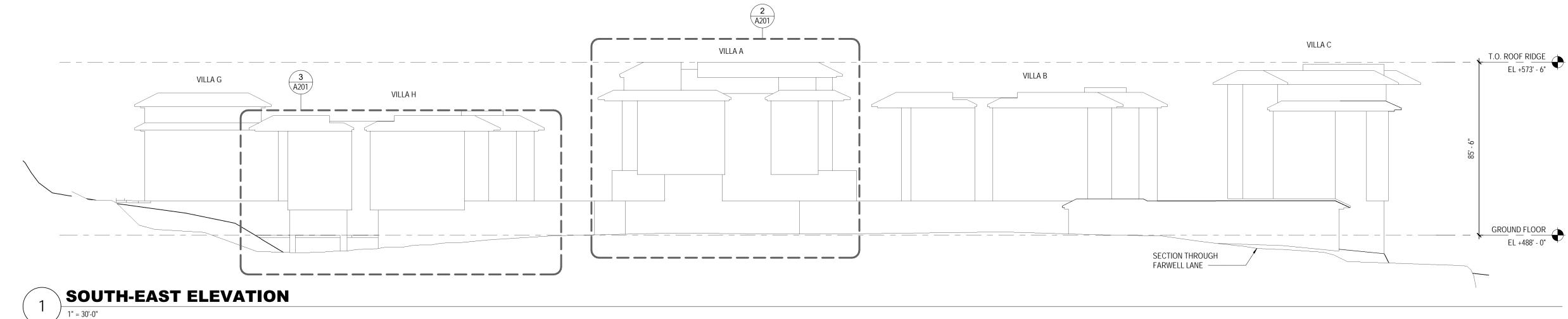


**EXTERIOR ELEVATIONS SE** 

SCALE: As indicated

PLANNING SUBMITTAL

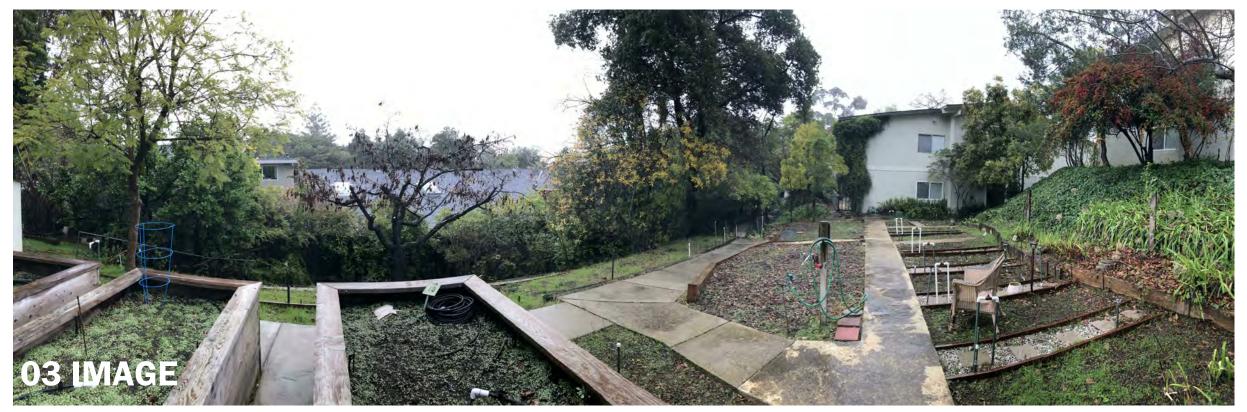
JULY 27, 2021



**VILLA H SOUTH-EAST ELEVATION** 

3/32" = 1'-0" NOTE: SEE SHEET A204 FOR MATERIAL BOARD





NOT FOR CONSTRUCTION

NO. DATE ISSUE



Applicant: **ROCKWOOD PACIFIC**36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner: **COVIA**2185 N CALIFORNIA BLVD, SUITE 215

WALNUT CREEK, CA 94596
(925) 956-7400

Civil / Site:

KIMLEY-HORN

4637 CHABOT DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 398-4840

Landscape: **GATES + ASSOCIATES**2671 CROW CANYON RD
SAN RAMON, CA 94583
(925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS**45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004

Mechanical, Electrical & Plumbing: **GLUMAC**150 CALIFORNIA ST, 3RD FLOOR
SAN FRANCISCO, CA 94111

(415) 398-7667

General Contractor:

DEVCON CONSTRUCTION INC
690 GIBRALTAR DRIVE
MILPITAS, CA 95035

PROJECT TITLE:

(408) 942-8200

## LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

100201110.70001.0

EXISTING EXTERIOR
ELEVATIONS

SCALE: As indicated

**A202-E** 

PLANNING SUBMITTAL

JULY 27, 2021

O1 IMAGE



06 IMAGE

T.O. ROOF RIDGE

EL +546′-4″

GROUND LEVEL

EL +491′-0″

SECTION THROUGH

WOOD ROAD

T.O. ROOF RIDGE
EL +546 - 2*

GROUND FLOOR
EL +491' - 0*

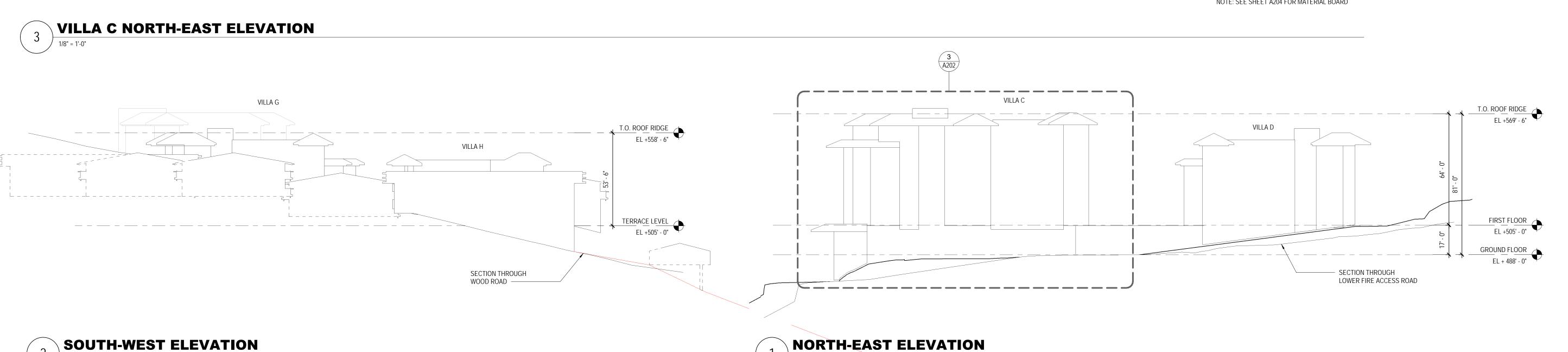
2 EXISTING ELEVATION_SOUTH-WEST

04 IMAGE

EXISTING ELEVATION_NORTH-EAST



NOTE: SEE SHEET A204 FOR MATERIAL BOARD



MATERIAL LEGEND NO. DATE ISSUE ROOF - STANDING SEAM BRUSHED STAINLESS STEEL NOT FOR CONSTRUCTION CONCRETE PANEL SIDING BALCONY FINISH METAL PANEL SIDING VERTICAL STANDING SEAM CONCRETE PANEL SIDING

# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: **KIMLEY-HORN** 

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: **GATES + ASSOCIATES** 

2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105

(415) 989-1004 Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111

(415) 398-7667 General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE

PROJECT TITLE:

### LOS GATOS **MEADOWS**

MILPITAS, CA 95035 (408) 942-8200

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:

**EXTERIOR ELEVATIONS NE &** 

SCALE: As indicated

**A202** 

PLANNING SUBMITTAL







NOT FOR CONSTRUCTION



ROCKWOOD PACIFIC 36 SOUTHWOOD DRIVE ORINDA, CA 94563 (415) 816-7944

Owner: 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596

(925) 956-7400 Civil / Site: KIMLEY-HORN 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Structural: KPFF CONSULTING ENGINEERS 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

Mechanical, Electrical & Plumbing: **GLUMAC** 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

> General Contractor: DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

## LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE: **EXISTING EXTERIOR ELEVATIONS** 

SCALE: As indicated

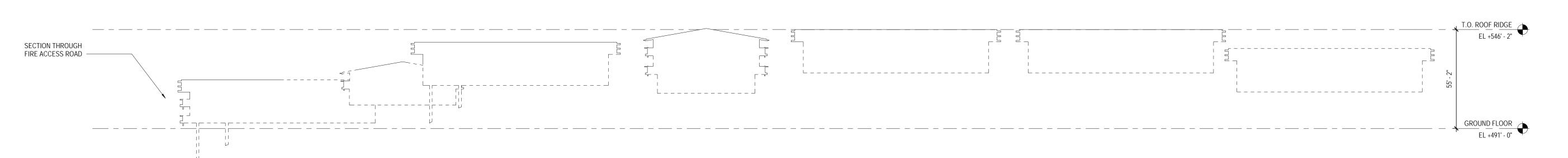
**A203-E** 

PLANNING SUBMITTAL

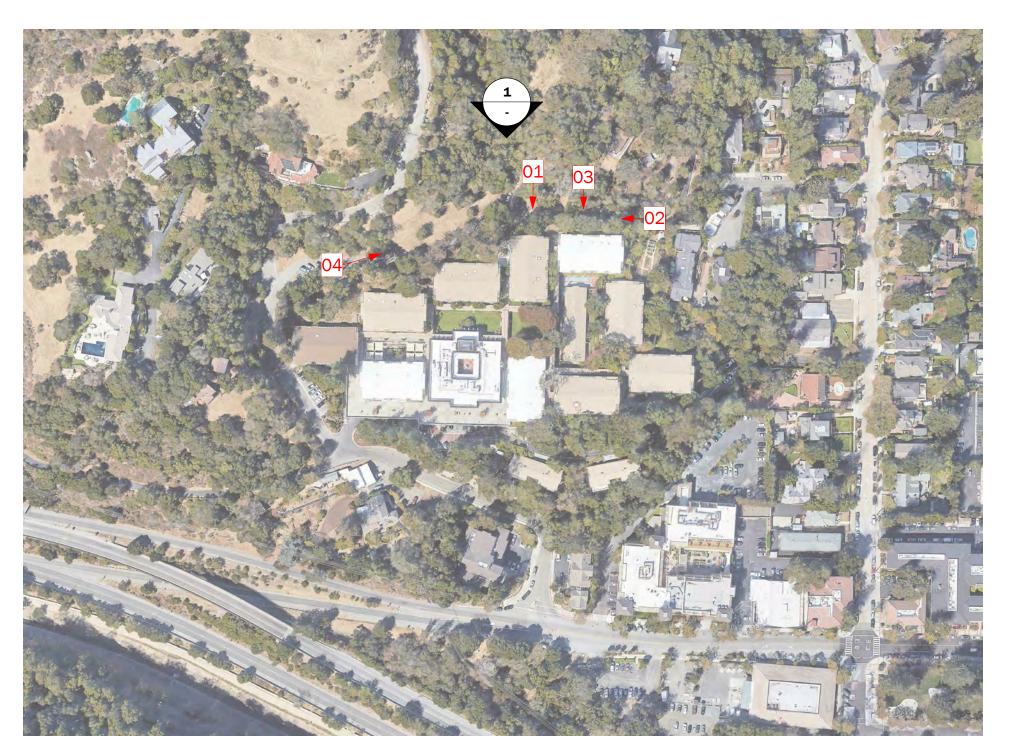
JULY 27, 2021









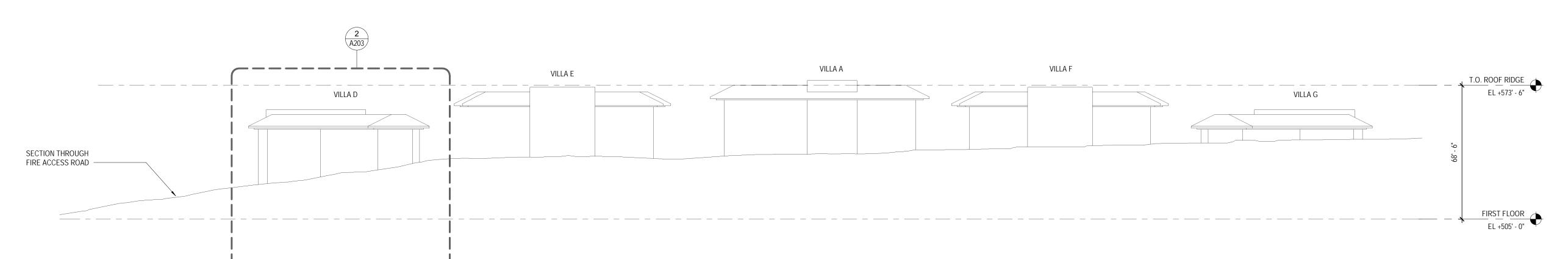


**VIEW LEGEND - EXISTING ELEVATION - NW** 

GL-2

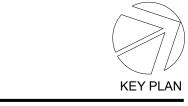
T.O. ROOF RIDGE 558' - 7"





**NORTH-WEST ELEVATION** 

MATERIAL LEGEND NO. DATE ISSUE ROOF - STANDING SEAM **BRUSHED STAINLESS STEEL** NOT FOR CONSTRUCTION CONCRETE PANEL SIDING BALCONY FINISH METAL PANEL SIDING VERTICAL STANDING SEAM CONCRETE PANEL SIDING



## PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: KIMLEY-HORN

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840 Landscape:

**GATES + ASSOCIATES** 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR

SAN FRANCISCO, CA 94105

(415) 989-1004 Mechanical, Electrical & Plumbing: **GLUMAC** 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111

(415) 398-7667 General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035

PROJECT TITLE:

(408) 942-8200

## LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE: **EXTERIOR ELEVATIONS NW** 

SCALE: As indicated

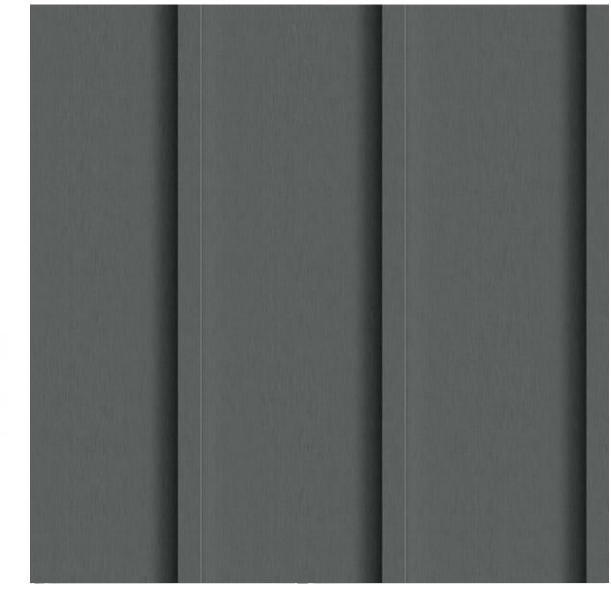
PLANNING SUBMITTAL



BALCONY GUARDRAIL ASSEMBLY STYLE (GL-2) GUARDRAIL GLASS (EX-2) BALCONY FINISH



WOOD-LOOK ALUMINUM SOFFIT



(RF-1) STANDING SEAM ROOF

(MC-1)

BRUSHED STAINLESS STEEL

LIGHT FIXTURE EXTERIOR

(WALL-MOUNTED SCONCE)

AT BALCONIES



NOT FOR CONSTRUCTION

NO. DATE ISSUE

PERKINS—
EASTMAN

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

**KIMLEY-HORN** 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

KPFF CONSULTING ENGINEERS 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105

150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111

DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

LOS GATOS **MEADOWS** 

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE: MATERIAL BOARD

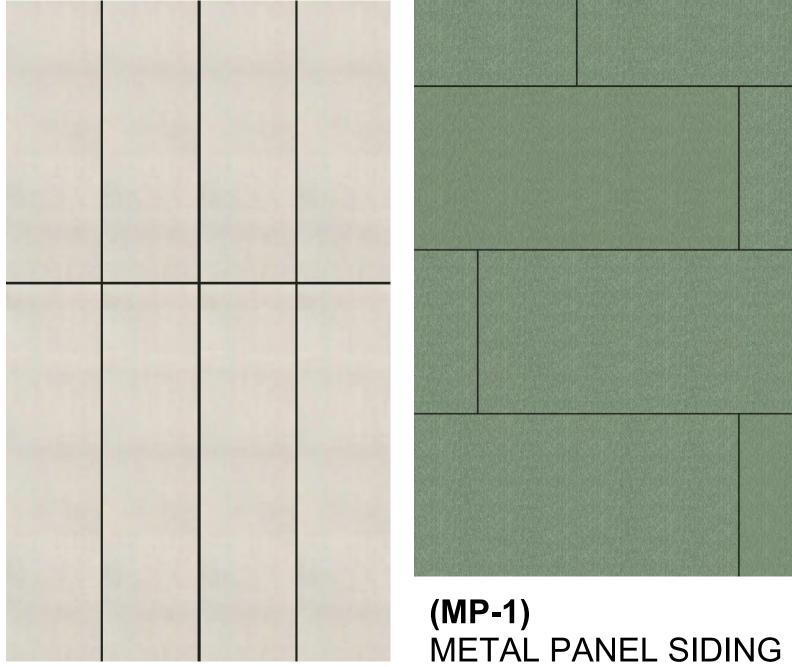
**A204** 

PLANNING SUBMITTAL

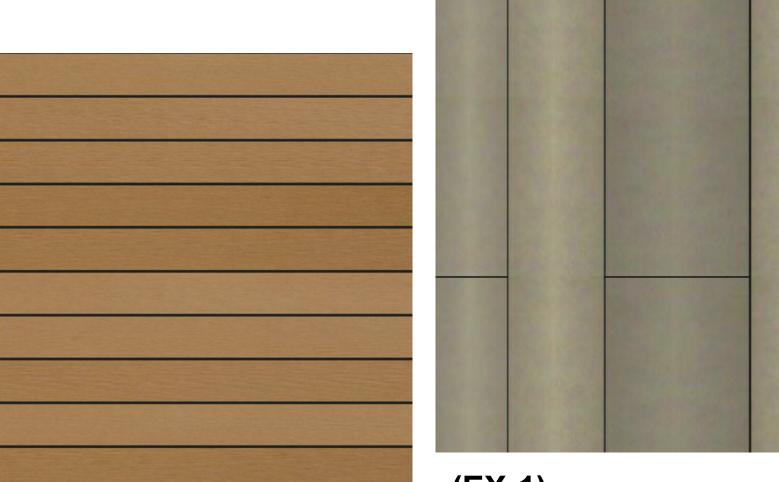
JULY 27, 2021



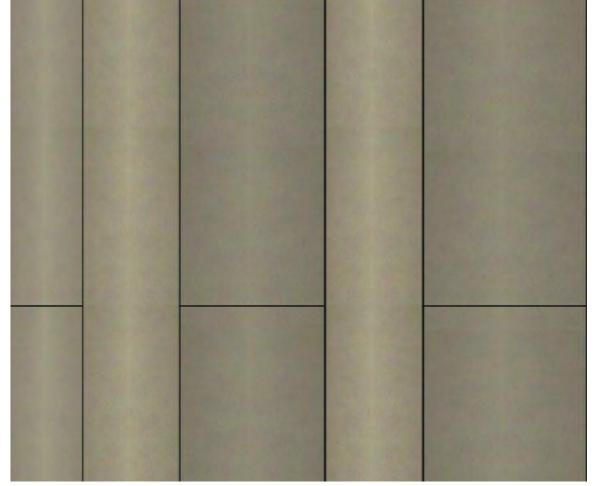
(ST-1) STONE TILE



(MP-2) VERTICAL STANDING SEAM

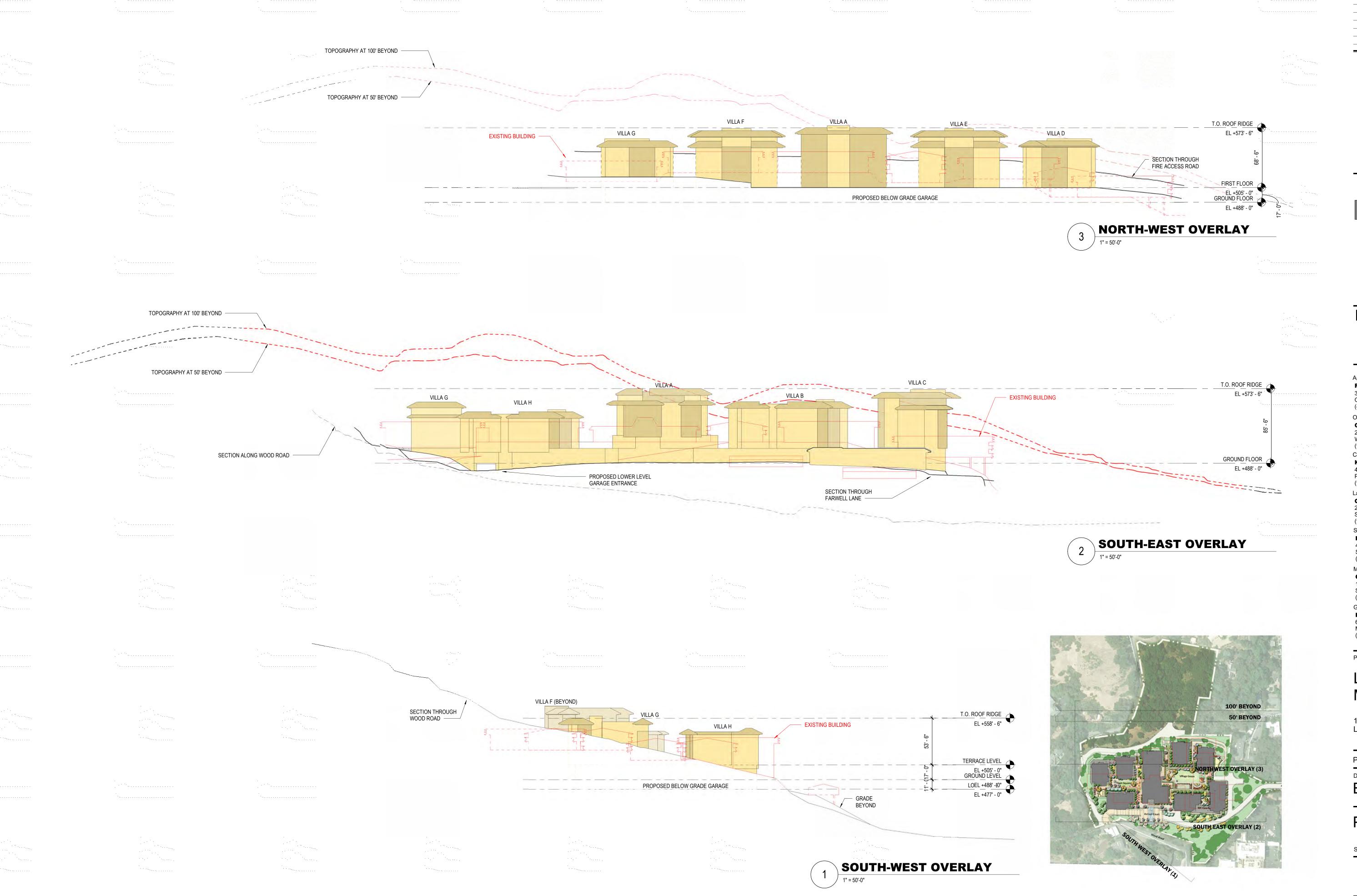


(MP-3)HORIZONTAL METAL PANEL W/ WOOD VENEER



(EX-1) CONCRETE PANEL SIDING

(WINDOW FRAMES, RAILINGS, SECONDARY STRUCTURES)



NO. DATE

NOT FOR CONSTRUCTION



Applicant:

ROCKWOOD PACIFIC

36 SOUTHWOOD DRIVE
ORINDA, CA 94563

(415) 816-7944

Owner:

COVIA

2185 N CALIFORNIA BLVD, SUITE 215
WALNUT CREEK, CA 94596

(925) 956-7400 Civil / Site: **KIMLEY-HORN** 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: **GATES + ASSOCIATES**2671 CROW CANYON RD
SAN RAMON, CA 94583
(925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS**45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004

Mechanical, Electrical & Plumbing: **GLUMAC**150 CALIFORNIA ST, 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC**690 GIBRALTAR DRIVE
MILPITAS, CA 95035
(408) 942-8200

PROJECT TITLE:

## LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:

BUILDING OUTLINES
- EXISTING AND
PROPOSED

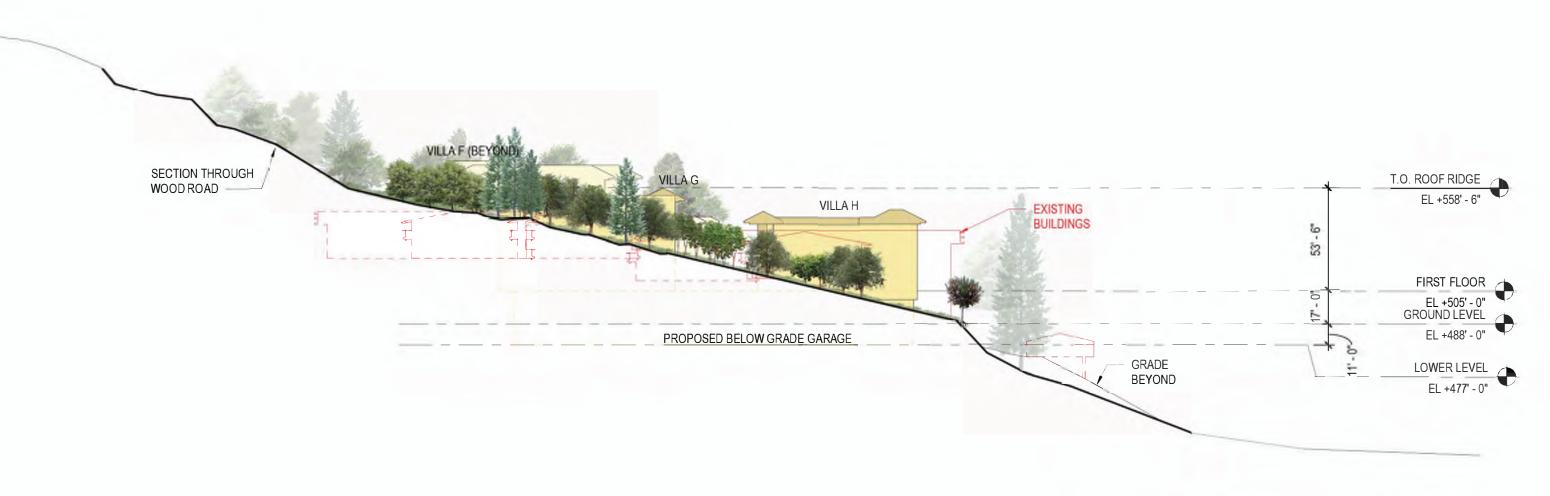
CALE: As indicated

**A205** 

PLANNING SUBMITTAL











**SOUTH-EAST ELEVATION** 

NO. DATE ISSUE

NOT FOR CONSTRUCTION

SEAL OF THE SEAL O



PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

Applicant: **ROCKWOOD PACIFIC**36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

COVIA
2185 N CALIFORNIA BLVD, SUITE 215
WALNUT CREEK, CA 94596
(925) 956-7400
Civil / Site:
KIMLEY-HORN
4673 CHABOT DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 398-4840

Landscape: **GATES + ASSOCIATES**2671 CROW CANYON RD
SAN RAMON, CA 94583

(925) 736-8176
Structural:

KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004

Mechanical, Electrical & Plumbing: **GLUMAC**150 CALIFORNIA ST, 3RD FLOOR
SAN FRANCISCO, CA 94111
(415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC**690 GIBRALTAR DRIVE
MILPITAS, CA 95035
(408) 942-8200

PROJECT TITLE:

LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

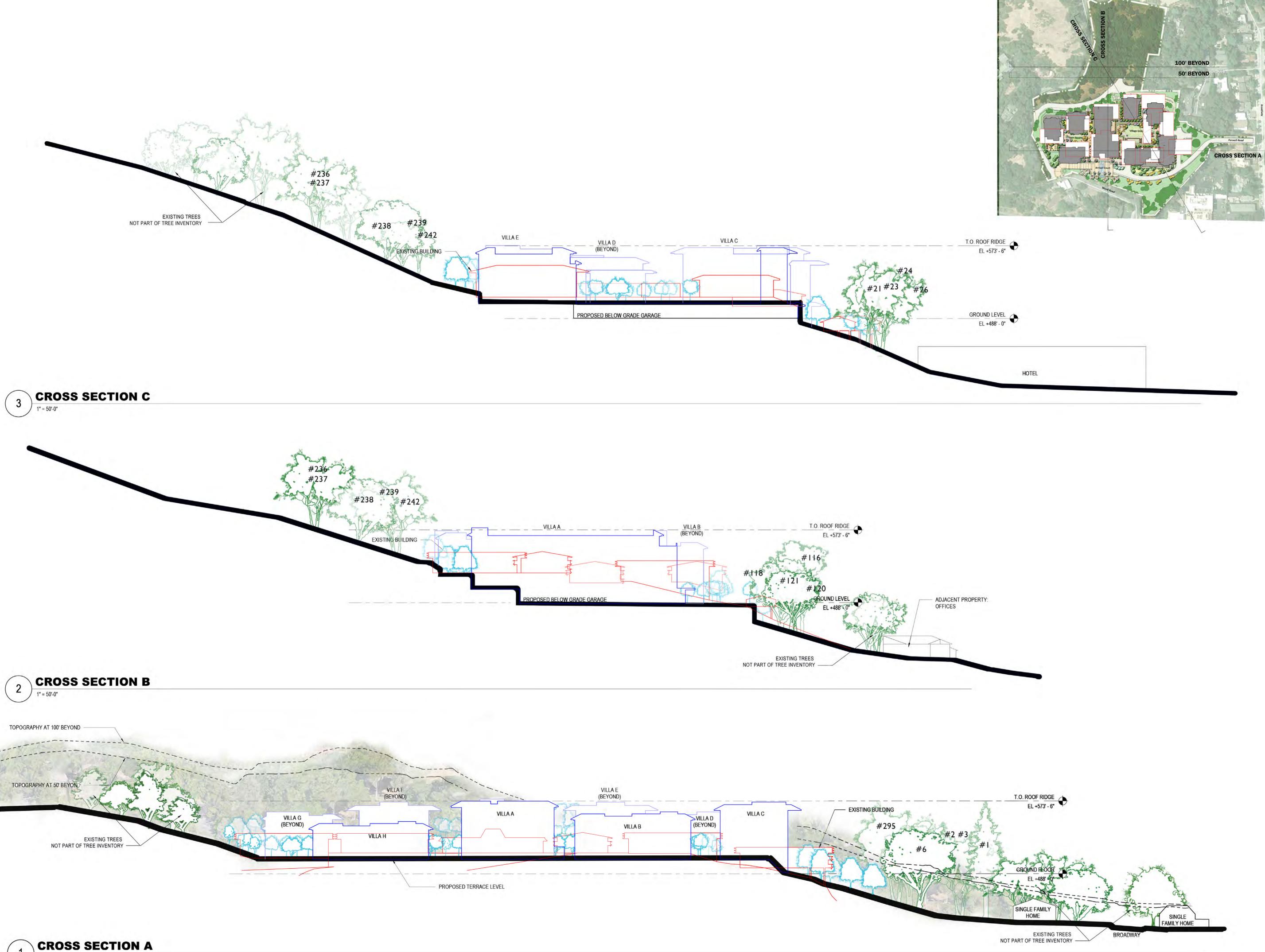
ELEVATION
OUTLINES LANDSCAPE
OVERLAY
SCALE: As indicated

**A206** 

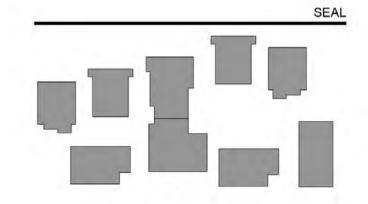
PLANNING SUBMITTAL

JULY 27, 2021

Page 4



NOT FOR CONSTRUCTION





## PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

Applicant:

ROCKWOOD PACIFIC

36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner: **COVIA** 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400 Civil / Site:

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape:

GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176 Structural:

KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004

Mechanical, Electrical & Plumbing: **GLUMAC** 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

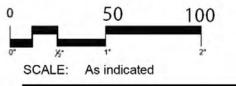
## LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:

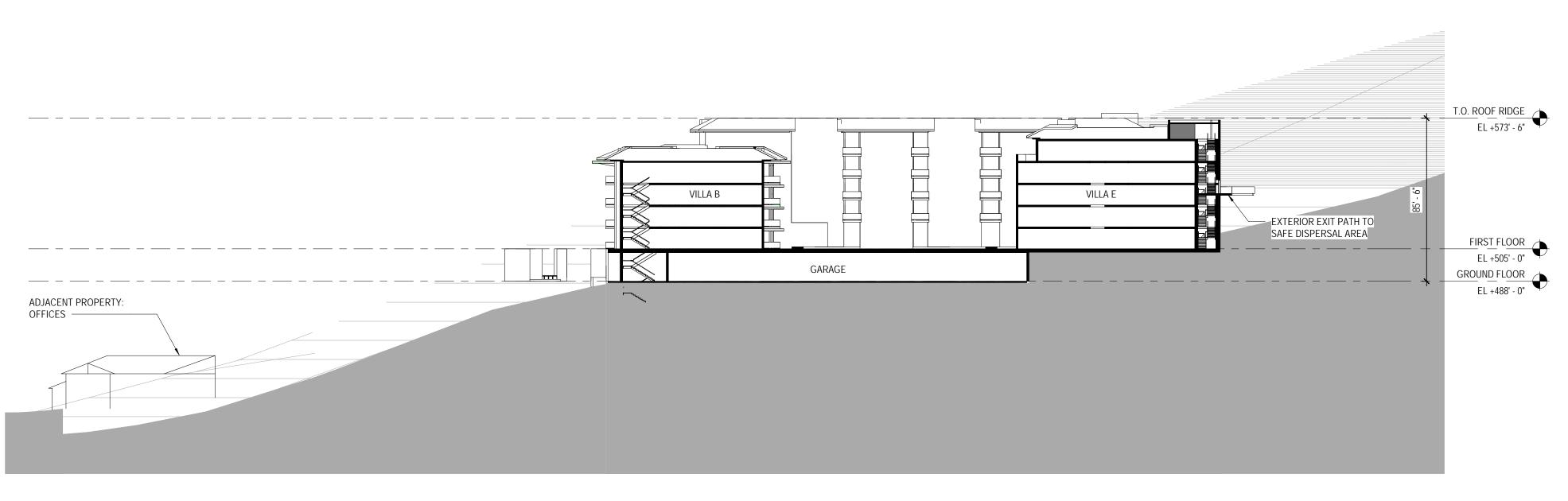
## SITE **CROSS-SECTIONS**



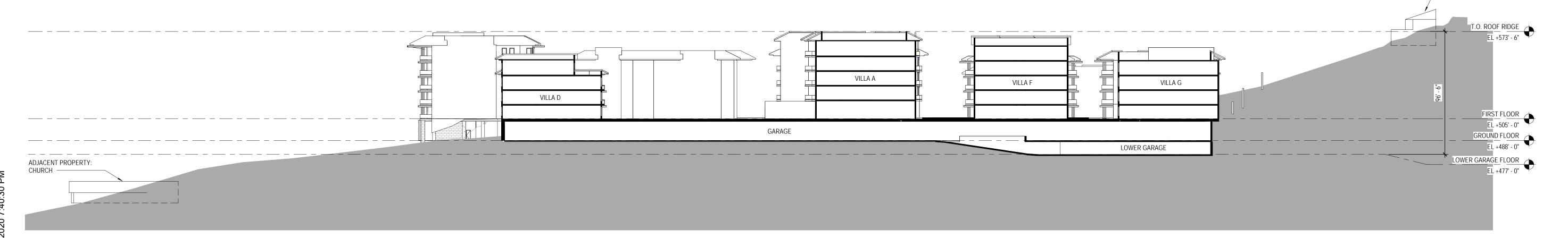
**A207** 

PLANNING SUBMITTAL

**ADJACENT PROPERTIES MAP - PROPOSED** 



SITE - Overall NS Section



SITE - Overall WE Section

NO. DATE ISSUE

NOT FOR CONSTRUCTION



## PERKINS—EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583

(925) 736-8176 Structural: **KPFF CONSULTING ENGINEERS** 

45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

Mechanical, Electrical & Plumbing: **GLUMAC** 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

- ADJACENT PROPTERY: SINGLE-FAMILY RESIDENCE

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE: **OVERALL SITE** SECTION

SCALE: As indicated

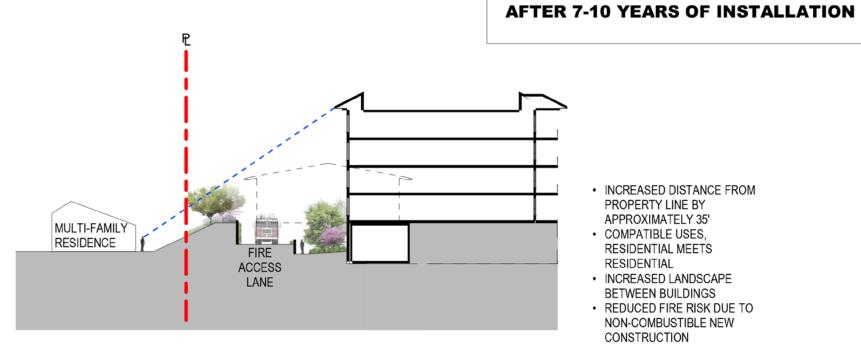
PLANNING SUBMITTAL

LANDSCAPE

TO REMAIN

FIRE ACCESS ROAD

SITE SECTION - ADJACENT PROPERTY B

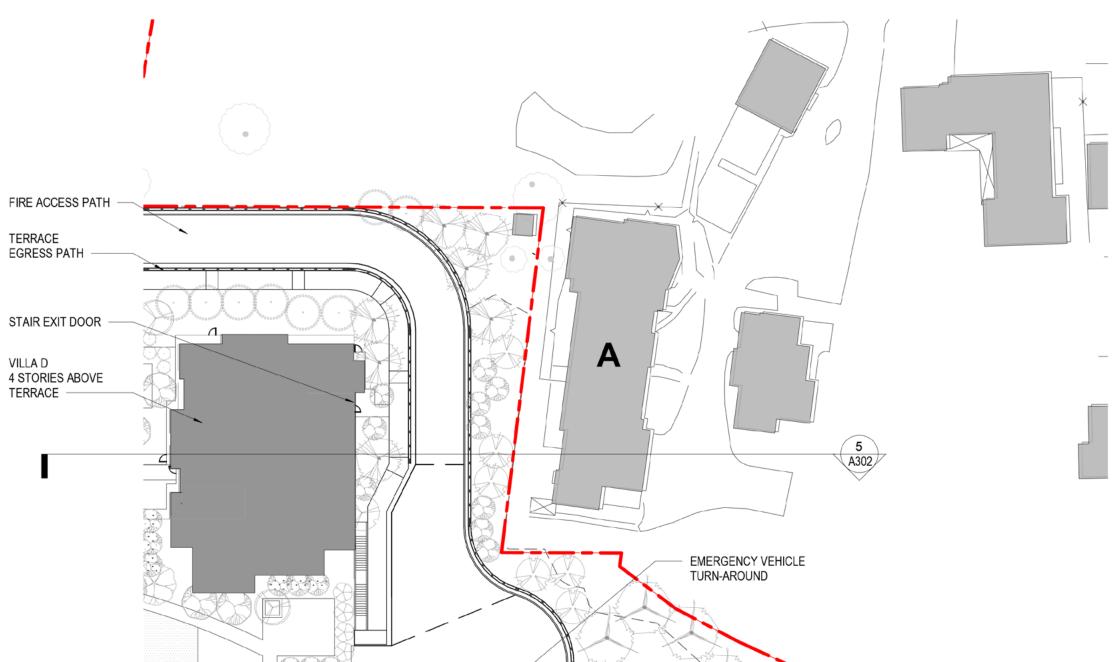


**NOTE:** PROPOSED TREES SHOWN ARE

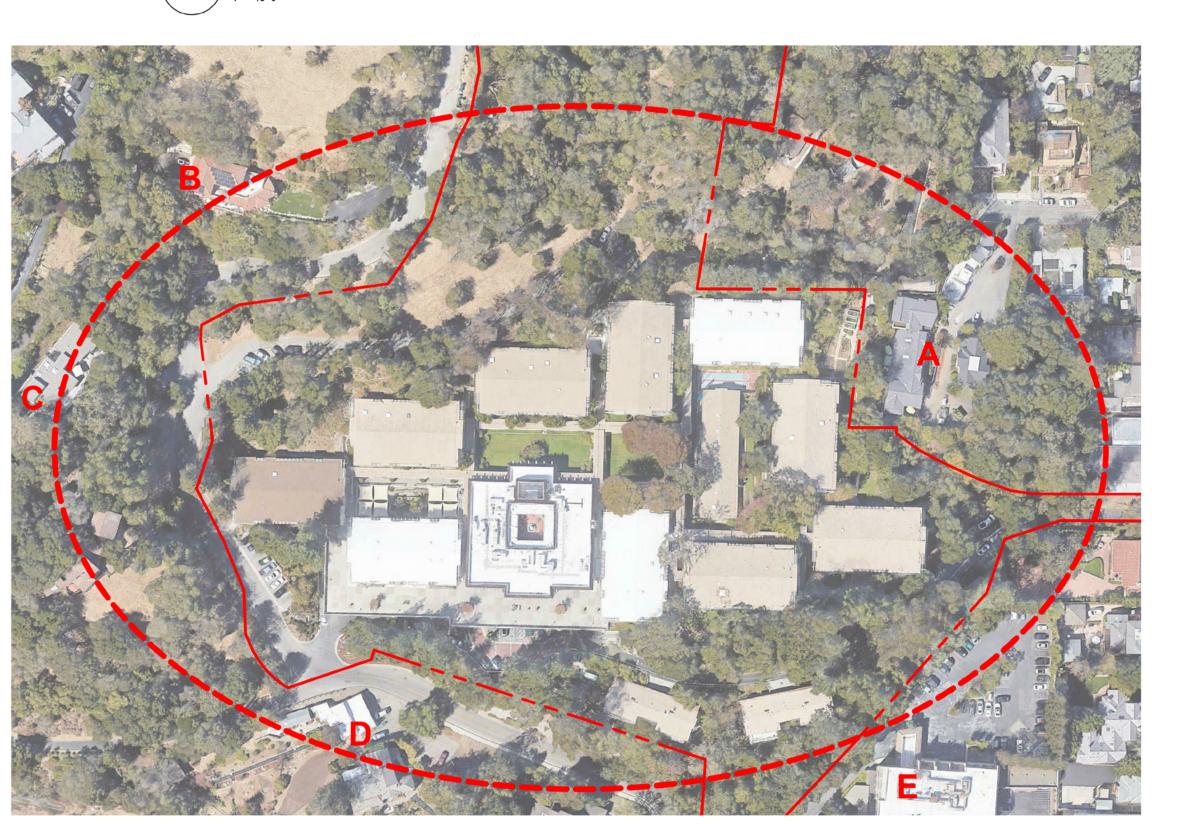
NOT FOR CONSTRUCTION

NO. DATE ISSUE

SITE SECTION - ADJACENT PROPERTY A



EDGE OF TERRACE, SECONDARY GARAGE ENTRANCE BELOW — **ENLARGED SITE PLAN - ADJACENT PROPERTY A** 



ADJACENT PROPERTIES MAP - EXISTING

PERKINS —
EASTMAN 100 Montgomery St., Suite 230 San Francisco, CA 94104 T. +1 415 926 7900

> ROCKWOOD PACIFIC 36 SOUTHWOOD DRIVE

ORINDA, CA 94563

(415) 816-7944 Owner: COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596

(925) 956-7400 Civil / Site: KIMLEY-HORN 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

#### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

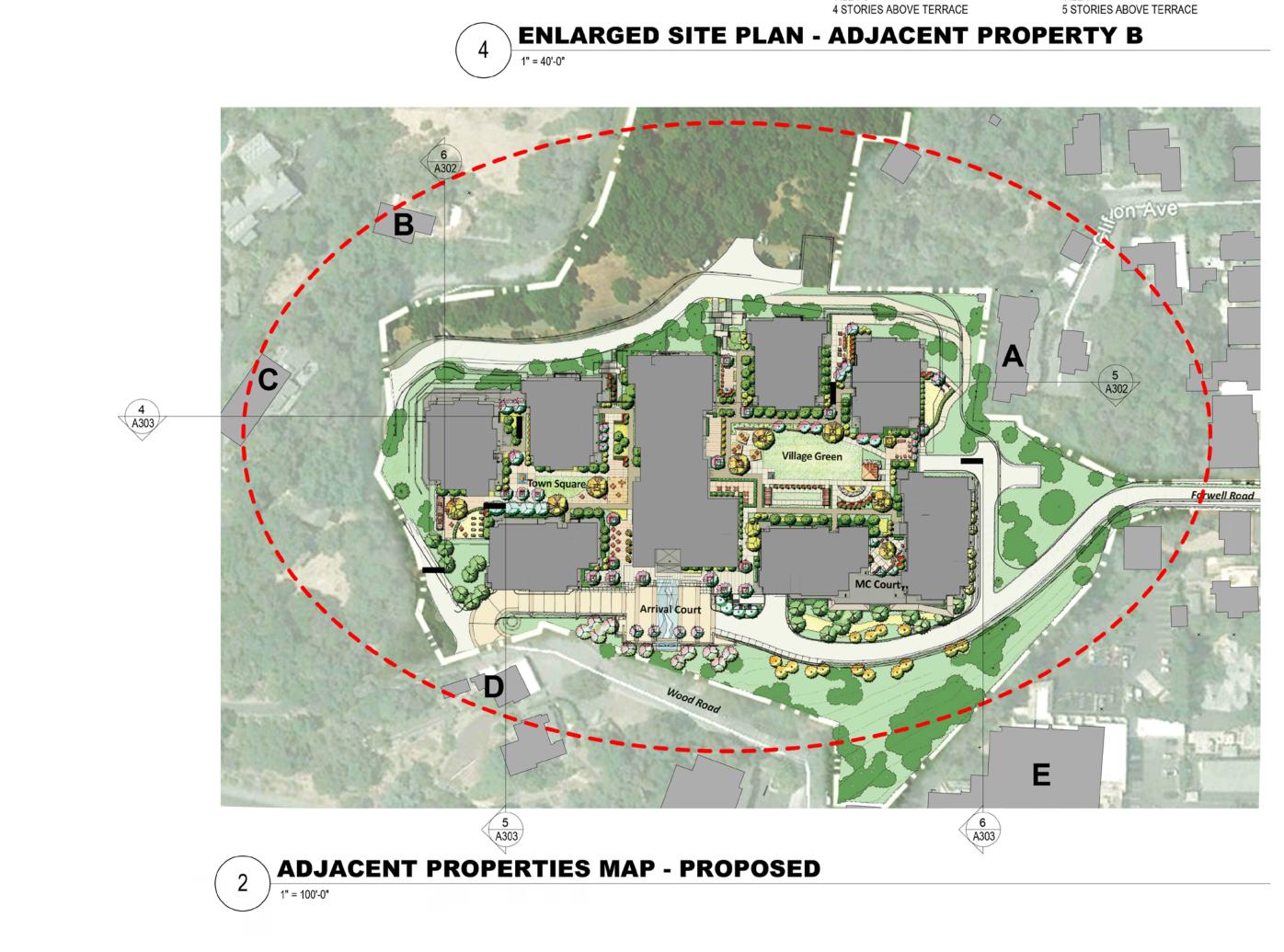
DRAWING TITLE: **ADJACENT PROPERTIES** SECTIONS

SCALE: As indicated

**A302** 

PLANNING SUBMITTAL

OCTOBER 13 2020



STEPPED

RETAINING WALLS

NOT FOR CONSTRUCTION

TREE #36

MOD SUITABILITY

TREE #19

MOD SUITABILITY

TREE #22

MOD SUITABILITY

TREE #22

MOD SUITABILITY

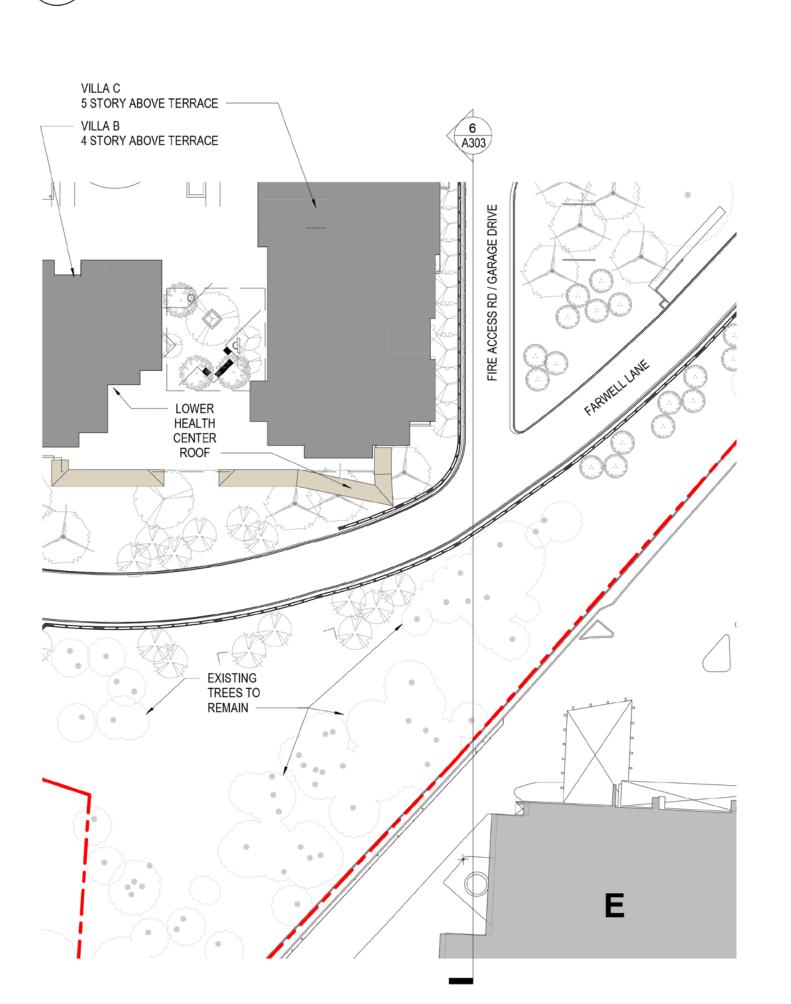
NEW EVERGREEN SHRUBS

INCREASED DISTANCE FROM PROPERTY LINE BY X*

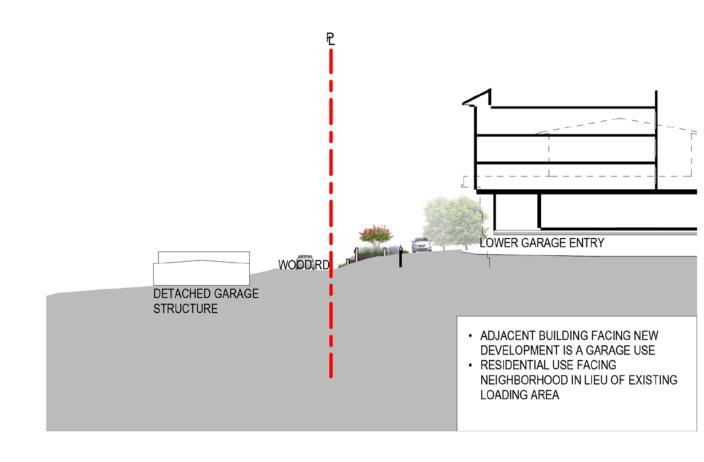
N. NCREASED LAINSCAPE
BETWEEN BUILDINGS

REDUCED FIRE RISK DUE TO
NON-COMBUSTIBLE NEW
CONSTRUCTION

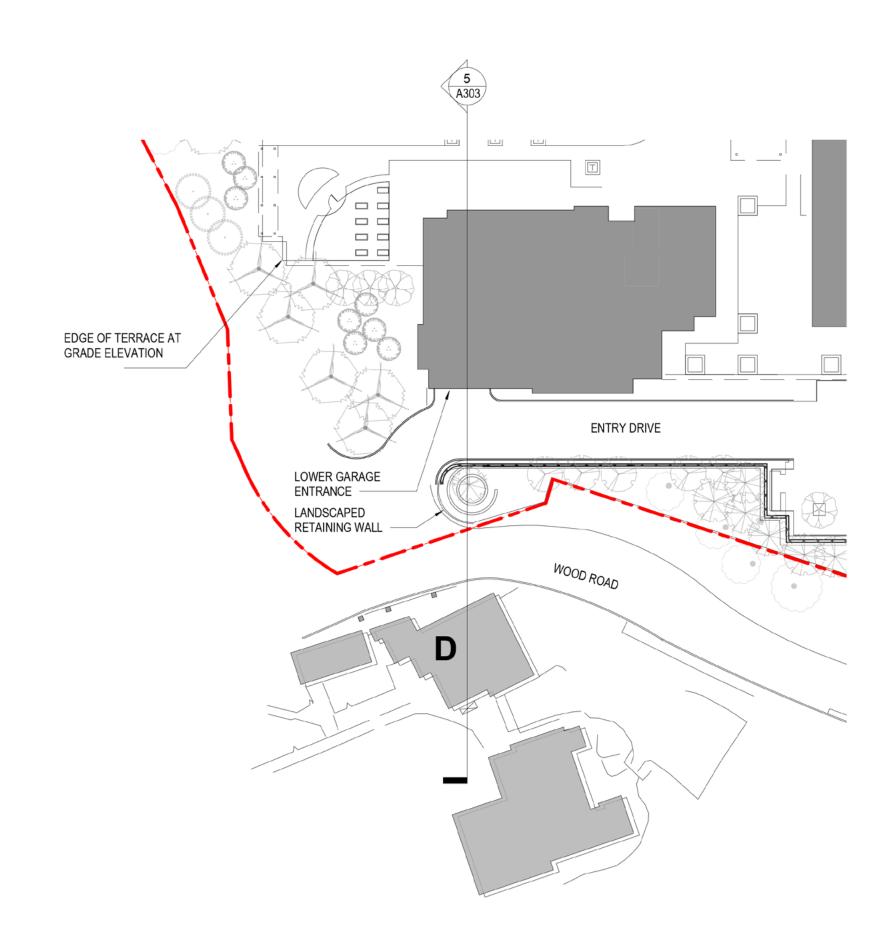
ADJACENT PROPERTY E



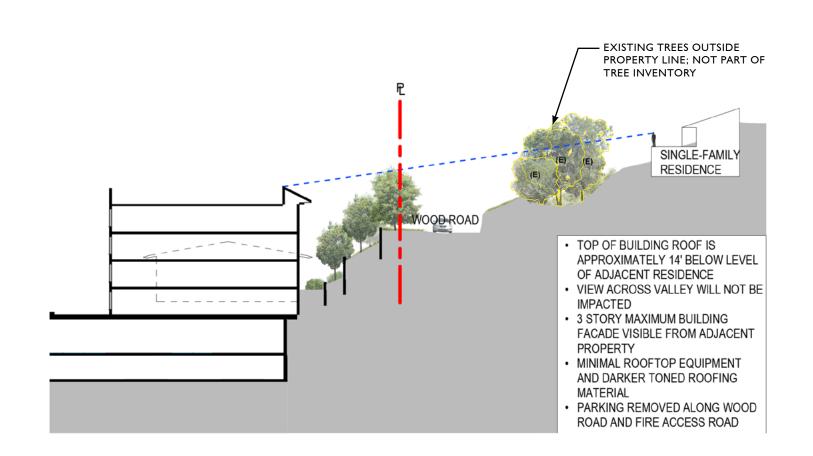
3 ENLARGED SITE PLAN - ADJACENT PROPERTY E



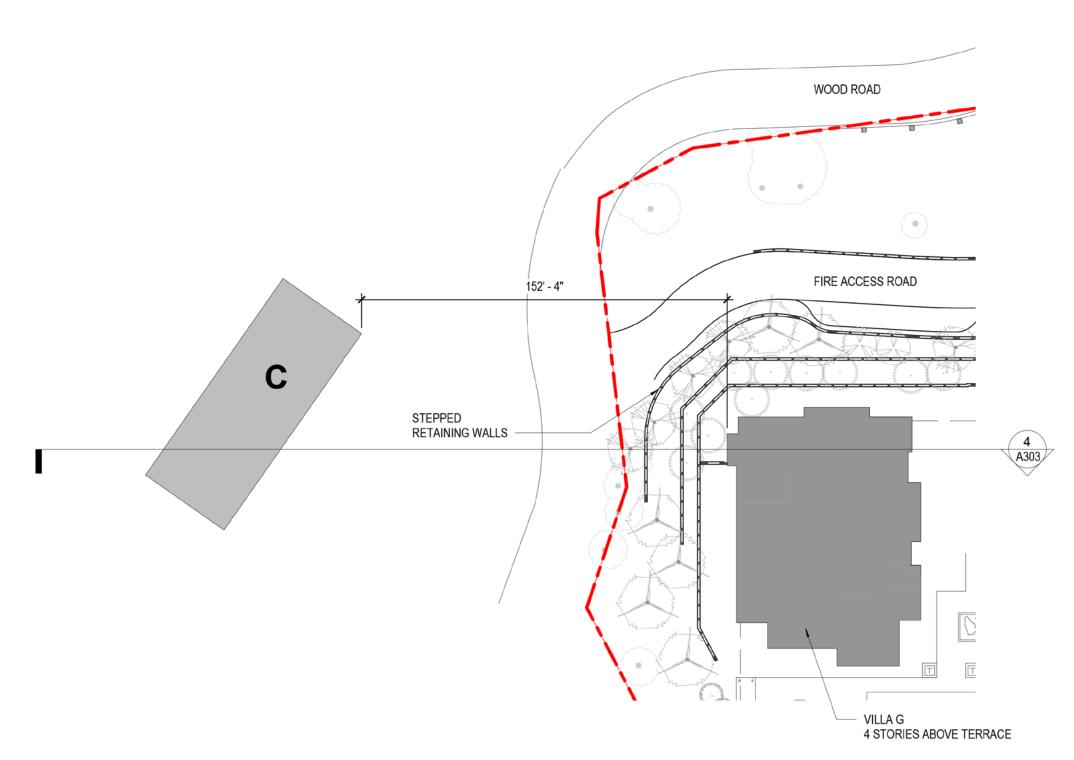
5 ADJACENT PROPERTY D



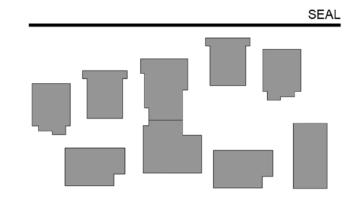
2 ENLARGED SITE PLAN - ADJACENT PROPERTY D



SITE SECTION - ADJACENT PROPERTY C



1 ENLARGED SITE PLAN - ADJACENT PROPERTY C





#### PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

Applicant:

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE

ORINDA, CA 94563 (415) 816-7944 Owner: COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596

(925) 956-7400 Civil / Site: **KIMLEY-HORN** 4673 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape:

GATES + ASSOCIATES
2671 CROW CANYON RD
SAN RAMON, CA 94583
(925) 736-8176
Structural:

KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004

Mechanical, Electrical & Plumbing:

150 CALIFORNIA ST, 3RD FLOOR

SAN FRANCISCO, CA 94111 (415) 398-7667 General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE

PROJECT TITLE:

MILPITAS, CA 95035 (408) 942-8200

GLUMAC

### LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:

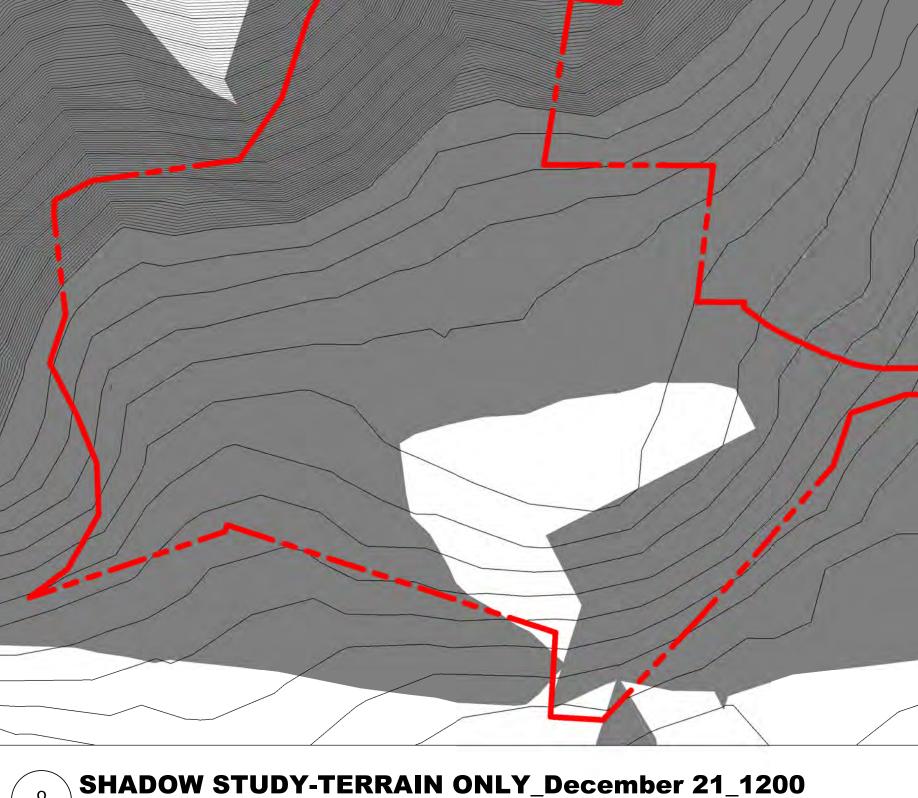
ADJACENT PROPERTIES SECTIONS

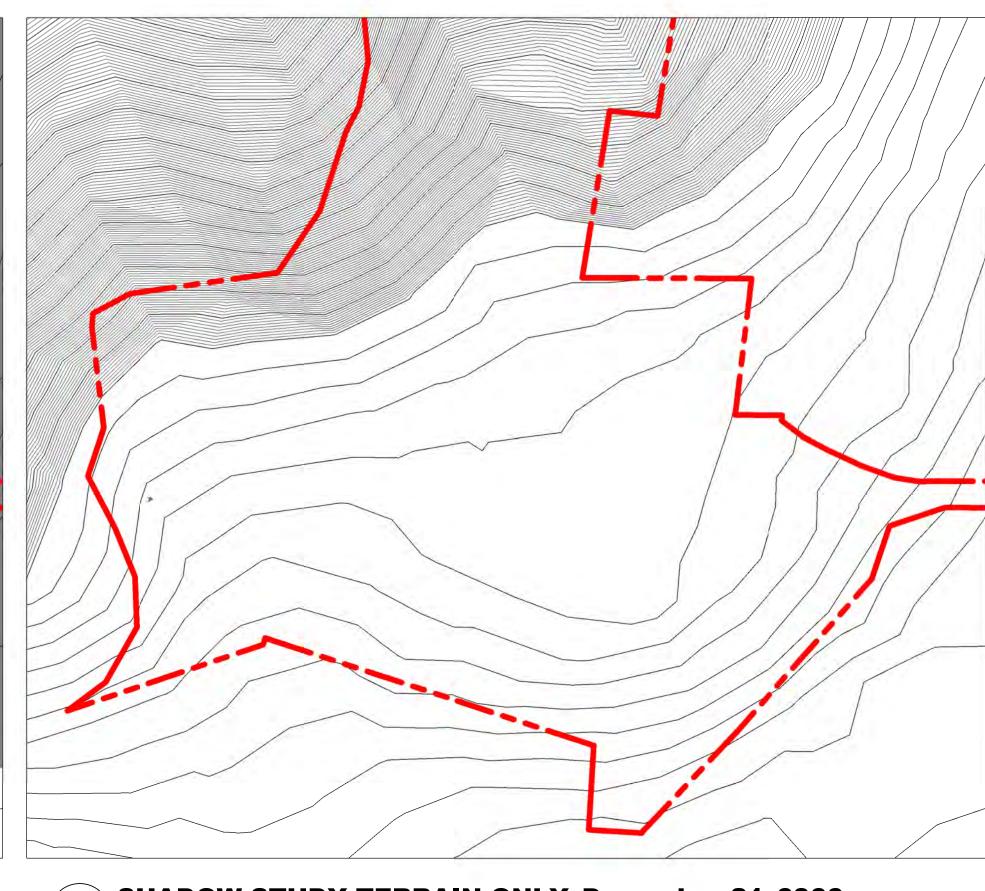
SCALE: 1" = 40'-0"

**A303** 

PLANNING SUBMITTAL

OCTOBER 13, 2020



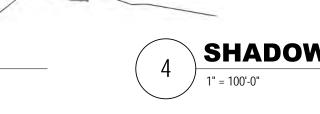


7 SHADOW STUDY-TERRAIN ONLY_December 21_0900

9 SHADOW STUDY-TERRAIN ONLY_December 21_1500

8 1/4" =

SHADOW STUDY_December 21_1200



SHADOW STUDY_December 21_0900

6 SHADOW STUDY_December 21_1500

NOTE: SEPARATE STUDY OF SHADOW IMPACT ON TERRAIN ONLY DOES NOT INCLUDE TREES ON HILLSIDE AS A CONSERVATIVE APPROACH TO UNDERSTAND THE IMPACT OF THE HILLSIDE ON SITE SHADING PRIOR TO THE PROPOSED DEVELOPMENT.

NO. DATE ISSUE

NOT FOR CONSTRUCTION



100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400 Civil / Site:

KIMLEY-HORN

4637 CHABOT DRIVE, SUITE 300
PLEASANTON, CA 94588
(925) 398-4840

Landscape:

GATES + ASSOCIATES

GATES + ASSOCIATES
2671 CROW CANYON RD
SAN RAMON, CA 94583
(925) 736-8176
Structural:
KPFF CONSULTING ENGINEERS

45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004 Mechanical, Electrical & Plumbing:

150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667 General Contractor:

**DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

LOS GATOS MEADOWS

110 WOOD ROAD LOS GATOS, CA 95030

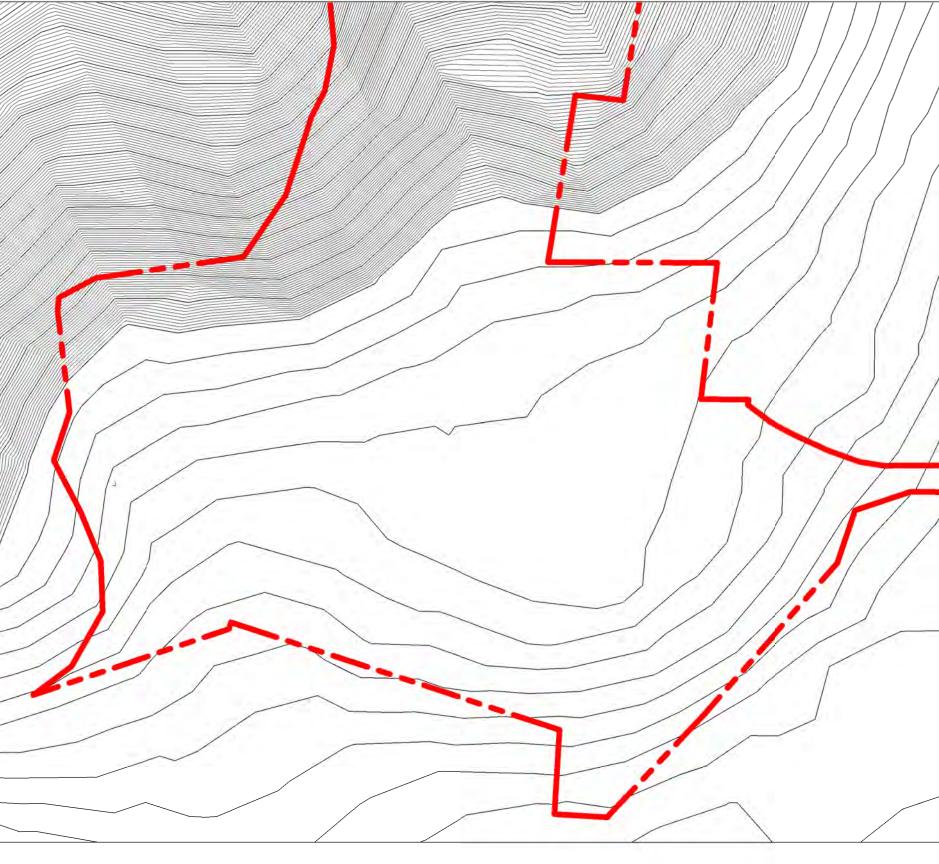
PROJECT No: 70581.00

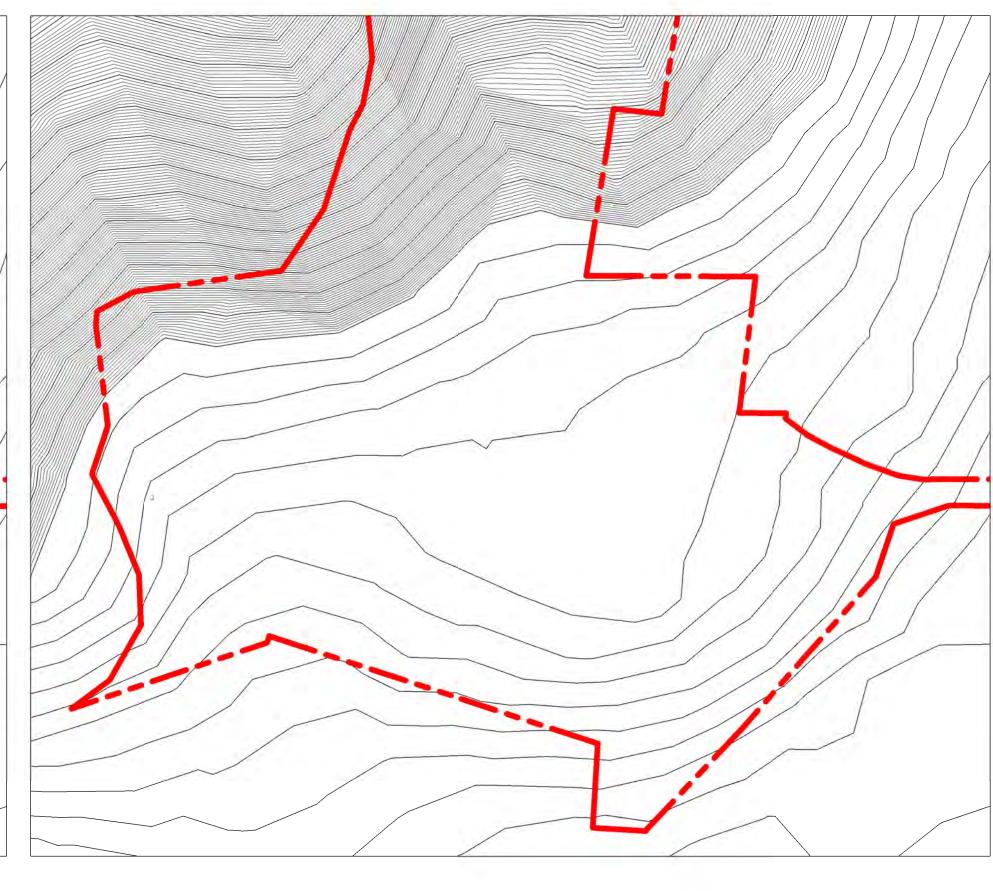
SHADOW STUDY DECEMBER

SCALE: As indicated

**A400** 

PLANNING SUBMITTAL





SHADOW STUDY-TERRAIN ONLY_June 21_0900

PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

NO. DATE ISSUE

NOT FOR CONSTRUCTION

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

**KIMLEY-HORN** 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

## LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE: SHADOW STUDY -JUNE

SCALE: As indicated

PLANNING SUBMITTAL

JULY 27, 2021

SHADOW STUDY-TERRAIN ONLY_June 21_1500

1/4" = 1'-0"

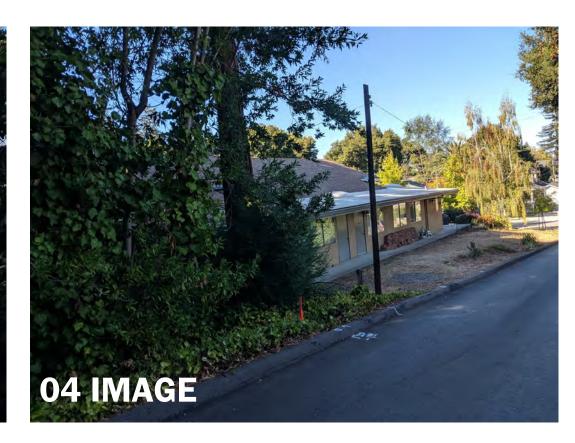
SHADOW STUDY-TERRAIN ONLY_June 21_1200

SHADOW STUDY_June 21_0900

SHADOW STUDY_June 21_1500

**SHADOW STUDY_June 21_1200** 

NOTE: SEPARATE STUDY OF SHADOW IMPACT ON TERRAIN ONLY DOES NOT INCLUDE TREES ON HILLSIDE AS A CONSERVATIVE APPROACH TO UNDERSTAND THE IMPACT OF THE HILLSIDE ON SITE SHADING PRIOR TO THE PROPOSED DEVELOPMENT.





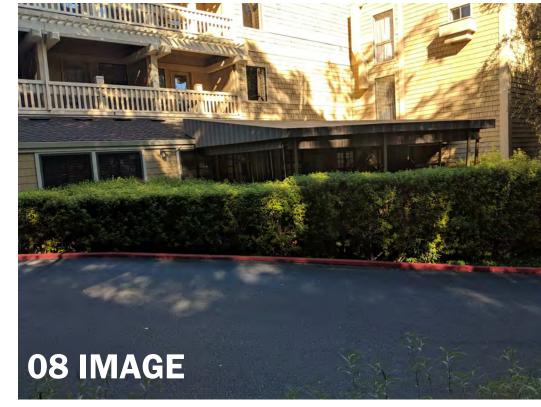


















AERIAL VIEW DIAGRAM_SITE PHOTOS 01-10

1" = 100'-0"

NO. DATE ISSUE

NOT FOR CONSTRUCTION



ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: KIMLEY-HORN

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: **GATES + ASSOCIATES**2671 CROW CANYON RD
SAN RAMON, CA 94583
(925) 736-8176 Structural:

KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004

Mechanical, Electrical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

LOS GATOS **MEADOWS** 

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE: SITE PHOTOS

SCALE: As indicated

**A402** 

PLANNING SUBMITTAL



















2 SITE PHOTOS 11-20



AERIAL VIEW DIAGRAM_SITE PHOTOS 11-20 1" = 100'-0"

NO. DATE ISSUE

NOT FOR CONSTRUCTION



# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site:

KIMLEY-HORN 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: **GATES + ASSOCIATES**2671 CROW CANYON RD
SAN RAMON, CA 94583
(925) 736-8176 Structural:

KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004

Mechanical, Electrical & Plumbing: **GLUMAC** 

150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667 General Contractor: DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE: SITE PHOTOS

SCALE: As indicated

**A403** 

PLANNING SUBMITTAL

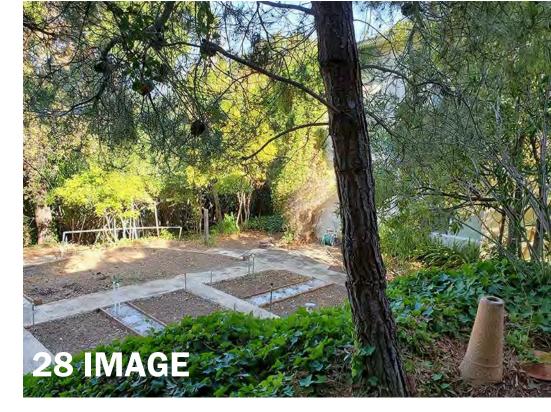


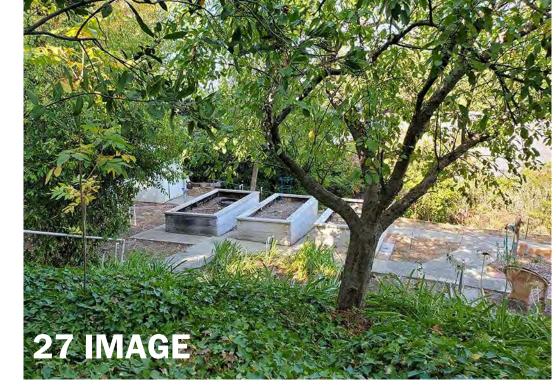


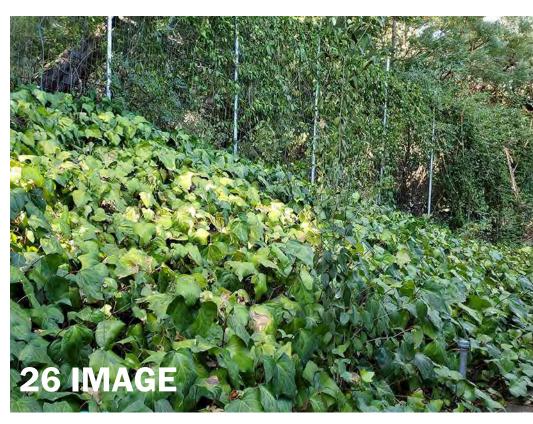












1 SITE PHOTOS 21-29

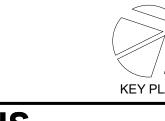


AERIAL VIEW DIAGRAM_SITE PHOTOS 21-29

1" = 100'-0"

NO. DATE ISSUE

NOT FOR CONSTRUCTION



## PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

Applicant: **ROCKWOOD PACIFIC**36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

Owner:

**COVIA**2185 N CALIFORNIA BLVD, SUITE 215
WALNUT CREEK, CA 94596
(925) 956-7400

Civil / Site: **KIMLEY-HORN** 

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: **GATES + ASSOCIATES**2671 CROW CANYON RD
SAN RAMON, CA 94583
(925) 736-8176

Structural:

KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004 Mechanical, Electrical & Plumbing:

GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:

SITE PHOTOS

SCALE: As indicated

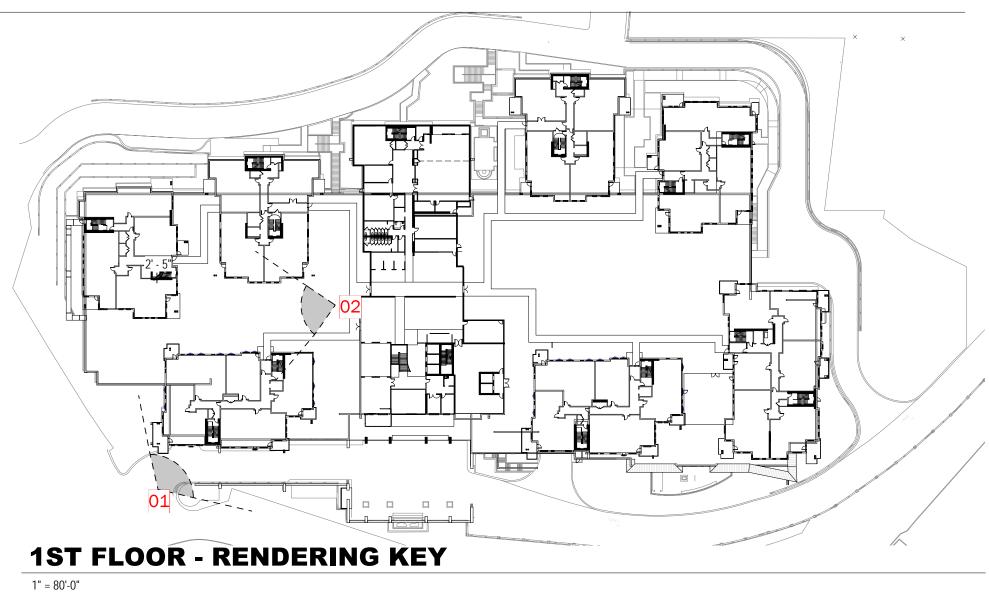
**A404** 

PLANNING SUBMITTAL

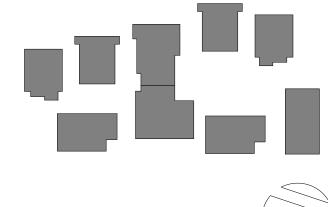
RENDERING IMAGE - COURTYARD

RENDERING IMAGE - APPROACH

12" = 1'-0"



NO. DATE ISSUE NOT FOR CONSTRUCTION



## PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: **GATES + ASSOCIATES** 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Structural: KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105 (415) 989-1004

Mechanical, Electrical & Plumbing: **GLUMAC** 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

## LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:

RENDERING IMAGES

SCALE: As indicated

**A405** 

PLANNING SUBMITTAL

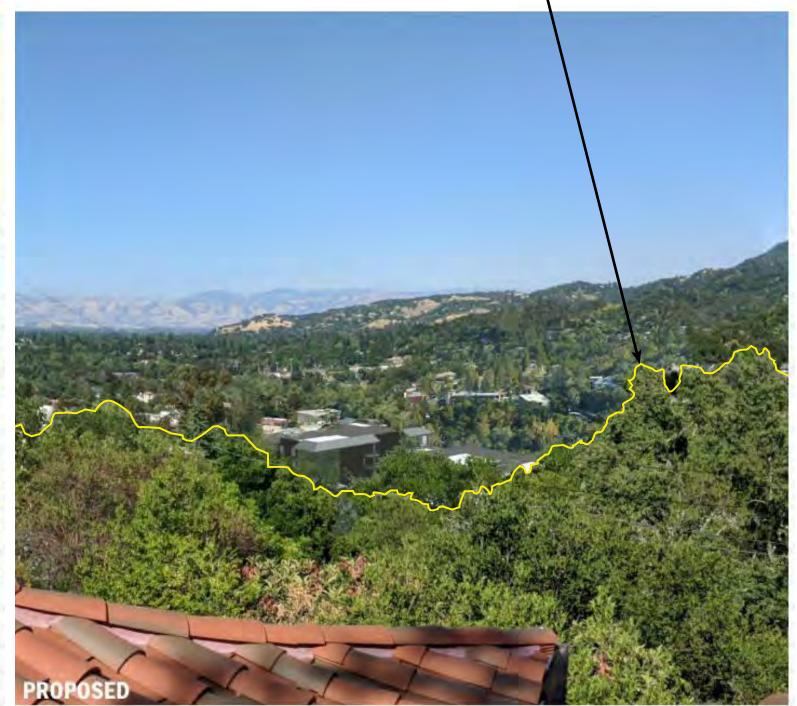


EXISTING OFF-SITE TREES ——

IN DOWNTOWN AREA







PERKINS EASTMAN LOS GATOS MEADOWS

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Structural: **KPFF CONSULTING ENGINEERS** 45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004

**GLUMAC** 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

## LOS GATOS

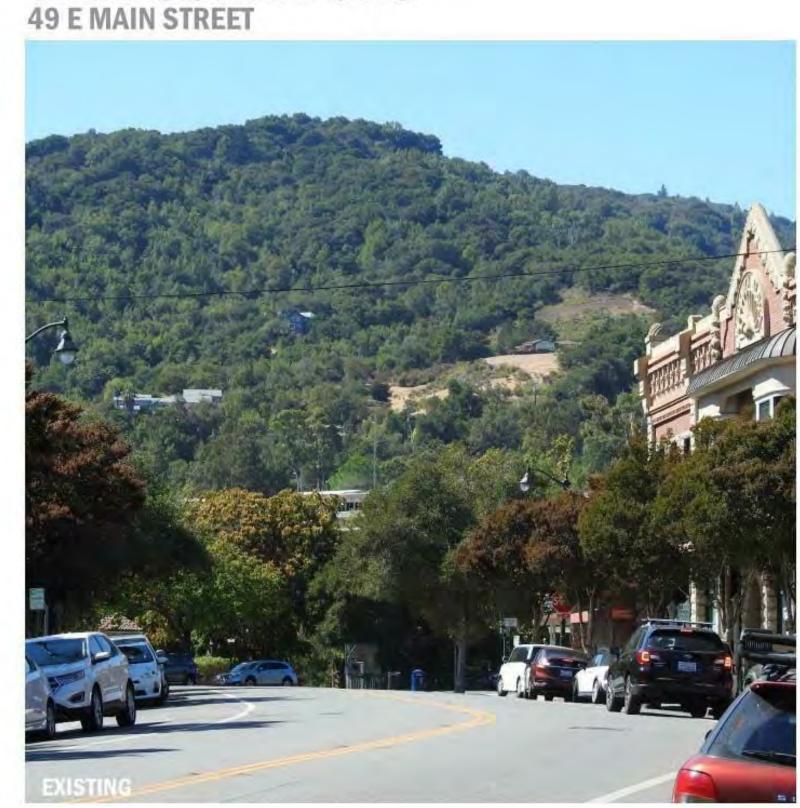
PROJECT No: 70581.00

PERSPECTIVE -BEFORE AND AFTER

**A406** 

PLANNING SUBMITTAL

**VIEW CORRIDORS** 





PERKINS EASTMAN LOS GATOS MEADOWS

NO. DATE ISSUE



PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

Civil / Site: **KIMLEY-HORN** 

Landscape: **GATES + ASSOCIATES** 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Mechanical, Electrical & Plumbing:

General Contractor:

**MEADOWS** 

110 WOOD ROAD LOS GATOS, CA 95030

DRAWING TITLE:

VIEW 1 DIAGRAM OF BUILDING MASSING WITHOUT LANDSCAPE (SHOWN FOR REFERENCE OF ARCHITECTURE BEYOND)



VIEW 2 DIAGRAM OF BUILDING MASSING WITH NEW PLANTINGS ON SITE

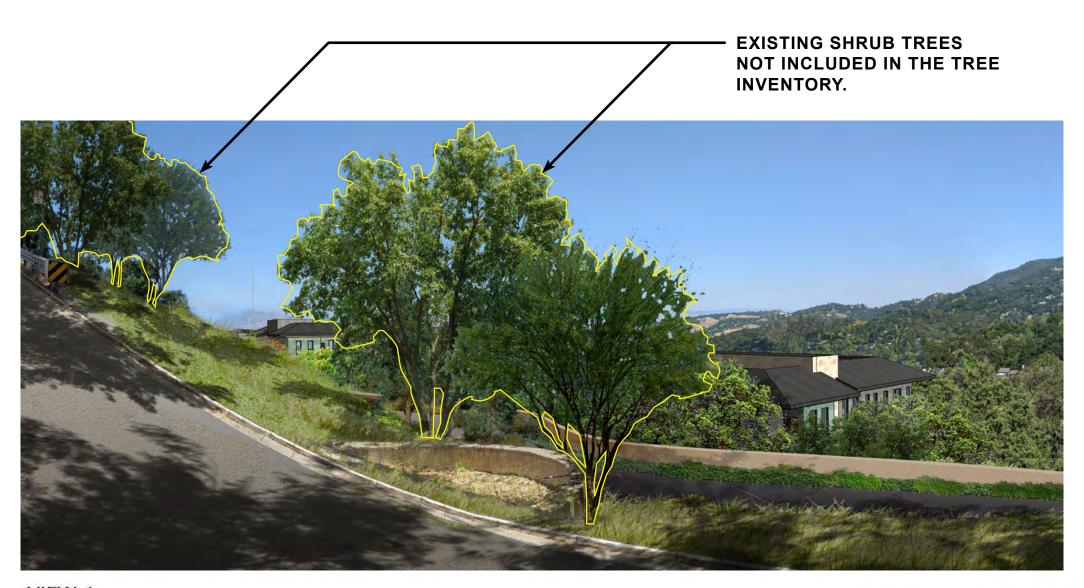
(7 YEAR GROWTH)



DIAGRAM OF BUILDING MASSING WITH NEW PLANTINGS ON SITE AND EXISTING SHRUB TREES TO REMAIN ALONG WOOD ROAD



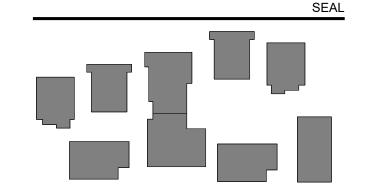
RENDERED BUILDINGS WITH NEW PLANTINGS ON SITE AND EXISTING SHRUB TREES TO REMAIN ALONG WOOD ROAD



VIEW 4 RENDERED BUILDINGS WITH NEW PLANTINGS ON SITE AND EXISTING SHRUB TREES TO REMAIN ALONG WOOD ROAD

NO. DATE ISSUE

NOT FOR CONSTRUCTION





# PERKINS— EASTMAN 100 Montgomery St., Suite 2300 San Francisco, CA 94104 T. +1 415 926 7900

ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site:

4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape:

**GATES + ASSOCIATES** 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

Structural: KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105
(415) 989-1004

Mechanical, Electrical & Plumbing: **GLUMAC** 

150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: DEVCON CONSTRUCTION INC 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

LOS GATOS **MEADOWS** 

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE: RENDERED IMAGE PROGRESSION

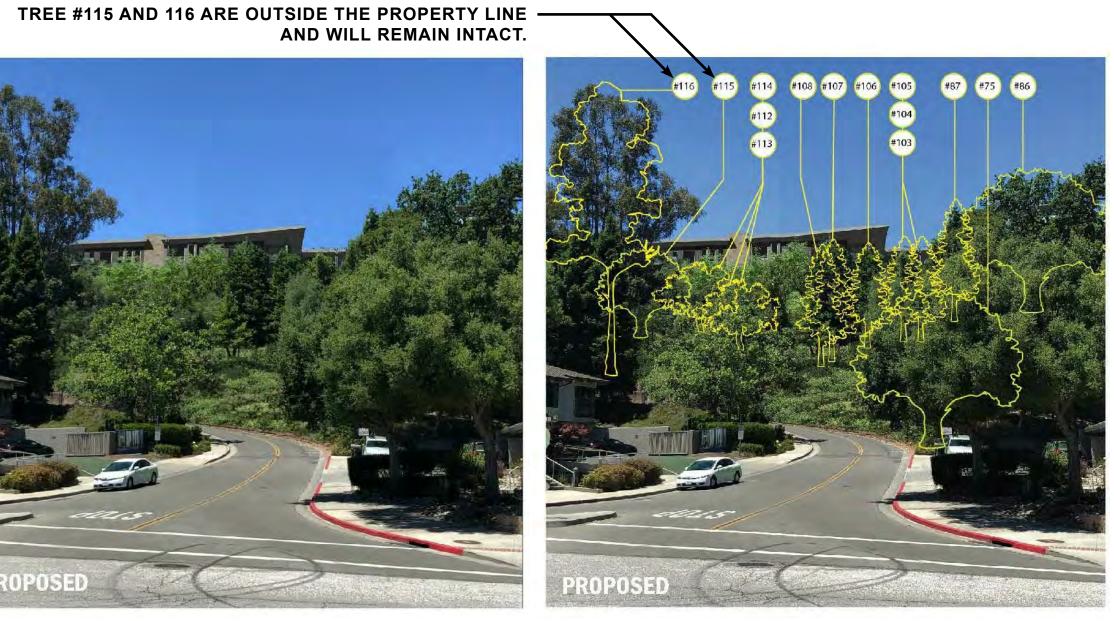
SCALE: 1" = 30'-0"

**A407** 

PLANNING SUBMITTAL







# PERKINS— EASTMAN 677 Washington Blvd. Suite 101 Stamford, CT 06901 T. +1 203 251 7400 F. +1 203 251 7474

DATE ISSUE

Applicant:
ROCKWOOD PACIFIC
36 SOUTHWOOD DRIVE
ORINDA, CA 94563
(415) 816-7944

2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: KIMLEY-HORN 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583 (925) 736-8176

KPFF CONSULTING ENGINEERS
45 FREMONT ST, 28TH FLOOR
SAN FRANCISCO, CA 94105 (415) 989-1004 Mechanical & Plumbing: GLUMAC 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667 General Contractor:
DEVCON CONSTRUCTION, INC.
690 GIBRALTAR DRIVE
MILPITAS, CA 95035
(408) 842-8200

PROJECT TITLE:

### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE: PERSPECTIVE -BEFORE AND AFTER

**A408** 

PLANNING SUBMITTAL

JULY 27, 2021

## **VISUALIZATION**

Farwell/Broadway







## **VISUALIZATION**

Page 422

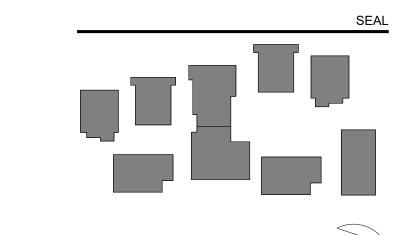




**EXISTING** PROPOSED



NOT FOR CONSTRUCTION





ROCKWOOD PACIFIC 36 SOUTHWOOD DRIVE ORINDA, CA 94563

BUILDING A:

4 UNITS

1,400 SF

(415) 816-7944 Owner:

COVIA 2185 N CALIFORNIA BLVD, SUITE 215 WALNUT CREEK, CA 94596 (925) 956-7400

Civil / Site: **KIMLEY-HORN** 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 (925) 398-4840

Landscape: GATES + ASSOCIATES 2671 CROW CANYON RD SAN RAMON, CA 94583

(925) 736-8176 Structural: **KPFF CONSULTING ENGINEERS** 

45 FREMONT ST, 28TH FLOOR SAN FRANCISCO, CA 94105 (415) 989-1004 Mechanical, Electrical & Plumbing:

**GLUMAC** 150 CALIFORNIA ST, 3RD FLOOR SAN FRANCISCO, CA 94111 (415) 398-7667

General Contractor: **DEVCON CONSTRUCTION INC** 690 GIBRALTAR DRIVE MILPITAS, CA 95035 (408) 942-8200

PROJECT TITLE:

BUILDING E,F:

2 UNITS

2,280 SF

#### LOS GATOS **MEADOWS**

110 WOOD ROAD LOS GATOS, CA 95030

PROJECT No: 70581.00

DRAWING TITLE:

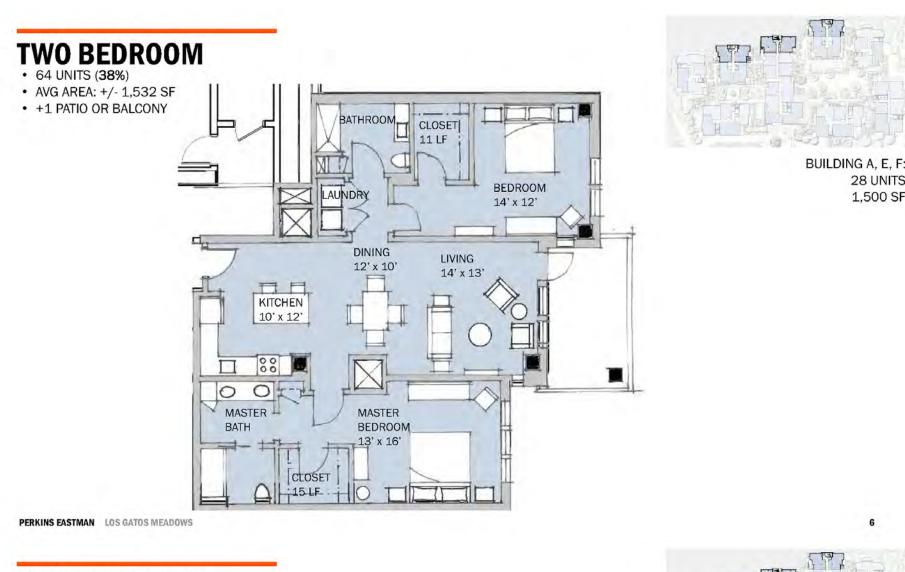
TYPICAL IL UNIT **PLANS** 

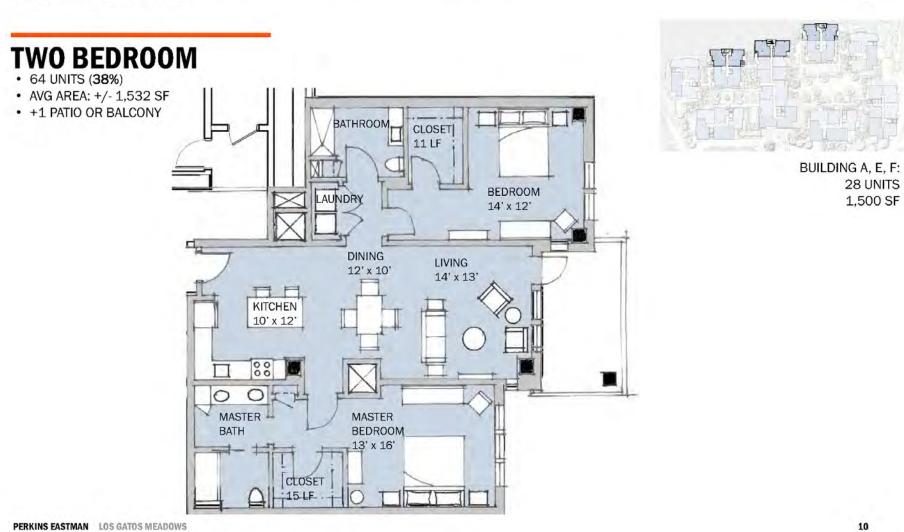
SCALE: 1" = 30'-0"

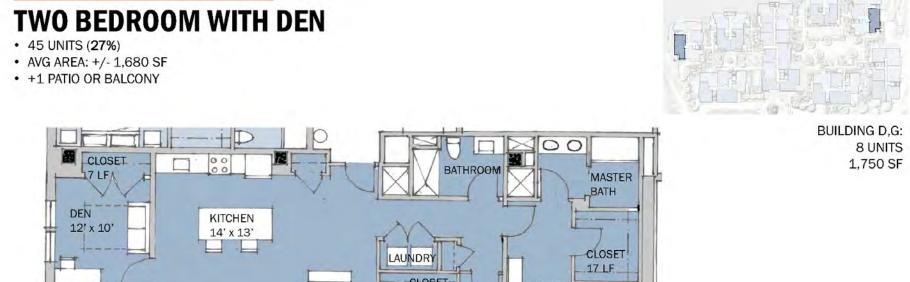
A501

PLANNING SUBMITTAL

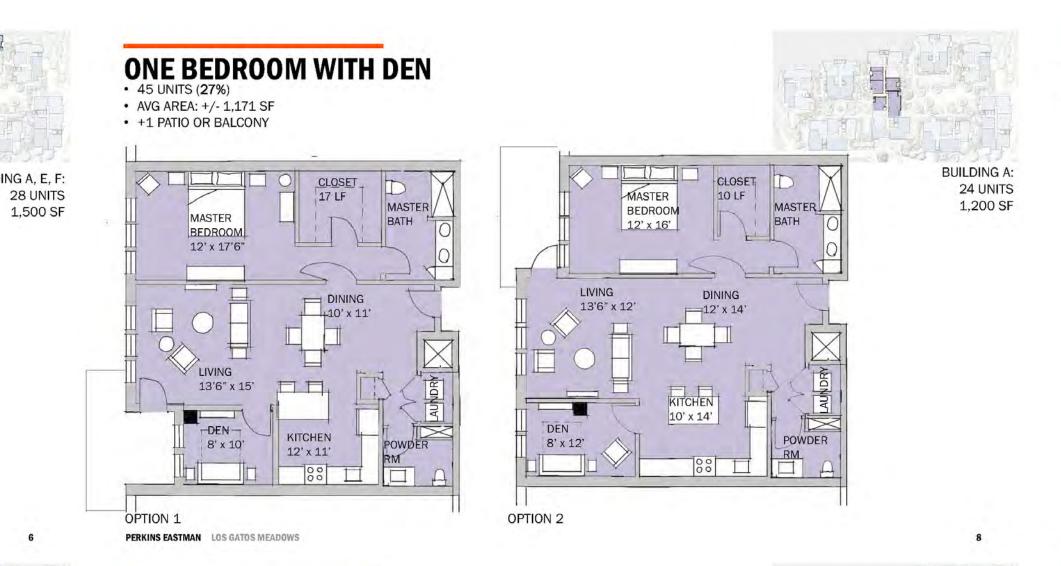
JULY 27, 2021

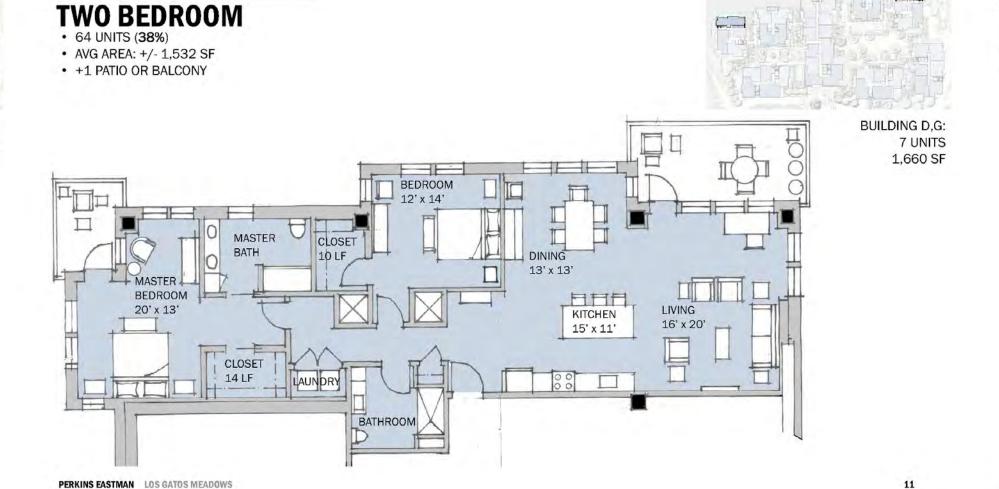














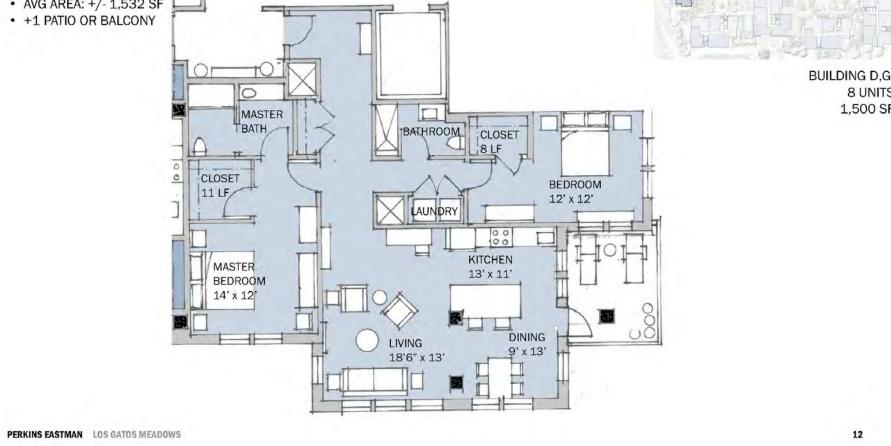


BEDROOM 12' x 13'6"

BEDROOM

11'6" x 17'6"

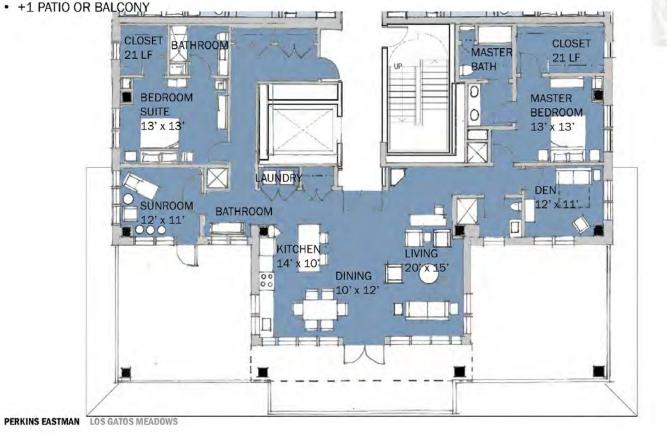
CLOSET

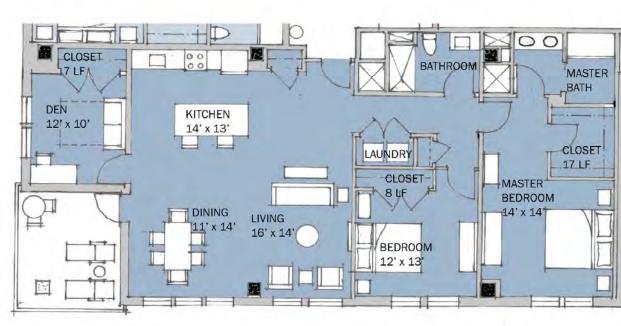




**TWO BEDROOM** 

64 UNITS (38%)AVG AREA: +/- 1,532 SF +1 PATIO OR BALCONY





PERKINS EASTMAN LOS GATOS MEADOWS

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MEETING DATE: 01/12/2022

ITEM NO: 3

**ADDENDUM** 

DATE: January 11, 2022

TO: Planning Commission

FROM: Joel Paulson, Community Development Director

SUBJECT: Requesting Approval of a Planned Development for Construction of a Senior

Living Community, Removal of Large Protected Trees, and Site Improvements Requiring a Grading Permit on Property Zoned R:PD. Located at 110 Wood Road. APN 510-47-038. Planned Development Application PD-20-001 and Environmental Impact Report EIR-21-002. APPLICANT: Rockwood Pacific. PROPERTY OWNER: Covia Communities. PROJECT PLANNER: Sean Mullin.

#### **REMARKS:**

Below is an updated table of earthwork quantities clarifying the grading quantities that contribute to a Grading Permit. This table is to replace the table included on page nine of the Staff Report. Exhibit 16 includes a letter from the applicant providing an update on their community engagement efforts and additional renderings of the proposed project. Exhibit 17 includes additional public comments received between 11:01 a.m., Friday, January 7, 2022 and 11:00 a.m., Tuesday, January 11, 2022.

#### **Preliminary Earthwork Quantities**

Туре	Cut (cy)	Fill	Net (cy)		Max Cut	Max Fill
		(cy)			Depth (ft)	Depth (ft)
Buildings*	113,000	1,000	112,000	<cut></cut>	61.5	3.5
Driveways	9,900	2,300	7,600	<cut></cut>	21.0	14.0
Sidewalk	3,700	700	3,000	<cut></cut>	20.5	10.5
Landscape	13,100	2,400	10,700	<cut></cut>	27.0	13.5
Utility Spoils	7,000		7,000	<cut></cut>		
TOTAL	146,700	6,400	140,300	<cut></cut>		
GRADING PERMIT TOTAL**	33,700	5,400	39,100			

^{*} Excavation within building footprints does not count toward a Grading Permit.

PREPARED BY: SEAN MULLIN, AICP

Senior Planner

Reviewed by: Planning Manager and Community Development Director

^{**} Cumulative total of site grading quantities counting toward a Grading Permit.

PAGE 2 OF 2

SUBJECT: 110 Wood Road/PD-20-001 AND EIR-21-002

JANUARY 11, 2022

#### **EXHIBITS**:

#### Previously received under separate cover:

- 1. May 2021 Draft Environmental Impact Report <u>(available online at www.losgatosca.gov/110WoodRoad)</u>
- 2. September 2021 Final Environmental Impact Report and Mitigation Monitoring and Reporting Program (available online at www.losgatosca.gov/110WoodRoad)

#### Received with the January 12, 2022 Staff Report:

- 3. Location Map
- 4. Required Findings
- 5. Required CEQA Findings of Fact
- 6. Conceptual Development Advisory Committee Staff Report, April 9, 2018
- 7. Conceptual Development Advisory Committee meeting minutes, April 9, 2018
- 8. Project Description and Letter of Justification, January 3, 2022
- 9. Town's Consulting Architect Report, May 8, 2020
- 10. Applicant's response to Town's Consulting Architect recommendations, May 22, 2020
- 11. Arborist Report by Hort Science, October 12, 2020
- 12. Town's Consulting Arborist peer review report, February 12, 2021
- 13. Supplemental community engagement letter, December 9, 2021
- 14. Public comments received by 11:00 a.m., Friday, January 7, 2022
- 15. Planned Development Ordinance with Exhibit A Rezone Area and Exhibit B Development Plans, July 27, 2021

#### Received with this Addendum Report:

- 16. Supplemental community engagement letter with visualizations, January 11, 2022
- 17. Public comments received between 11:01 a.m., Friday, January 7, 2022 and 11:00 a.m., Tuesday, January 11, 2022



January 11, 2021

Ms. Melanie Hanssen, Chair Los Gatos Planning Commission Town of Los Gatos 110 E. Main Street Los Gatos, CA 95030

RE: Community Engagement Update + Visualization Updates Rebuild of Los Gatos Meadows

Dear Ms. Hanssen:

This letter supplements our justification letter of January 6, 2022, and our prior community engagement update letter of December 9, 2021, related to the rebuild of Los Gatos Meadows (the "project"), the 10.84-acre site located at 110 Wood Road (APN 510-47-038) at the intersection of Wood Road and S. Santa Cruz Avenue in Los Gatos.

Since our December 9th letter, we held our 10th neighborhood open house meeting. Given recent installation of the story poles and lead up to the Planning Commission public hearing tomorrow, it was well attended (13 neighbors). The primary focus on our update related to visual impacts and construction processes. There were several questions related to the visual impacts & simulations, construction hours/truck trips, tree removal and proposed landscaping, and building heights each of which we addressed. There were a few miscellaneous questions, not directly related to our application, but nonetheless important to our neighbors, that our team will respond to over in the next few days.

Attached herein is an updated an Updated Listing of Meetings with Neighbors and Community (Appendix D).

As previously indicated, we continue to update a Frequently Asked Questions (FAQ) document and posts this document to the Los Gatos Meadows page of the Covia web site: <a href="https://covia.org/los-gatos-meadows/">https://covia.org/los-gatos-meadows/</a>

This web site also has a video summary of the overall proposed project and well as a video focusing on our plans to employ self-driving vehicles.

Respectfully,

Francesco J. Rockwood Rockwood Pacific Inc.

Applicant

#### Attachment

- Updated Listing of Meetings with Neighbors and Community (Appendix D)
- Updated visualizations

Appendix D
Listing of Meetings with Neighbors and Community

Type of Meeting	Date	Time	Location	Attendee	Notes from Meeting	Outcome
Open House 1	03/08/18	7:30-9PM		Maria Ristow, Irving & Evelyn	General introduction of intent to rebuild Los	-
<u></u>		<u>.</u>	Meadows	Mitsunaga, Robert Mullan(Toll House)	Gatos Meadows	c om munications plan
Open House 2	04/18/18	7-8PM	Los Gatos Mondous	Julie Ritter Southern, Maria Ristow,	General introduction of intent to rebuild Los	:
			Meadows	Claire Leclaire, Cathy Colgan	Gatos Meadows; similar material to first	communications plan
Open House 3	05/03/18	7-8PM	Los Gatos	Karen Kurtz, Linda I versen, Sue Fairley	meeting Attendees interested in architecture and	Design team elevated analysis of
	55,55,25		Meadows	,	supplemental transportation options	supplemental transportation
						alternatives
Open House 4	05/20/18	3-4PM	Los Gatos	John and Jean Richardson, Stanford	Questions related to timeline, storm	Resolved current storm drain issue
			Meadows	Stickney and 3 other family members	drainage, and fire risk	and initiated planning to mitigate
		<u>.</u>		•	<u>:</u>	fire risk through brush removal
Focus Groups	10/2/2018 -	Varies	Toll House	36 older adults participated in 3 sessions.	Sensitive to how various attributes or	Design team made applicable
(3 Sessions)	10/3/2018			Participants were drawn from the local	requirements may drive cost, supplemental	refinements to concept plan
				area. Participants were promised confidentiality.	transportation system very important, limited enthusiasm for LEED certification	
				confidentiality.	but recycling and energy efficiency	
					important, limited enthusiasm for	
		•			facilitating non-residents/non-guests on	
		•			campus, preference for larger, more	
		i			spacious units, recommendation to	
					minimize long corridors, preference for	
					multiple dining venues and ample on-site	
					amenities such as fitness center, walking	
					trails, access to town, casual dining, library,	
					coffee shop, and access to on-site support care.	
Open House 5	12/06/18	7-8PM	Los Gatos	Julie Ritter Southern, Matt and Marlena	Question about timing, policy related to	Feedback informed further
,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	, ,		-	Hood and friend, Mike Wasserman	relocation of existing residents, impact on	refinement to concept plan. With
					visibility to neighbors above, use of solar	regard to Wood Road traffic
					panels and roof color, impacts on traffic	impacts, design team is prioritizing
					(with specific concerns about summer	minimizing errant trips up Wood
					traffic), site security during closure,	Road past the main entrance, and
					parking, noise impacts and construction	more importantly, further
					parking. Requested advance notifications	prioritizing the supplemental
					of all construction work that could affect access. Some residents on Wood Road	transportation system to convert more trips to autonomous vehicle,
					would prefer that Farwell Lane continue to	pedestrian or bike trips. Also,
		i			support regular vehicle traffic. Avideo	currently planning to include solar
					summary of the meeting was posted at:	panels.
		<u> </u>			https://vimeo.com/278024461	
Open House 6	10/10/19	7-8PM	Toll House	Julie Ritter Southern, Maria Ristow,	Questions about Wood Road traffic,	Confirmed that project not
				Jamie Garcia & Friend, Irving & Evelyn	availability of Wood Road for evacuation,	expected to affect housing
				Mitsunaga	potential impact of project on housing	element. Planning to deploy goats
					element, and recommendation to deploy	on property this spring; planning to
					goats to further reduce fire risk. Request for copy of facts and figures table.	Road available for evacuation
					copy of facts and rigures table.	during emergencies.
Open House 7	03/05/20		Los Gatos United	None	General heightened sensitivity due to	Produced and circulated video
			Methodist Church		COVI D-19 may have been a factor in	update; available at Covia/Los
					suppressing turnout.	Gatos Meadows website
						https://covia.org/los-gatos-
	<b></b>	<b>.</b>		· · · ·		meadows/
Open House 8	12/03/20	7-8PM	Zoom Meeting	Julie Ritter Southern, Fred Lester, Matt		Provided advance notice of intent
		i		Wood, Zane Rowe, Gary/Jamie Garcia,	•	to seek modification to Town's Story
				Claire Leclair, Evelyn/Irving Mitsunaga,	• "	Pole Policy
				Robert Macartney, Matthew Bigge	and story pole modification request (Julie), visualization from 100 Wood Rd (Matt),	
		i			Condo v. CCRC (Julie), fire evacuation	
					(Matt), parking for construction (Fred),	
		į			construction traffic (Matt)	
Public Hearing -	01/19/21	7-9PM	Zoom Meeting	Town Council and Town Staff (in	No public comments; council members	Consideration for request for fewer
Story Pole				advance of meeting, staff received	discussed merits and concerns regarding	poles continued to future council
Exception				letters from Clare Southern, Matthew	proposal	meeting (subsequently withdrew
Request				Southern and Mark Rigoli (via Council		modification request)
NODA- "	02/25/24	7 7.450:	7	Member Maria Ristow)	Carlotte Hand to a cloud all 1 2 2 2 1 2 2 2 2	
NOP Meeting	02/25/21	/-/:15PM	Zoom Meeting	Presenters: Joel Paulson, Jocelyn	Matt Hood inquired about availability of	
				Shoopman, Sean Mullin, Terri Wissler Adam (EMC Planning).	video recording of the NOP meeting	
				Public Attendees: Matt Hood		
		-	-		_	

Appendix	k D							
Listing of Meetings with Neighbors and Community								
Type of Meeting	Date	Time	Location	Attendee	Notes from Meeting	Outcome		
Open House 9	08/09/21	7-8PM	Zoom Meeting	Presenters: Frank Rockwood, Mark Falgout, David Gates, Chris I chien	Comments and questions related to: clarify visual impacts (during and after construction), number of expected truck trips, construction hours, placement of parking, project schedule, emergency circulation and clarification of employee break area			
City Council Public Hearing - Story Pole Exception Request	10/19/21	7-10PM	Zoom Meeting	Town Council and Town Staff (in advance of meeting, staff received letters from Julie Southern, Esther Grant and Andrew Ghofrani)	Frank Rockwood and Mark Falgout stepped through request. No public comments; council members discussed merits and concerns regarding proposal as well as addressed policy in general	Request was granted to use flags versus netting with condition of using 2 rows of flags.		
Open House 10	01/10/22	7-8PM	Zoom Meeting	<u> </u>	Comments and questions related to: massing, visualizations (from specific neighbors on Wood Road and Tate & Main Street), Broadway use for pedestrians, construction hours and traffic route, access to vineyard above Los Gatos Meadows, solar panels, undergrounding, PG&E lines, TV antennae tower, color of roof and buildings	Project team to follow up with neighbors re: distribution of massin and additional details on building heights		

## **VIEW CORRIDORS**

#### **49 E MAIN STREET**









**EXISTING** (JULY 2021)

**PROPOSED** (JULY 2021)

**VIEW WITH STORY POLE** (DECEMBER 2021)

FINE TUNED ARCHITECTURE **BASED ON STORY POLE LOCATIONS** 

(JANUARY 2022)

## **VIEW CORRIDORS**

**49 E MAIN STREET - ENLARGED** 





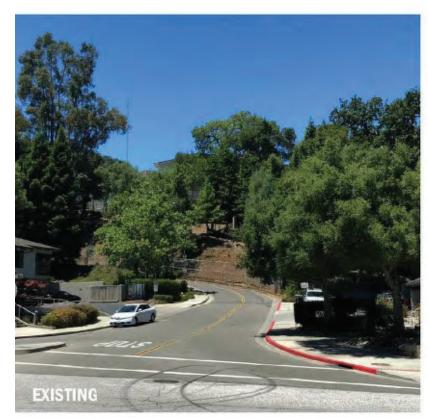
**VIEW WITH STORY POLE** 

FINE TUNED ARCHITECTURE **BASED ON STORY POLE LOCATIONS** 



## **VIEW CORRIDORS**

### S SANTA CRUZ AVENUE & WOOD ROAD



**EXISTING** (JULY 2021)



**PROPOSED** (JULY 2021)



**VIEW WITH STORY POLE** (DECEMBER 2021)



FINE TUNED ARCHITECTURE **BASED ON STORY POLE LOCATIONS** 

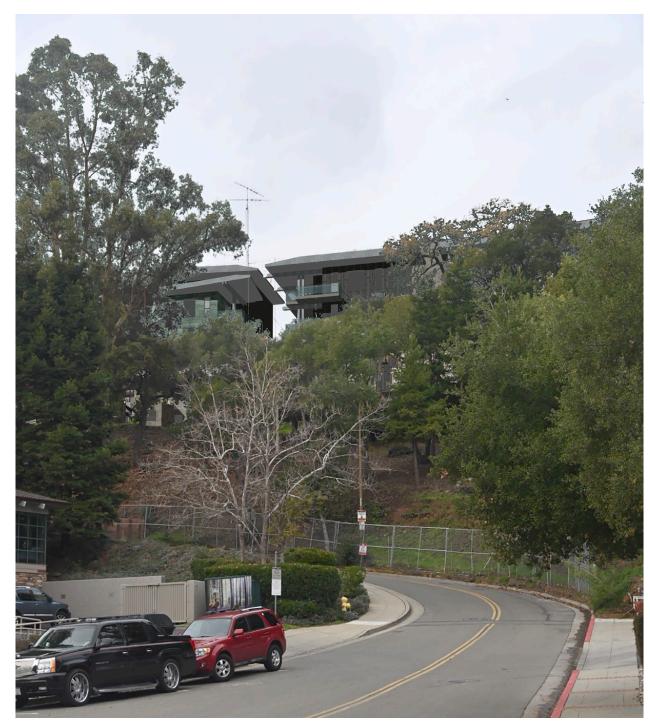
(JANUARY 2022)

# **VIEW CORRIDORS**

### S SANTA CRUZ AVENUE & WOOD ROAD - ENLARGED



**VIEW WITH STORY POLE** 



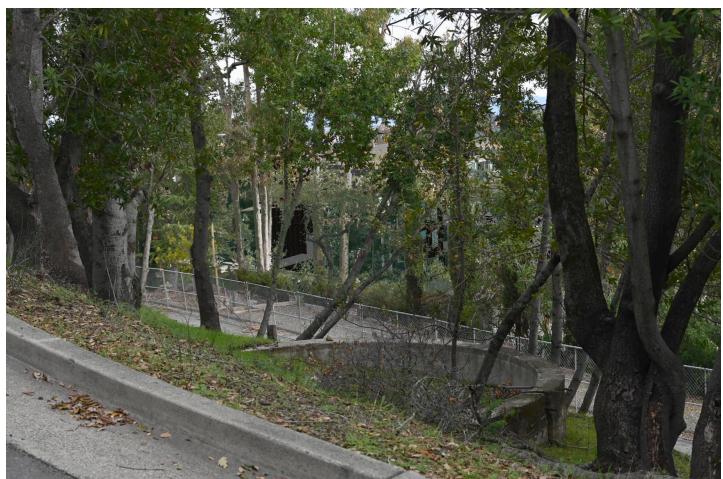
FINE TUNED ARCHITECTURE **BASED ON STORY POLE LOCATIONS** 

# **VISUALIZATION**

### **UPPER WOOD ROAD**



**VIEW WITH STORY POLE** (DECEMBER 2021)



FINE TUNED ARCHITECTURE **BASED ON STORY POLE LOCATIONS** 

(JANUARY 2022)

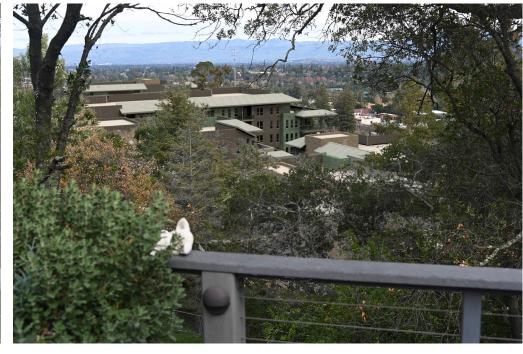
# **VISUALIZATION 121 WOOD ROAD**



**PROPOSED** (MAY 2021)



**VIEW WITH STORY POLE** (DECEMBER 2021)



FINE TUNED ARCHITECTURE **BASED ON STORY POLE LOCATIONS** 

(JANUARY 2022)

From: Michael Kennedy <

**Sent:** Sunday, January 9, 2022 11:16:33 AM

To: Rob Rennie

**Cc:** Maria Ristow; Mary Badame; Matthew Hudes; Marico Sayoc; Janette Judd; Joel Paulson **Subject:** Re: Proposed construction project, height blocking hillside views - site of former Los Gatos

Meadows

#### **EXTERNAL SENDER**

Adding an additional photo taken from Broadway neighborhood, see below. Mike.



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MEETING DATE: 01/12/2022

ITEM NO: 3

**DESK ITEM** 

DATE: January 12, 2022

TO: Planning Commission

FROM: Joel Paulson, Community Development Director

SUBJECT: Requesting Approval of a Planned Development for Construction of a Senior

Living Community, Removal of Large Protected Trees, and Site Improvements Requiring a Grading Permit on Property Zoned R:PD. Located at 110 Wood Road. APN 510-47-038. Planned Development Application PD-20-001 and Environmental Impact Report EIR-21-002. APPLICANT: Rockwood Pacific. PROPERTY OWNER: Covia Communities. PROJECT PLANNER: Sean Mullin.

#### **REMARKS:**

Exhibit 18 includes additional site plan diagrams provided by the applicant. Exhibit 19 includes additional public comments received between 11:01 a.m., Tuesday, January 11, 2022 and 11:00 a.m., Wednesday, January 12, 2022.

#### **EXHIBITS:**

Previously received under separate cover:

- 1. May 2021 Draft Environmental Impact Report (available online at www.losgatosca.gov/110WoodRoad)
- 2. September 2021 Final Environmental Impact Report and Mitigation Monitoring and Reporting Program (available online at www.losgatosca.gov/110WoodRoad)

#### Previously received with the January 12, 2022 Staff Report:

- 3. Location Map
- 4. Required Findings
- 5. Required CEQA Findings of Fact
- 6. Conceptual Development Advisory Committee Staff Report, April 9, 2018
- 7. Conceptual Development Advisory Committee meeting minutes, April 9, 2018
- 8. Project Description and Letter of Justification, January 3, 2022

PREPARED BY: SEAN MULLIN, AICP

Senior Planner

Reviewed by: Planning Manager and Community Development Director

PAGE **2** OF **2** 

SUBJECT: 110 Wood Road/PD-20-001 AND EIR-21-002

JANUARY 12, 2022

#### **EXHIBITS** (continued):

- 9. Town's Consulting Architect Report, May 8, 2020
- 10. Applicant's response to Town's Consulting Architect recommendations, May 22, 2020
- 11. Arborist Report by Hort Science, October 12, 2020
- 12. Town's Consulting Arborist peer review report, February 12, 2021
- 13. Supplemental community engagement letter, December 9, 2021
- 14. Public comments received by 11:00 a.m., Friday, January 7, 2022
- 15. Planned Development Ordinance with Exhibit A Rezone Area and Exhibit B Development Plans, July 27, 2021

#### Previously received with the January 12, 2022 Addendum Report:

- 16. Supplemental community engagement letter with visualizations, January 11, 2022
- 17. Public comments received between 11:01 a.m., Friday, January 7, 2022 and 11:00 a.m., Tuesday, January 11, 2022

#### Received with this Desk Item Report:

- 18. Site plan diagrams
- 19. Public comments received between 11:01 a.m., Tuesday, January 11, 2022 and 11:00 a.m., Wednesday, January 12, 2022



### **DEVELOPMENT AREA**

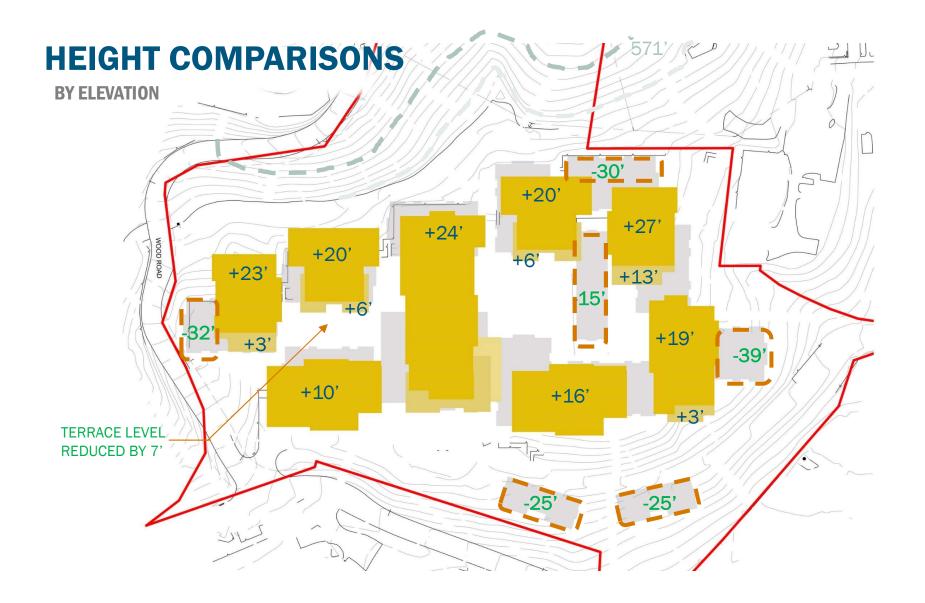


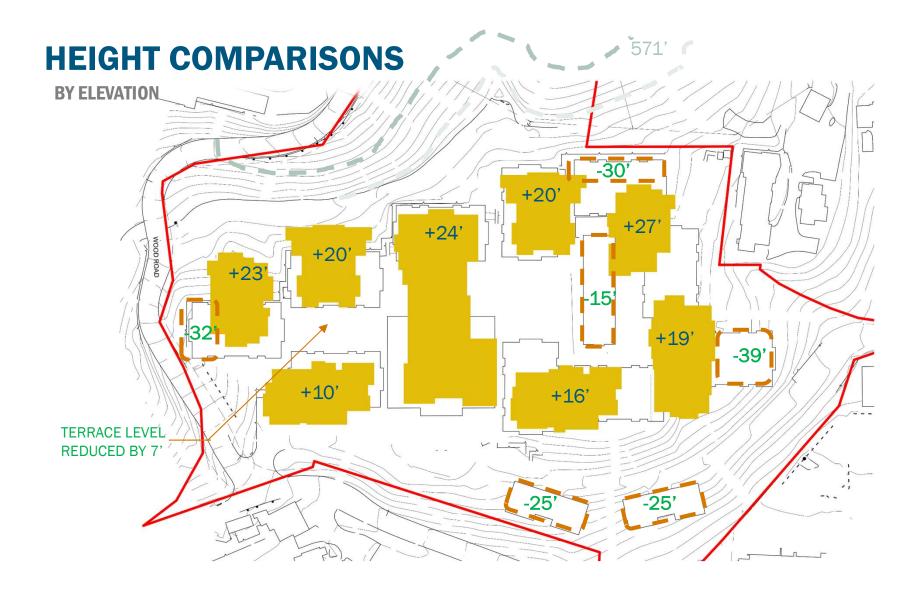
covia











----Original Message-----

From: Esther Grant <

To: <a href="mailto:smullin@losgatosca.gov">smullin@losgatosca.gov</a>>

Sent: Tue, Jan 11, 2022 11:25 am

Subject: Fwd: Planed Development App.PD-20-001. APN 510-47-038

#### Sean,

If you want to get a prospective view(this project for PD20=001, that can be seen all over Los Gatos), go out to Main St. from your Planning Office, turn left onto Main, drive about a block and a half, look to your left, toward the foothills, until you see a"Massive Complex with Orange Flag's blowing in the wind. Now imagine living behind or surrounding this, your view is now only this structure, you will have to go through massive removal of beautiful tree'e, massive grading, massive construction, equipment noise, gas smell(dirt, dust),..... etc. You will not have the serene, open green space next to you, the quite, peaceful, Loas Gatos is gone! How would you like to live like that?

**Esther Grant** 

From: Esther Grant < > Sent: Monday, October 18, 2021 1:18 PM
To: Sean Mullin < SMullin@losgatosca.gov>

Subject: Planed Development App.PD-20-001. APN 510-47-038

#### **EXTERNAL SENDER**

Project Planner Sean Mullin,

You can adjust the map size, at the top of the map.



I have two regular PG&E pole's, that is connected to a third pole at 110 Wood Road, the middle pole on my property connects to three sub poles, that provides our (Clifton) PG&E electricity. See PG&E right away on Clifton. The S/E, PG&E right/away continues to 110 Wood Road, to service the third pole. I would not want any of the proposed poles to jeopardize my land, Bird's, PG&E pole's.



Thank You for your consideration, Esther Grant

From: Esther Grant < > Sent: Wednesday, January 12, 2022 8:40 AM To: Sean Mullin < SMullin@losgatosca.gov >

Subject: Fwd:

#### **EXTERNAL SENDER**

----Original Message-----

From: Mike Weisz < MWeisz@losgatosca.gov >

To: Esther Grant <

Cc: Sean Mullin < <a href="mailto:SMullin@losgatosca.gov">SMullin@losgatosca.gov">SMullin@losgatosca.gov</a>>; Corvell Sparks < <a href="mailto:CSparks@losgatosca.gov">CSparks@losgatosca.gov</a>>

Sent: Tue, Jan 11, 2022 4:35 pm

Subject: RE: Fwd:

Good afternoon Esther,

Thank you for your email. The setbacks for the proposed development, as compared to the original/existing setbacks, are tabulated on Page 5 of 16 of the <u>staff report</u>. This table also includes the percentage of original and proposed open space. I have Cc'd Sean Mullin in case there is any additional information that he may have.

Thanks, Mike



Mike Weisz, P.E. • Senior Civil Engineer

Parks and Public Works Department • 41 Miles Avenue, Los Gatos CA 95030

Ph: 408.354.5236 • mweisz@losgatosca.gov

www.losgatosca.gov • https://www.facebook.com/losgatosca

Engineering Office Counter Hours: Monday-Friday 8:00am to 1:00pm

Please note the upcoming Town closure: Mon., Jan. 17, 2022

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From: Esther Grant < > Sent: Tuesday, January 11, 2022 4:07 PM

To: Mike Weisz < <a href="mailto:MWeisz@losgatosca.gov"> MWeisz@losgatosca.gov</a>>

Subject: Fwd:

#### **EXTERNAL SENDER**

Senior Civil Engineer, Mike Weisz,

The Los Gatos Medows, 110 Wood Road, is Planning a redevelopment project, application number PD20-001, the planning commission will be holding a hearing on January 12, to consider the project. The existing complex is already overbuilt, and has an open area(green area), that is next to and property, and along side of properties, and extends to Wood Rd. The project is triple the size of the current construction, it will have an underground parking, expand and replace all the two story apartments, with five story apartment's. I was under the impression that when a property development was overbuilt that an open space had to be provided, there is such a space behind the Los Gatos Medows currently, but according to the Planning Department, Project Planner Sean Mullin's, about 94 tree's have already been removed and 140 more tree's are scheduled for removal? The expansion size of he building's plan is to "remove large protected tree's", this way they can have their five story buildings right up to the property line,'s further blocking the view from the surrounding properties(like the Carrlage House Apartments, at 31 Clifton Ave., that will now have a view of a five story building's. The impact of just building(noise, gas powred equipment) this massive complex, let alone all the traffic from apartment owner's will generate from entering on Wood Rd., (behind the Toll House Hotel, and also from removing sound barrier tree's) and exiting onto Broadway. Are the Land Developer's allowed to construct five story building's up to the property line? Can these Developer's overbuild without a open space(Green Space)? The time frame for the project hearing is tomorrow at 11:30 A.M., for comment's.

Thank you,

**Esther Grant**